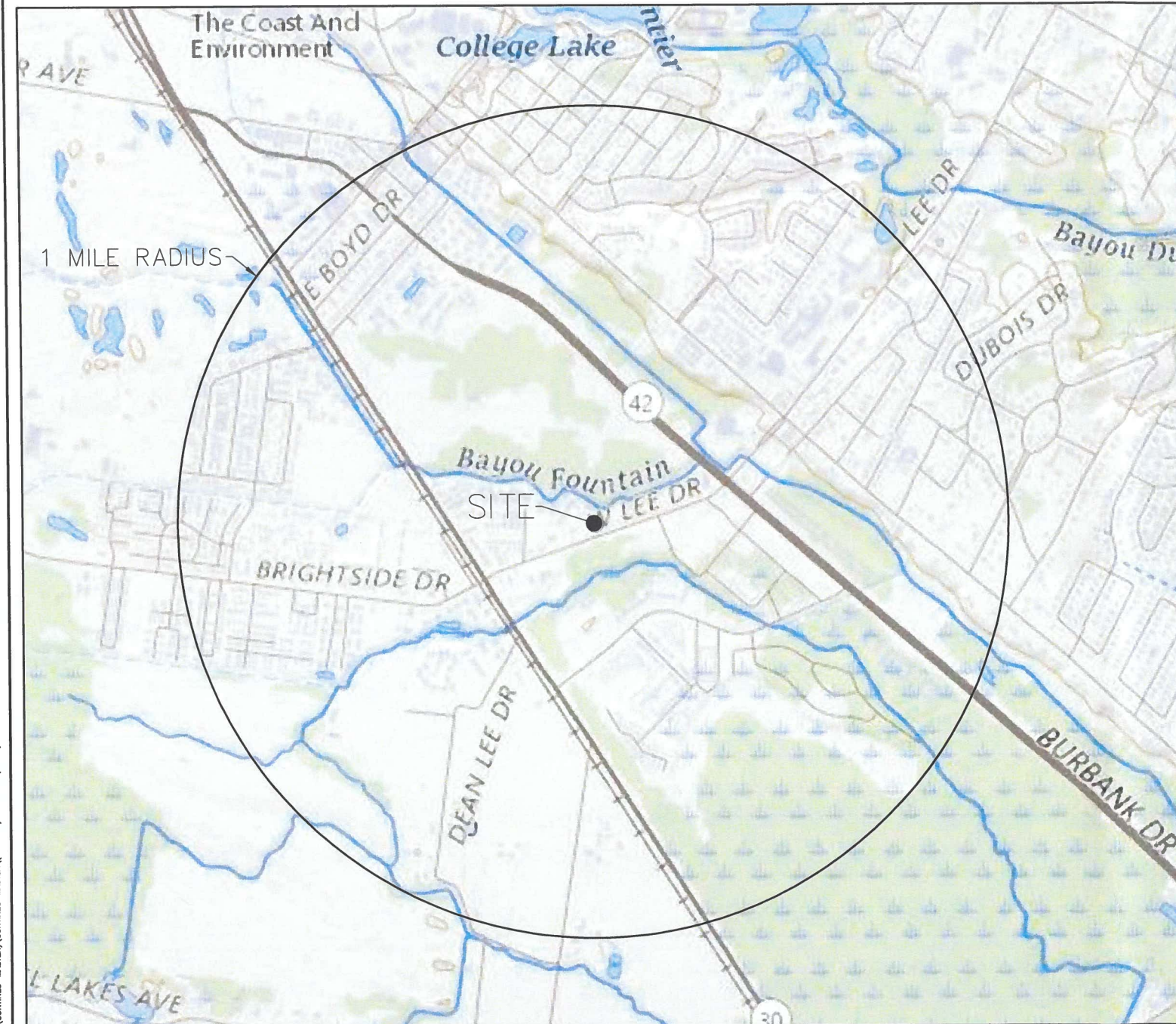


**FINAL DEVELOPMENT PLAN FOR
WAFFLE HOUSE
(PUD-2-00 BURBANK UNIVERSITY)
PORTION OF TRACT A-3-5
BEING A PORTION OF THE NELSON TRACT
LOCATED IN SECTION 36, TOWNSHIP 7 SOUTH. RANGE 1 WEST
BATON ROUGE, LA.
MAY 2022
851 FROGMORE DRIVE,
BATON ROUGE, LA 70820
PARCEL ID #: 30835616**

SITE SUMMARY	
ZONING DISTRICT	PUD
PROPERTY AREA	1.555 AC
FUTURE LAND USE	COMMERCIAL
CHARACTER AREA	URBAN/WALKABLE
EXISTING ZONING (ADJ PARCELS)	PUD
NUMBER OF UNITS	1
PROPOSED WH SITE AREA	0.582 AC
PROPOSED BUILDING AREA	1900 SF
DENSITY	1900/582=3.265 SF/AC
BUILDING HEIGHT	16'-8"
BUILDING # OF STORIES	1
FRONT BUILDING SETBACK	10 FT
SIDE BUILDING SETBACK	N/A
REAR BUILDING SETBACK	N/A

SHEET INDEX	
SHEET #	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS MAP
3	APPROVED CONCEPT PLAN
4	OVERALL /PHASE PLAN
5	FINAL DEVELOPMENT PLAN
6	CIRCULATION PLAN
7	UTILITY SERVICE PLAN
8	LANDSCAPE PLAN
9	BUILDING/SIGN ELEVATIONS

STATEMENT OF OBJECTIVES
THE APPLICATION IS BEING SUBMITTED TO ACCOMMODATE THE PROPOSED WAFFLE HOUSE RESTAURANT ON A PORTION OF TRACT A-3-5, A PORTION OF THE NELSON TRACT. THE RESTAURANT WILL BE APPROXIMATELY 1,900 SF. CONSTRUCTION OF THE INFRASTRUCTURE IS SET TO BEGIN AUGUST 2022, AND END FEBRUARY 2023.



OWNER / DEVELOPER
NAME: WAFFLE HOUSE
ADDRESS: 5986 FINANCIAL DRIVE, NORCROSS, GA 30071
PHONE: 770-729-5700
CONTACT: WALTER BARINEAU
EMAIL: WALTERBARINEAU@WAFFLEHOUSE.COM

ENGINEER
NAME: CONTINUED GROUP, LLC
ADDRESS: 755 COMMERCE DRIVE, SUITE 800,
DECATUR, GA 30030
CONTACT: JUAN DEL RIO, PM
PHONE: 770-335-9403
EMAIL: JUAN@THECONTINUEDGROUP.COM

UTILITY COMPANIES CONTACT

ELECTRICAL SERVICE
ENERGY ELECTRIC
BATON ROUGE, LA 70895
LUKE HERMES
LHERMES@ENERGY.COM

SEWER SERVICE
CITY OF BATON ROUGE -
ENVIRONMENTAL SERVICES
222 SAINT LOUIS STREET, SUITE 816
BATON ROUGE, LA 70802
JACOB HAFFNER
225-678-0514

GAS SERVICE
ENERGY GAS
BATON ROUGE, LA 70895
JEFFREY GULLY
225-354-3128

WATER SERVICE
THE BATON ROUGE WATER CO.
8755 GODWOOD BLVD,
BATON ROUGE, LA 70806
MARGIE SWANSON
225-231-0304

LEGAL DESCRIPTION - TRACT A-3-5 (AS SURVEYED)

A certain tract or parcel of land designated as TRACT A-3-5 containing 1.555 Acres or 87,740 sq. ft. located in Section 36, Township 7 South - Range 1 West, East Baton Rouge Parish, State of Louisiana, being more particularly described as follows:

Commencing at the intersection of the southerly right of way line of Burbank Drive and the easterly right of way line of West Lee Drive, said point being the "POINT OF COMMENCEMENT";

Then, continuing along the easterly right of way line of West Lee Drive along a curve to the right having a delta of 24 degrees 38 minutes 57 seconds, a radius of 652.08 feet, an arc length of 280.52 feet, a chord bearing of South 58 degrees 47 minutes 12 seconds West, and a chord distance of 278.36 feet to a point;

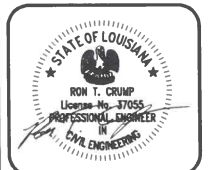
Then, South 71 degrees 06 minutes 40 seconds West a distance of 1,268.26 feet to a point, said point being the "POINT OF BEGINNING";

Then, South 71 degrees 06 minutes 40 seconds West a distance of 414.40 feet to a point;

Then, departing said right of way line, North 31 degrees 01 minutes 39 seconds East a distance of 403.51 feet to a point;

Then, North 71 degrees 00 minutes 49 seconds East a distance of 106.96 feet to a point;

Then, South 18 degrees 36 minutes 27 seconds East a distance of 260.01 feet to the "POINT OF BEGINNING".



CONTINUED GROUP
755 COMMERCE DRIVE
SUITE 800
DECATUR, GA 30030
770.335.9403
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"A UNIQUE AMERICAN PHENOMENON"
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5986 Financial Drive, Norcross, GA 30071
(770) 729-5700

WAFFLE HOUSE
BATON ROUGE, LA
ISSUED FOR: PERMIT
JURISDICTION: CITY OF BATON ROUGE
LOCATION: 851 FROGMORE DRIVE
BATON ROUGE, LA 70820

#	DATE	REVISIONS

DRAWN: AAA
CHECK: JDR
JOB NO: 22-154
DATE: 06/01/22

COVER SHEET
SHEET # 1

D:\PROJECTS\CONTINUED-MASTER\CONTINUED-MASTER\PROJECTS\2022\22-154 - WH - BATON ROUGE, LA (NEW BUILD) DWG

PC Set 6-1-2022

TITLE EXCEPTION NOTES:

Surveyor's Comments on exceptions to title as listed in Schedule B, Section 2 of a commitment for title insurance provided by Fidelity National Title Insurance Company, Commitment No.: 8422-0045/FNTIC, Dated: January 19, 2022:

SCHEDULE B - SECTION II, EXCEPTIONS

- Items #1-9: Non survey issues.
Item #10: Roads, ways, streams or easements, if any, not shown of record, riparian rights and the title to any filled-in lands. Non survey issue.
Item #11: Declaration of Easements, Conditions and Restrictions Tract A-3 Outlots, Baton Rouge, Louisiana dated October 12, 2017 and recorded at Original 104 Bundle 12846 of the records of East Baton Rouge Parish, Louisiana. Does not affect subject property but property does benefit as shown.
Item #12: Reciprocal Servitude Agreement effective March 23, 2018 among Milco Burbank A-2, LLC, Courvest, L.L.C., University PUD, L.L.C., and Murphy Oil USA, Inc. and recorded at Original 402 Bundle 12883 of the records of East Baton Rouge Parish, Louisiana. Does not affect subject property but property does benefit as shown.
Item #13: All matters shown on that Plat Showing Resubdivision of Tract A-3, Nelson Property into Tracts A-3-1, A-3-2, A-3-3, A-3-4 & A-3-5 Nelson Property, located in Section 36, Township 7 South - Range 1 West, City of Baton Rouge, East Baton Rouge Parish, Louisiana, by Michael P. Blanchard, P.L.S., dated 07/13/2018, and recorded at Original 816 Bundle 12905 of the records of East Baton Rouge Parish, Louisiana, (the "Survey") as follows:
a. 15' Private Utility Servitude
b. 12' Private Utility Servitude
Affects subject property as shown.

LEGAL DESCRIPTION (PER TITLE COMMITMENT)

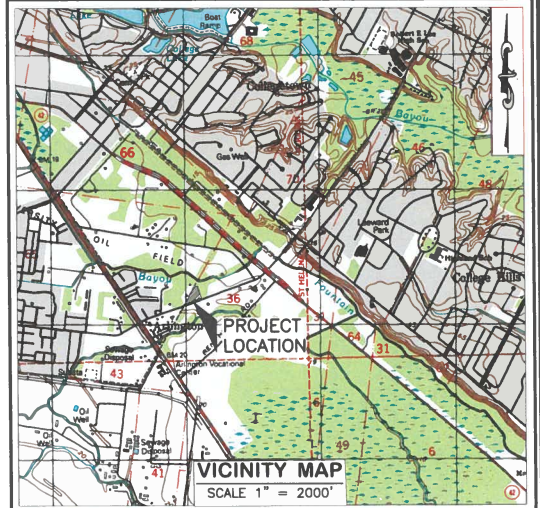
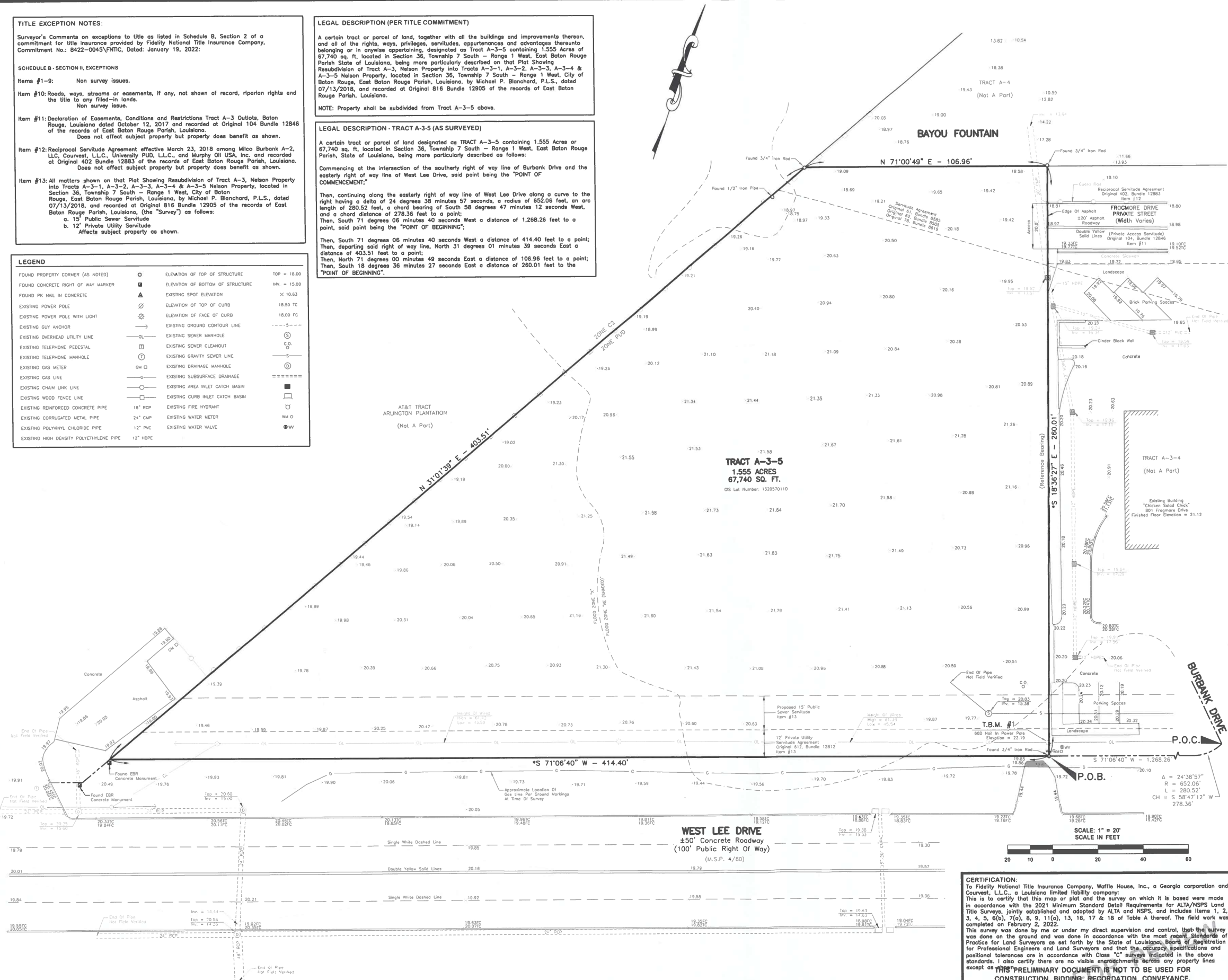
A certain tract or parcel of land, together with all the buildings and improvements thereon, and all of the rights, ways, privileges, servitudes, appurtenances and advantages thereunto belonging or in anywise appertaining, designated as Tract A-3-5 containing 1.555 Acres of 67,740 sq. ft., located in Section 36, Township 7 South - Range 1 West, East Baton Rouge Parish, State of Louisiana, being more particularly described on that Plat Showing Resubdivision of Tract A-3, Nelson Property into Tracts A-3-1, A-3-2, A-3-3, A-3-4 & A-3-5 Nelson Property, located in Section 36, Township 7 South - Range 1 West, City of Baton Rouge, East Baton Rouge Parish, Louisiana, by Michael P. Blanchard, P.L.S., dated 07/13/2018, and recorded at Original 816 Bundle 12905 of the records of East Baton Rouge Parish, Louisiana.

LEGAL DESCRIPTION - TRACT A-3-5 (AS SURVEYED)

A certain tract or parcel of land designated as TRACT A-3-5 containing 1.555 Acres or 67,740 sq. ft., located in Section 36, Township 7 South - Range 1 West, East Baton Rouge Parish, State of Louisiana, being more particularly described as follows:
Commencing at the intersection of the southerly right of way line of Burbank Drive and the easterly right of way line of West Lee Drive, said point being the "POINT OF COMMENCEMENT";
Then, continuing along the easterly right of way line of West Lee Drive along a curve to the right having a delta of 24 degrees 38 minutes 57 seconds, a radius of 652.06 feet, an arc length of 280.52 feet, a chord bearing of South 58 degrees 47 minutes 12 seconds West, and a chord distance of 278.36 feet to a point;
Then, South 71 degrees 06 minutes 40 seconds West a distance of 1,268.26 feet to a point, said point being the "POINT OF BEGINNING";
Then, South 71 degrees 06 minutes 40 seconds West a distance of 414.40 feet to a point;
Then, departing said right of way line, North 31 degrees 01 minutes 39 seconds East a distance of 403.51 feet to a point;
Then, North 71 degrees 00 minutes 49 seconds East a distance of 106.96 feet to a point;
Then, South 18 degrees 36 minutes 27 seconds East a distance of 260.01 feet to the "POINT OF BEGINNING".

LEGEND

Table with 3 columns: Symbol, Description, and Notes. Includes symbols for found property corner, concrete right of way marker, found PK nail, existing power pole, etc.



- NOTES:
1.) Zoning: PUD (Planned Unit Development)
2.) Reference Maps: A) Plat Showing Resubdivision of Tract A-3, Nelson Property into Tracts A-3-1, A-3-2, A-3-3, A-3-4 & A-3-5, Nelson Property, Located in Section 36, Township 7 South, Range 1 West, City of Baton Rouge, East Baton Rouge Parish, Louisiana.
3.) Basis of Bearings: Bearings are based on Reference Map "A"
4.) Basis of Elevations: The elevations shown hereon are based on the "North American Vertical Datum of 1988 - NAVD 88" (Geoid 12b) using GPS C4Gnet-RTN System accessed on February 2, 2022.
5.) Flood Note: The property hereon is located in Flood Zone "X" and Flood Zone "AE" in accordance with FEMA Flood Insurance Rate Map Panel Number 22033C 0245 E, dated May 2, 2008, for East Baton Rouge Parish, Louisiana.
6.) Utilities: The utilities shown have been located from visible utility features, evidence of buried utilities, and previous construction drawings.
7.) No attempt has been made by Acadia Land Surveying, L.L.C. to verify title, actual legal ownership, deed restrictions, servitudes, easements, alleys, right-of-ways or other burdens on the property.
8.) Acadia Land Surveying, L.L.C. has not and does not provide Delineation of Jurisdictional Wetlands.
9.) The words "Certify," "Certifies" or "Certification" as used hereon is understood to be an expression of professional opinion by the surveyor.
10.) Site T.B.M.'s (Temporary Bench Marks): #1 - 600 nail in power pole near southeast corner of property as shown. Elevation = 22.19 feet N.A.V.D.88
11.) The surveyor has no knowledge or observed any evidence of the site used as a solid waste dump, sump or sanitary landfill.
12.) The surveyor has no knowledge or observed any evidence of current earth moving work, building construction or building additions.
13.) The surveyor has no knowledge or observed any evidence of proposed changes in street right of ways.
14.) The subject property is contiguous to the right of way of West Lee Drive which is a publicly dedicated roadway.
15.) The subject property has direct access to West Lee Drive (publicly dedicated roadway) and Frogmore Drive (private street).

ALTA/NSPS LAND TITLE SURVEY OF TRACT A-3-5, NELSON PROPERTY LOCATED IN SECTION 36, TOWNSHIP 7 SOUTH - RANGE 1 WEST CITY OF BATON ROUGE, EAST BATON ROUGE PARISH, LOUISIANA FOR WAFFLE HOUSE, INC.

EXISTING CONDITIONS MAP SHEET #2

CERTIFICATION: To Fidelity National Title Insurance Company, Waffle House, Inc., a Georgia corporation and Courvest, L.L.C., a Louisiana limited liability company. This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 7(a), 8, 9, 11(a), 13, 16, 17 & 18 of Table A thereof. The field work was completed on February 2, 2022. This survey was done by me or under my direct supervision and control, that the survey was done on the ground and was done in accordance with the most recent Standards of Practice for Land Surveyors as set forth by the State of Louisiana, Board of Registration for Professional Engineers and Land Surveyors and that the accuracy specifications and positional tolerances are in accordance with Class "C" surveys indicated in the above standards. I also certify there are no visible encroachments across any property lines except as shown hereon.

Michael P. Blanchard, P.L.S. Reg. No. 4861
This survey plat is not valid without the raised or colored seal and signature of the Registered Land Surveyor.

ACADIA LAND SURVEYING, LLC
ALABAMA • LOUISIANA • MISSISSIPPI • TEXAS
208 EAST 2ND STREET, THIBODAUX, LOUISIANA 70301
Phone • (985) 449-0094 Fax • (985) 449-0095
EMAIL: ACADIA@ACADIALANDSURVEYING.COM

Table with 4 columns: SCALE OF DRAWING, DRAWN BY, FIELD BOOK, LOCATION ADDRESS, CHECKED BY, FIELD WORK COMPLETED ON, APPROVED BY, DATE.

GENERAL NOTES:

1. THIS PLAN IS A CONCEPT PLAN AND IS NOT A FINAL PLAN. IT IS SUBJECT TO THE APPROVAL OF THE PLANNING COMMISSION AND THE CITY OF BATON ROUGE.

2. THE PLANNING COMMISSION SHALL REVIEW THIS PLAN AND MAKE RECOMMENDATIONS TO THE CITY OF BATON ROUGE.

3. THE CITY OF BATON ROUGE SHALL REVIEW THIS PLAN AND MAKE RECOMMENDATIONS TO THE PLANNING COMMISSION.

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DESCRIPTION OF USES:

1. COMMERCIAL (COM) - CONFORMS TO ALL USES ALLOWED IN ALL ZONE DISTRICTS.

2. MEDIUM DENSITY RESIDENTIAL (MDR) - CONFORMS TO ALL USES ALLOWED IN ALL ZONE DISTRICTS.

3. LOW DENSITY RESIDENTIAL (LDR) - CONFORMS TO ALL USES ALLOWED IN ALL ZONE DISTRICTS.

4. OFFICE (OFF) - CONFORMS TO ALL USES ALLOWED IN ALL ZONE DISTRICTS.

5. PUBLIC USE (PU) - CONFORMS TO ALL USES ALLOWED IN ALL ZONE DISTRICTS.

6. OPEN SPACE (OS) - CONFORMS TO ALL USES ALLOWED IN ALL ZONE DISTRICTS.

7. MAIL KIOSK (MK) - CONFORMS TO ALL USES ALLOWED IN ALL ZONE DISTRICTS.

8. SPECIAL USE (SU) - CONFORMS TO ALL USES ALLOWED IN ALL ZONE DISTRICTS.

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15. MAIL KIOSK (MK) - CONFORMS TO ALL USES ALLOWED IN ALL ZONE DISTRICTS.

16. SPECIAL USE (SU) - CONFORMS TO ALL USES ALLOWED IN ALL ZONE DISTRICTS.

PREVIOUSLY APPROVED PUD USAGE CHART

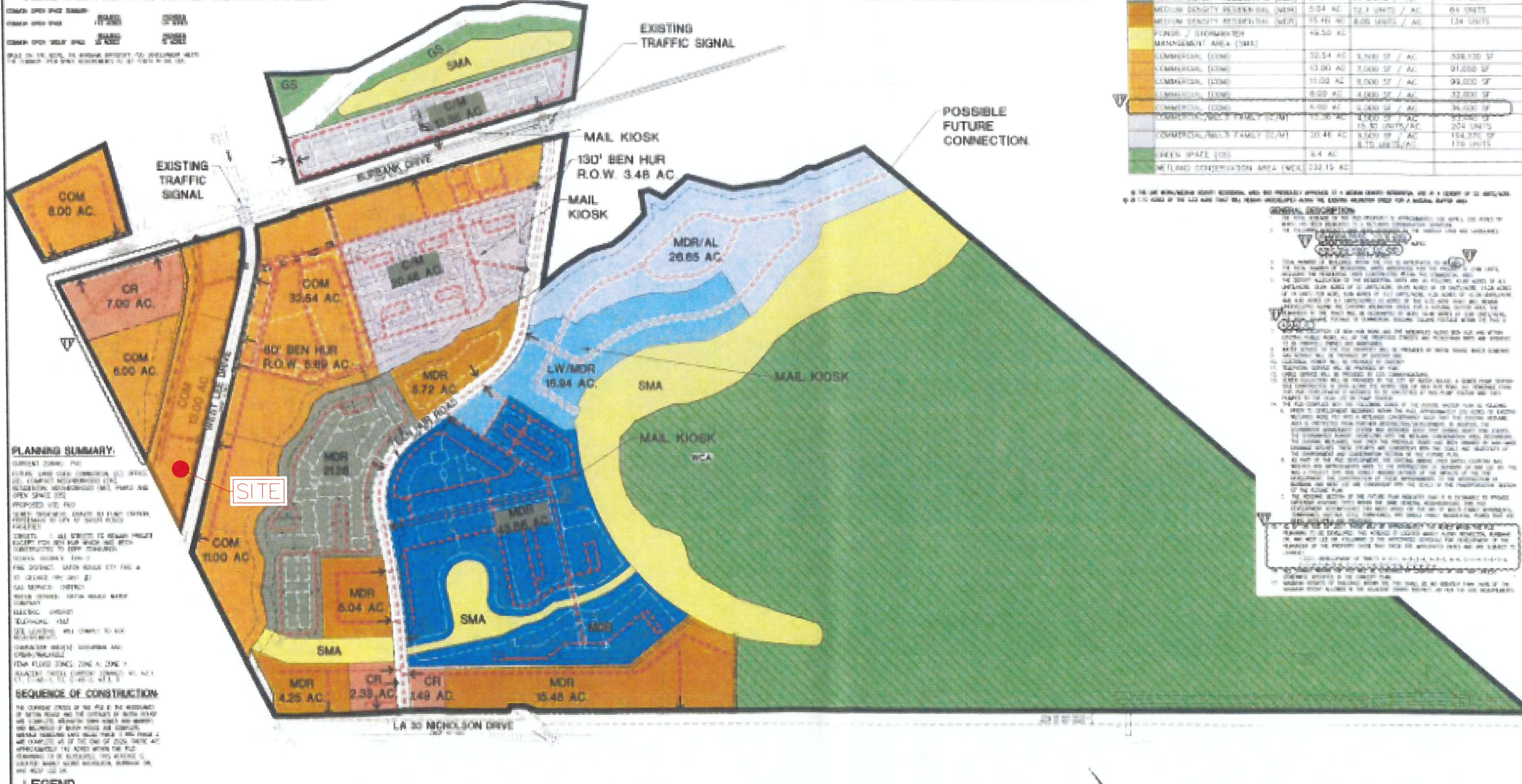
USE	MINIMUM DENSITY	MINIMUM DENSITY RESIDENTIAL/COMMERCIAL	COMMERCIAL/OFFICE	PUBLIC USE	OPEN SPACE
COM	1.00	1.00	1.00	1.00	1.00
MDR	1.00	1.00	1.00	1.00	1.00
LDR	1.00	1.00	1.00	1.00	1.00
OFF	1.00	1.00	1.00	1.00	1.00
PU	1.00	1.00	1.00	1.00	1.00
OS	1.00	1.00	1.00	1.00	1.00

MODIFIED PUD USAGE CHART

USE	MINIMUM DENSITY	MINIMUM DENSITY RESIDENTIAL/COMMERCIAL	COMMERCIAL/OFFICE	PUBLIC USE	OPEN SPACE
COM	1.00	1.00	1.00	1.00	1.00
MDR	1.00	1.00	1.00	1.00	1.00
LDR	1.00	1.00	1.00	1.00	1.00
OFF	1.00	1.00	1.00	1.00	1.00
PU	1.00	1.00	1.00	1.00	1.00
OS	1.00	1.00	1.00	1.00	1.00

USAGE LEGEND

AREA	USE	ACRES	DENSITY	TOTAL SF / UNITS
1	COMMERCIAL / RETAIL (CR)	2.55 AC	4,000 SF / AC	10,250 SF
2	COMMERCIAL / RETAIL (CR)	1.80 AC	5,000 SF / AC	9,000 SF
3	COMMERCIAL / RETAIL (CR)	1.00 AC	6,000 SF / AC	6,000 SF
4	MEDIUM DENSITY RESIDENTIAL (MDR)	45.50 AC	4.5 UNITS / AC	204.75 UNITS
5	LIVE WORK / MEDIUM DENSITY RESIDENTIAL (LW/MDR)	10.04 AC	22 UNITS / AC	220.88 UNITS
6	MEDIUM DENSITY RESIDENTIAL (MDR)	26.45 AC	18 UNITS / AC	476.10 UNITS
7	MEDIUM DENSITY RESIDENTIAL (MDR)	4.82 AC	6.1 UNITS / AC	29.40 UNITS
8	MEDIUM DENSITY RESIDENTIAL (MDR)	4.25 AC	12.15 UNITS / AC	51.64 UNITS
9	MEDIUM DENSITY RESIDENTIAL (MDR)	21.20 AC	16 UNITS / AC	339.20 UNITS
10	MEDIUM DENSITY RESIDENTIAL (MDR)	5.04 AC	12.3 UNITS / AC	62.00 UNITS
11	MEDIUM DENSITY RESIDENTIAL (MDR)	15.48 AC	6.05 UNITS / AC	93.27 UNITS
12	POND / STREAM / MANAGEMENT AREA (SMA)	19.50 AC		
13	COMMERCIAL (COM)	32.54 AC	3,000 SF / AC	97,620 SF
14	COMMERCIAL (COM)	13.00 AC	3,000 SF / AC	39,000 SF
15	COMMERCIAL (COM)	11.00 AC	3,000 SF / AC	33,000 SF
16	COMMERCIAL (COM)	6.00 AC	4,000 SF / AC	24,000 SF
17	COMMERCIAL (COM)	4.00 AC	6,000 SF / AC	24,000 SF
18	COMMERCIAL, MULTI-FAMILY (COM)	11.36 AC	4,000 SF / AC	45,440 SF
19	COMMERCIAL, MULTI-FAMILY (COM)	10.48 AC	3,500 SF / AC	36,680 SF
20	GREEN SPACE (OS)	8.4 AC		
21	WETLAND CONSERVATION AREA (WCA)	230.15 AC		



PLANNING SUMMARY:

1. THE SITE IS LOCATED IN THE COMMERCIAL ZONE DISTRICT.

2. THE PROPOSED DEVELOPMENT IS CONSISTENT WITH THE ZONING REGULATIONS.

3. THE DEVELOPMENT WILL PROVIDE A MIXED-USE ENVIRONMENT.

4. THE DEVELOPMENT WILL IMPROVE THE LOCAL ECONOMY.

5. THE DEVELOPMENT WILL PROVIDE HOUSING AND EMPLOYMENT OPPORTUNITIES.

6. THE DEVELOPMENT WILL BE ACCESSIBLE TO PUBLIC TRANSPORTATION.

7. THE DEVELOPMENT WILL PRESERVE AND ENHANCE THE ENVIRONMENT.

8. THE DEVELOPMENT WILL PROVIDE A HIGH-QUALITY DEVELOPMENT.

9. THE DEVELOPMENT WILL BE FINANCIALLY VIABLE.

10. THE DEVELOPMENT WILL BE A POSITIVE CONTRIBUTION TO THE COMMUNITY.

SEQUENCE OF CONSTRUCTION:

1. THE DEVELOPMENT WILL BE CONSTRUCTED IN PHASES.

2. THE FIRST PHASE WILL INCLUDE THE POND AND STREAM MANAGEMENT AREA.

3. THE SECOND PHASE WILL INCLUDE THE COMMERCIAL AND RESIDENTIAL BUILDINGS.

4. THE THIRD PHASE WILL INCLUDE THE LANDSCAPING AND INFRASTRUCTURE.

5. THE DEVELOPMENT WILL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

LEGEND:

--- ZONE LINE

--- RIGHT-OF-WAY

--- PROPERTY LINE

--- PROPOSED VEHICLE ACCESS

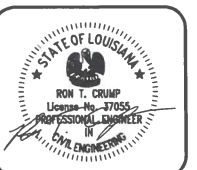
--- CONSERVATION AREA

--- NEIGHBORLY PATH

--- PRESERVE PATH (WCA)

APPROVED BY PLANNING COMMISSION 12.13.2021

CONCEPT PLAN REVISION #11



CONTINIO GROUP
 755 COMMERCE DRIVE
 SUITE 800
 DECATUR, GA 30030
 770.335.9403
 www.icg-engineer.com

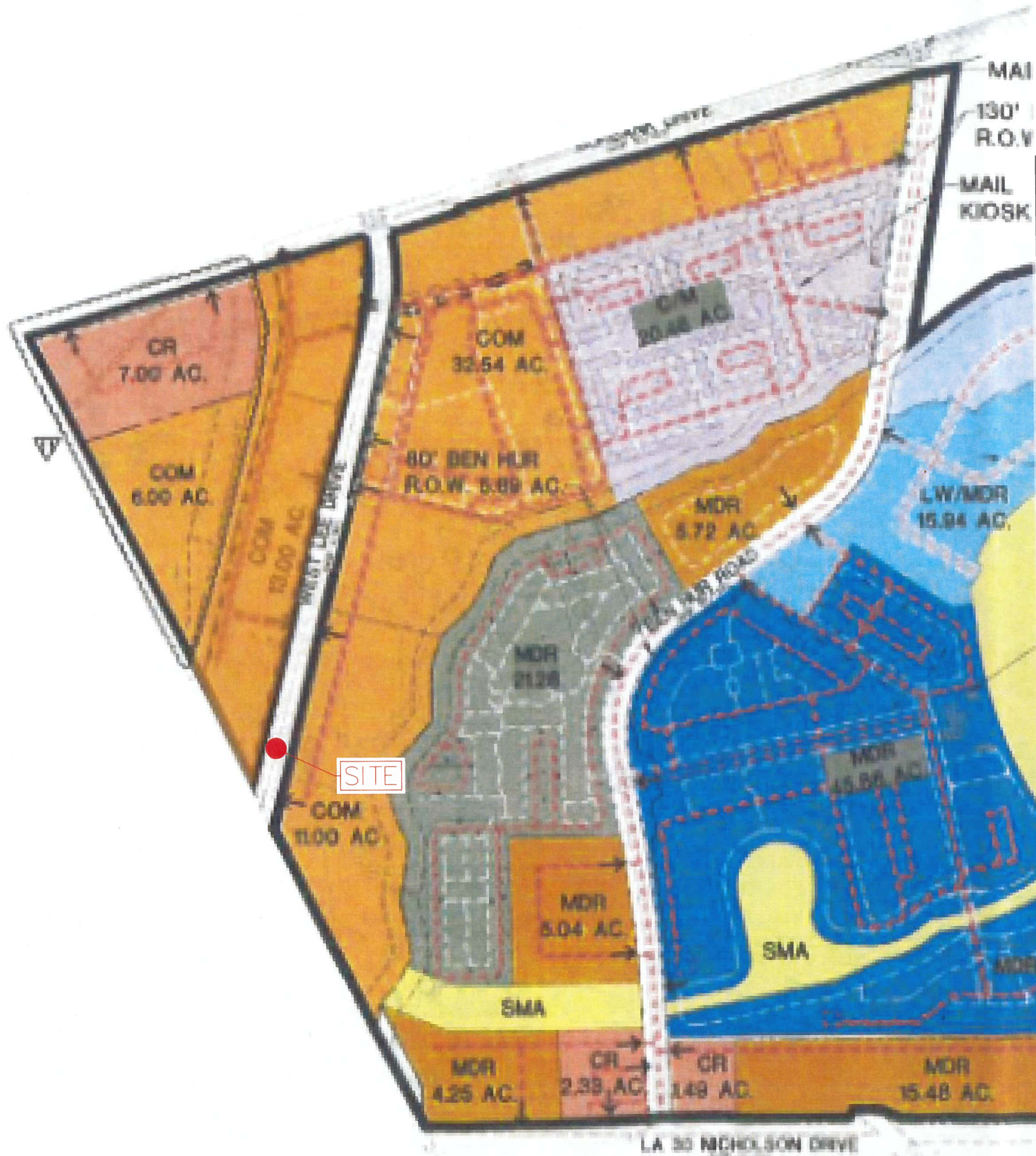
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 5886 Financial Drive, Norcross, GA 30071
 (770) 729-5700

ISSUED FOR: PERMIT
 JURISDICTION: CITY OF BATON ROUGE
 LOCATION: 851 FRONCHORE DRIVE, BATON ROUGE, LA 70820

#	DATE	REVISIONS

DRAWN: AAA
 CHECK: JDR
 JOB NO: 22-154
 DATE: 06/01/22

APPROVED CONCEPT PLAN
 SHEET #3



COMPONENT AREA
(13.36 ACRE COMMERCIAL TRACT)

	ALLOWED	WENDY'S RESTAURANT	NATIONAL TIRE	ANDY'S FROZEN CUSTARD	MURPHYS EXPRESS	BENNYS	CHICKEN SALAD SHACK	PROPOSED WAFFLE HOUSE	TOTAL	REMAINING
ACREAGE	13	0.91	1.16	1.24	1.80	1.96	1.00	0.41	8.48	4.53
TOTAL BUILDING S.F.	91,000	3,071	6,190	1,225	3,445	2,935	3,025	1,900	21,791	69,209
CANOPY S.F.	N/A	N/A	N/A	N/A	6,057	7,726	N/A	N/A	13,783	N/A
DENSITY (SF/AC)	7,000	3,371	2,695	987	1,914	1,497	3,019	3,265	16,748	11,159
COMMON OPEN SPACE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
GREEN OPEN SPACE	N/A	0.11	0.16	0.20	0.63	0.18	0.19	0.17	1.64	N/A

PUD USAGE CHART

	LOW DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	HIGH DENSITY RESIDENTIAL	COMMERCIAL/OFFICE	PUBLIC AND SEMI-PUBLIC	INDUSTRIAL	GREEN OPEN SPACE
TOTAL # OF UNITS	-	1,806	-	N/A	N/A	-	-
TOTAL S.F. OF BUILDINGS	-	N/A	-	632,050	N/A	-	-
TOTAL ACREAGE	-	139.14	-	81.36	3.53	-	292.15
PERCENTAGE OF SITE	-	25%	-	15%	1%	-	53%



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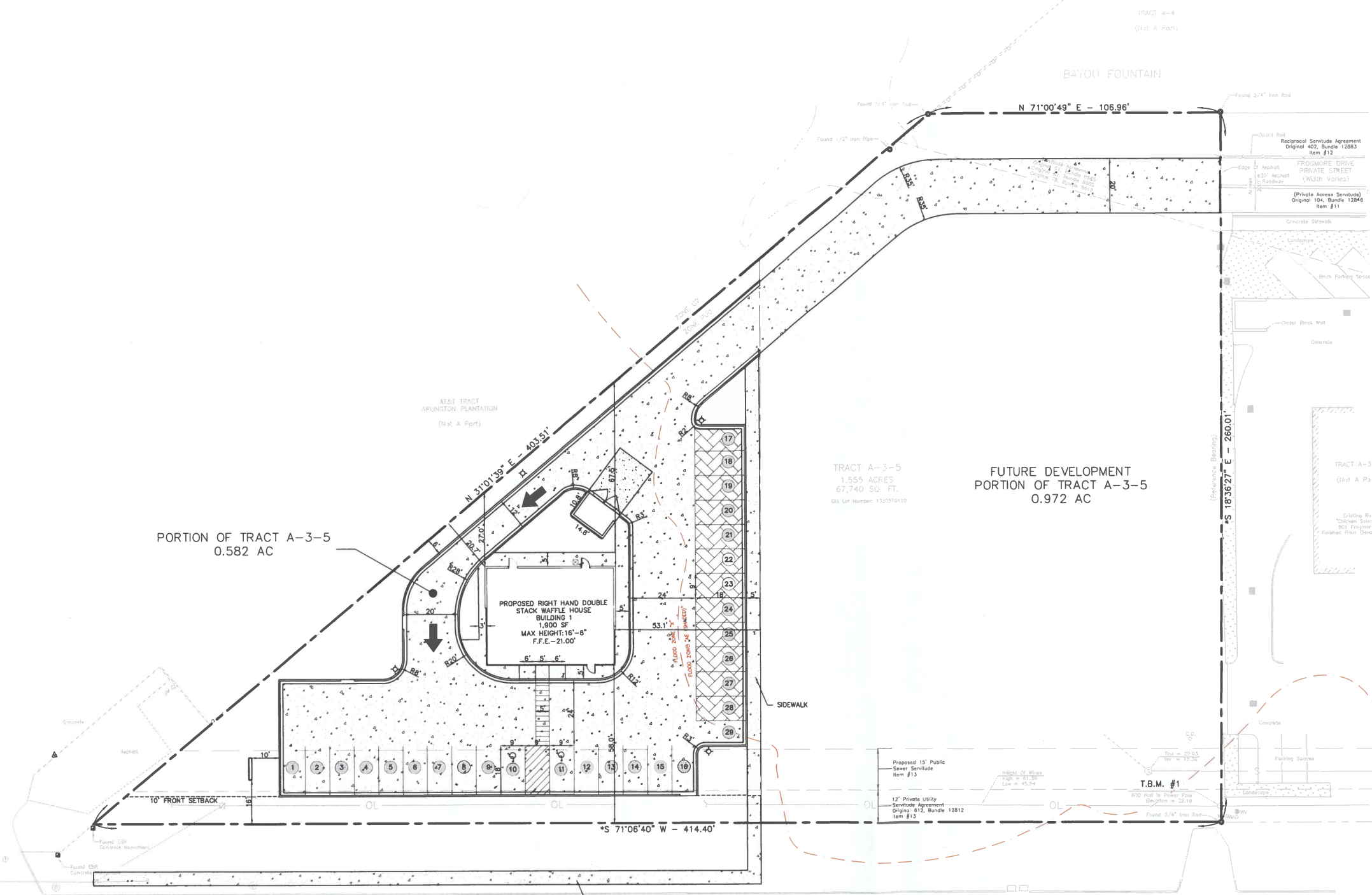
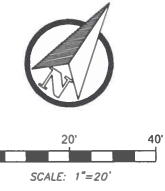
WAFFLE HOUSE
BATON ROUGE, LA
ISSUED FOR: PERMIT
JURISDICTION: CITY OF BATON ROUGE
LOCATION: 851 FROGMORE DRIVE
BATON ROUGE, LA 70820

#	DATE	REVISIONS

DRAWN: AAA
CHECK: JDR
JOB NO: 22-154
DATE: 06/01/22

OVERALL/PHASE PLAN
SHEET **#4**

D:\PROJ\PROX (CONTINUED-MASTER)\CONTINUED-MASTER\PROJECTS\2022\22-154 - WH - BATON ROUGE, LA (NEW BUILD) - DWG

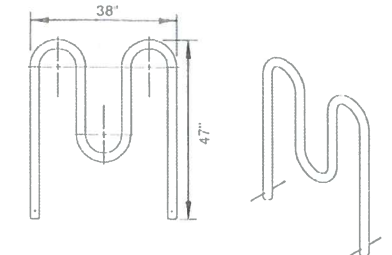


SITE LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- - - SETBACK LINE
- ▬ 18" CURB AND GUTTER
- ▬ PROPOSED CONCRETE
- ♿ ADA ACCESSIBLE DESIGNATED STALL
- Ⓜ PARKING SPACE COUNT
- ➔ VEHICULAR FLOW ARROWS

PARKING REQUIREMENTS

PARKING STALL DIMENSIONS 9'x18'
 EXISTING PARKING 0
 PROPOSED PARKING 29
MINIMUM PARKING ALLOWED:
 1 PER 150 SF OF GFA = 1,900/150 = 13 SPACES
MAXIMUM PARKING ALLOWED:
 125% OF MIN PARKING = 17 SPACES
 PERVIOUS PAVING TO BE USED ON PARKING OVER MAX ALLOWED.
 A MINIMUM OF ONE BICYCLE PARKING SPACE SHALL BE PROVIDED FOR EACH 20 OFF-STREET PARKING SPACES.
BICYCLE PARKING REQUIRED= 25 SPACES/20 OFF-STREET PARKING SPACES= 1.25 BICYCLE PARKING REQUIRED.
 2 BIKE PARINGS PROVIDED



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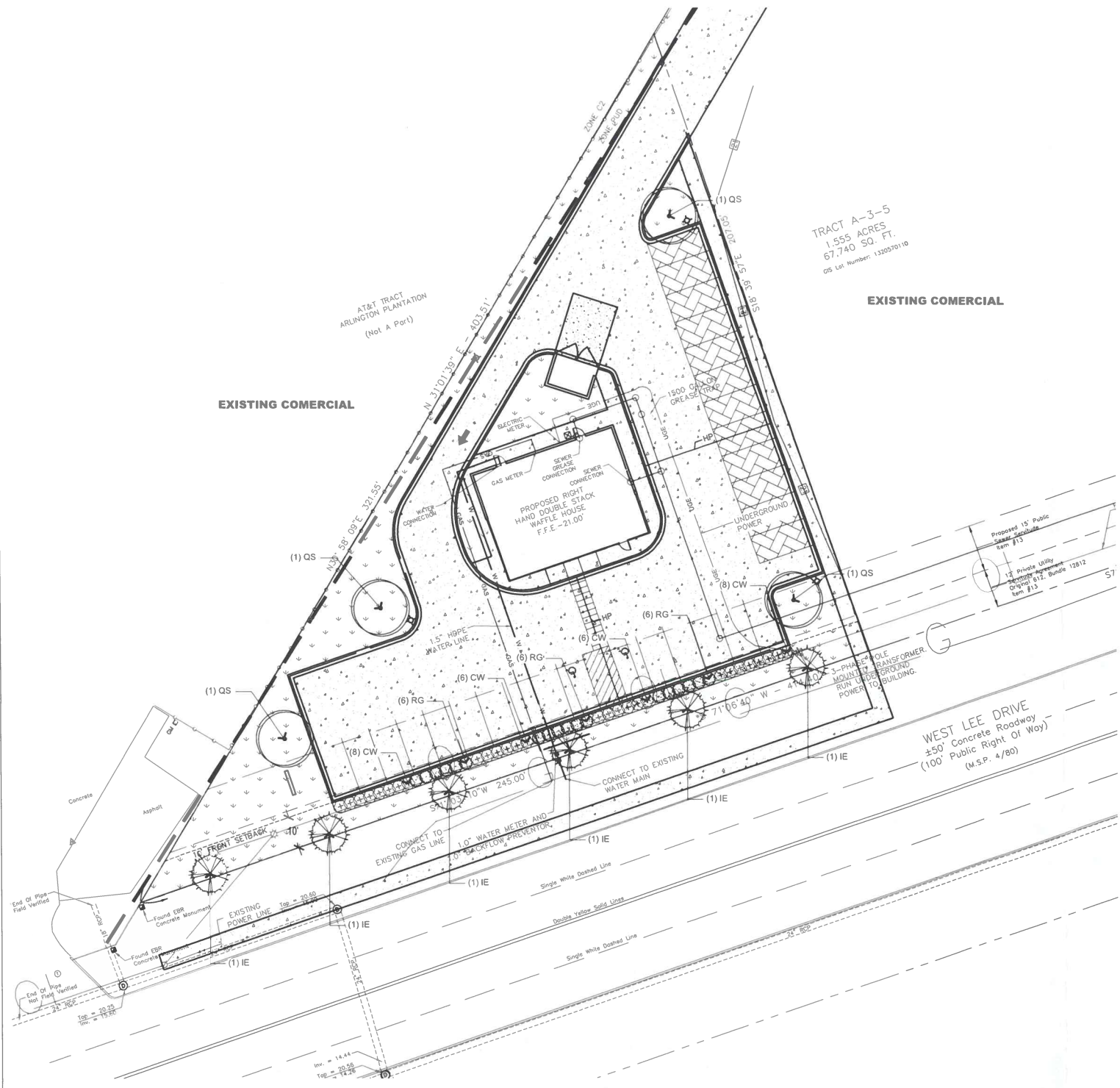
WAFFLE HOUSE
 BATON ROUGE, LA
 ISSUED FOR: PERMIT
 JURISDICTION: CITY OF BATON ROUGE
 LOCATION: 851 FROGMORE DRIVE
 BATON ROUGE, LA 70820

#	DATE	REVISIONS

DRAWN: AAA	CHECK: JDR
JOB NO: 22-154	DATE: 06/01/22

CIRCULATION PLAN
 SHEET **#6**

01 LANDSCAPE ORDINANCE PLAN
SCALE: 1"=20'-0"



TRACT A-3-5
1.555 ACRES
67,740 SQ. FT.
OS Lot Number: 1320570110

EXISTING COMERCIAL

WEST LEE DRIVE
±50' Concrete Roadway
(100' Public Right Of Way)
(M.S.P. 4/80)

02 PLANTING SCHEDULE
SCALE: N.T.S.

TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	QS	Quercus shumardii / Shumard Oak	45 gal	3"	8-10' H. x 4-6' W.	4
CLASS B	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	IE	Ilex x Attenuata 'Eagleston' / Eagleston Holly	30 gal.	2"	7-8' H x 3-4' W	6
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE		
	CW	Camellia sasanqua 'Green 02-004' TM / October Magic White Shi-Shi Camellia	3 gal	15-18" H x 15-18" W		28
	RG	Rhododendron x 'Girard's Rose' / Girard's Rose Azalea	3 gal.	15-18" H x 15-18" W		18
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT			
	CH	SOD / Bermuda sod	none			8,691 sf
BED PREP	CODE	BOTANICAL / COMMON NAME	CONT			
	BED	Bed Prep / Bed Prep	bed area			777 sf

03 LANDSCAPE ORDINANCE REQUIREMENTS
SCALE: N.T.S.

PER 18.3.3 BUFFERS BETWEEN PROPERTIES - URBAN CHARACTER

BUFFERS AREA REQUIRED BETWEEN PROPERTIES WHEN INCOMPATIBLE USES ABUT EACH OTHERS THE PURPOSE OF A BUFFER REQUIREMENT IS TO INTERRUPT SIGHT LINES FROM ABUTTING USES.

PROPERTY LINE	ABUTTING PROPERTY USE	BUFFER TYPE REQUIRED	LENGTH (FT)	CLASS A TREES		CLASS B TREES		NOTES
				REQUIRED	PROPOSED	REQUIRED	PROPOSED	
EAST	COMMERCIAL	NA	207.05	0	0	0	0	PROPERTIES HAVE COMPATIBLE USES
NORTH	COMMERCIAL	NA	321.55	0	0	0	0	

PER 18.3.4 STREET YARD - URBAN CHARACTER

STREET TREES ARE REQUIRED ALONG THE ENTIRE STREET FRONTAGE, EXCLUDING ALLEYS. TREES OF DIFFERENT CLASSES MAY BE COMBINED TO MEET STANDARDS. TREES MAY BE GROUPED OR SPACED AT IRREGULAR INTERVALS. A CONTINUOUS THREE FOOT TALL SCREEN IS REQUIRED BETWEEN ANY PARKING LOT AND THE ABUTTING SIDEWALK CONSISTING OF CONTINUOUS EVERGREEN SHRUBS OR A WALL, FENCE OR BERM. A 10-FT WIDE LANDSCAPE STRIP REQUIRED ALONG THE ENTIRE STREET FRONTAGE IMMEDIATELY BEHIND THE RIGHT-OF-WAY OR SERVITUDE OF PASSAGE, EXCLUSIVE OF DRIVEWAYS AND ACCESS WAYS AT POINTS OF INGRESS AND EGRESS TO THE LOT. THE NUMBER OF TREES REQUIRED IS ONE CLASS A TREE PER 40 LINEAR FEET. WHERE OVERHEAD UTILITIES ARE PRESENT, ONE CLASS B OR C TREE MAY REPLACE A CLASS A AT A RATE OF ONE CLASS B OR C EVERY 40 LINEAR FEET.

STREET NAME	LENGTH OF ROAD (FT)	TREES CLASS B		LANDSCAPE BUFFER - 10FT WIDE (SQUARE FEET)	PARKING LOT BUFFER AT STREET
		REQUIRED	PROPOSED		
WEST LEE DRIVE	245.25	6	6	2452.5	YES

NOTE: OVERHEAD UTILITIES PRESENT ALONG THE STREET YARD

PER 18.3.5 PARKING LOT LANDSCAPING - URBAN CHARACTER

NO PARKING SPACE SHALL BE LOCATED FURTHER THAN 100 FEET FROM A CLASS A OR B TREE. TREES MAY BE PROVIDED IN A MIX OF INTERIOR ISLANDS, MEDIAN ISLANDS, TERMINAL ISLANDS, AND BUFFER AREAS. ALL ISLANDS SHALL HAVE A MINIMUM AREA OF 75 SQUARE FEET. TREE WELLS FOR CLASS A SHALL BE 36 SF, AND 25 SF FOR CLASS B. TREES MAY NOT BE PLANTED CLOSER THAN 2-1/2 FEET FROM PAVEMENT. ISLANDS PROVIDED WITHOUT TREES SHALL PROVIDE PLANT MATERIAL, NO SINGLE TYPE OF MATERIAL MAY BE USED MORE THAN 60% OF THE AREA. AN INTERIOR LANDSCAPED ISLAND SHALL BE PROVIDED FOR EVERY 10 PARKING SPACES. ALL ROWS SHALL TERMINATE IN A CURBED LANDSCAPE ISLAND. TERMINAL ISLANDS SHALL HAVE A MINIMUM OF 5 FEET IN WIDTH AND HAVE A LENGTH NO SHORTER THAN 2 FEET LESS THAN THE ABUTTING PARKING SPACE. A CURBED MEDIAN ISLAND WITH A MINIMUM WIDTH OF 6 FEET INSIDE THE CURB SHALL BE PROVIDED BETWEEN EVERY 6 SINGLE PARKING ROWS AND ALONG PRIMARY INTERNAL AND EXTERNAL ACCESS DRIVES. A CONTINUOUS THREE FOOT TALL SCREEN IS REQUIRED BETWEEN ANY PARKING LOT AND THE ABUTTING SIDEWALK CONSISTING OF CONTINUOUS EVERGREEN SHRUBS OR A WALL, FENCE OR BERM.

PARKING LOT LANDSCAPING	REQUIRED	PROVIDED
INTERIOR ISLANDS FOR EVERY 10 SPACES	NA	NO
TERMINAL ISLANDS	NA	NO
MEDIAN ISLANDS	NA	NO
CLASS A OR B TREES WITHIN 100 FT OF PARKING SPACES	YES	YES

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WAFFLE HOUSE
WEST LEE DR
BATON ROUGE, LA

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May 27, 2022

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SHEET TITLE
LANDSCAPE ORDINANCE PLAN

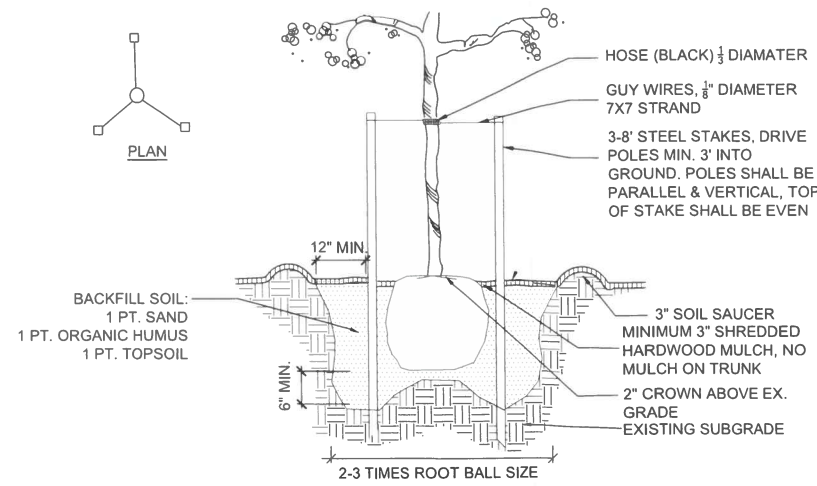
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LANDSCAPE PLAN
SHEET #8

01 LANDSCAPE NOTES

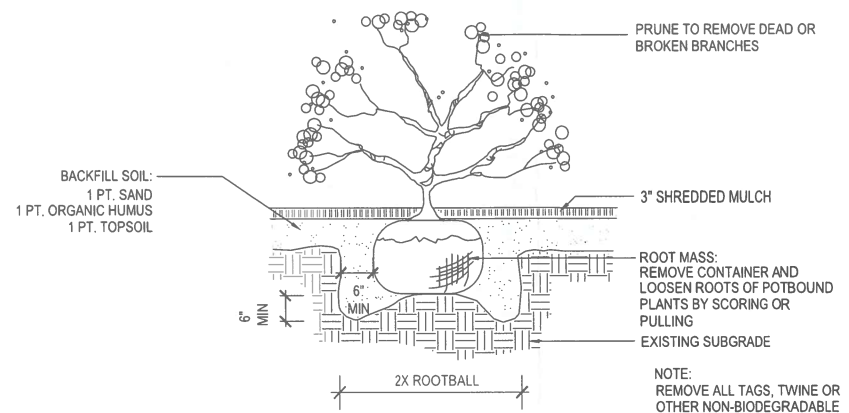
SCALE: N.T.S.

- ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE RULES OF GOOD ARBORICULTURAL PRACTICE AS SET FORTH BY THE ANSI A300 AND IN THE LOUISIANA NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY, LATEST EDITION, AS PUBLISHED BY THE LOUISIANA NURSERY AND LANDSCAPE ASSOCIATION, AND CURRENTLY IN EFFECT AT THE TIME OF SUCH WORK.
- PLANT MATERIAL SHALL BE TRUE TO NAME, VARIETY AND SIZE AND SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- PLANT MATERIALS SHALL BE COLD-HARDY FOR THE SPECIFIC LOCATION WHERE THEY ARE TO BE PLANTED.
- PLANT MATERIALS SHALL BE ABLE TO SURVIVE ON NATURAL RAINFALL ONCE ESTABLISHED WITH NO LOSS OF HEALTH.
- ALL PLANT HEIGHTS SHALL BE MEASURED FROM THE TOP OF THE ROOT BALL TO THE TIP OF THE HIGHEST BRANCH.
- CLASS "A" TREES AND STREET YARD TREES
ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM TWO-INCH CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING. MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF TEN FEET TALL AT TIME OF PLANTING.
- CLASS "B" TREES
ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM TWO-INCH CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING. MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE-INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.
- A WATER SOURCE SHALL BE SUPPLIED WITHIN 200 FEET OF ANY PLANTING REQUIRING WATERING TO BECOME ESTABLISHED.
- LOCATE ALL UTILITIES ON THE SITE PRIOR TO COMMENCING ANY WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE WORK WITH THE WORK OF OTHER TRADES ON THE SITE.
- ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
- APPLY FOR AND PROCURE REQUIRED PERMITS PRIOR TO COMMENCING WORK.
- STAKE OUT ALL TREE LOCATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
- PROVIDE PHOTOGRAPHS WITH SCALE FIGURES FOR TREES AND LARGE SHRUBS OR SAMPLE TREES FROM NURSERY FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.
- PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE, AND OBTAINED FROM THE SAME SOURCE.
- ALL TREES ARE TO BE STAKED AND PLANTED AS SHOWN IN DETAILS.
- TREES SPECIFIED TO BE CONTAINER GROWN, TREES WHICH HAVE BEEN GROWN IN FIELD CONDITIONS AND PLACED IN CONTAINERS WILL BE **NOT ACCEPTED**. TREES GROWN IN GROW BAGS WILL BE **NOT ACCEPTED**.
- PLANTS SHALL BE WELL FORMED, NO. 1 GRADE OR BETTER NURSERY STOCK AND SHALL MEET THE APPLICABLE STANDARDS NOTED HEREIN AND SHALL BE SUBJECT TO REJECTION BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE MAY REJECT ANY MATERIALS THAT DO NOT MEET THE REQUIREMENTS OF THE PLANT LIST, DRAWINGS OR NOTES. REJECTED MATERIALS SHALL BE REMOVED BY THE CONTRACTOR AT NO COST TO THE OWNER. IN THE EVENT THAT THE MATERIALS ARE REJECTED, THE CONTRACTOR SHALL PURSUE AND EXAMINE OTHER SOURCES OF MATERIALS UNTIL ACCEPTABLE SPECIMENS ARE FOUND. SUCH A CHANGE WILL NOT CONSTITUTE AND INCREASE IN COST TO THE OWNER.
- CONTRACTOR SHALL EXCAVATE ALL CONTAMINATED OR STRUCTURALLY ENGINEERED SOILS PRIOR TO PLANTING (CONCRETE, REBAR, DEBRIS, ETC.)
- ALL TREES SHALL EQUAL OR EXCEED THE MEASUREMENTS SPECIFIED IN THE PLANT LIST AND ARE MINIMUM ACCEPTABLE SIZE. DIMENSIONS FOR HEIGHT AND SPREAD IN THE PLANT LIST REFER TO THE MAIN BODY OF THE TREE AND NOT FROM THE BRANCH TIP TO BRANCH TIP.
- CALIPER SIZES SHALL BE MEASURED SIX INCHES (6") ABOVE GROUND LEVEL.
- PLANTS MEETING THE REQUIREMENTS IN THE PLANT LIST, BUT NOT POSSESSING NORMAL BALANCE BETWEEN HEIGHT AND SPREAD, HAVE DAMAGED BARK AND DAMAGED LIMBS WILL BE **NOT ACCEPTED**.
- ALL TREES SHALL BE MULCHED 3" THICK USING A HARDWOOD MULCH CONSISTING OF COMPOSTED AND RECYCLED TREE AND BRUSH TRIMMINGS AND SHALL BE 95% HARDWOOD MATERIAL. THE MULCH SHALL INCLUDE PARTICLE SIZES WHICH ARE BETWEEN 1/2" AND 4". CYPRESS BARK WILL BE **NOT ACCEPTED**.
- WATER MANAGEMENT GEL SHALL BE MIXED WITH SOIL FOR EACH TREE AS PER MANUFACTURER'S RECOMMENDATIONS. THE GEL SHALL CONSIST OF A POLYMER WITH THE ABILITY TO RETAIN AND RELEASE AVAILABLE WATER TO THE ROOT ZONE.
- FERTILIZER SHALL BE 10-12-12 OR OTHER APPROVED BLEND, APPLIED AT THE RATE RECOMMENDED BY THE MANUFACTURER. ANY FERTILIZER THAT BECOMES WET, CAKED OR OTHERWISE DAMAGED, MAKING IT UNSUITABLE FOR USE WILL BE **NOT ACCEPTED**.
- ALL TREE PITS MUST BE LOOSENEED TO A DEPTH THAT ANY HARDPAN HAS BEEN BROKEN AND MOISTURE IS ALLOWED TO MOVE THROUGH FREELY. ALL TREES SHALL BE SET PLUMB ON UNDISTURBED SUB GRADE. THE TREE MUST BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TREE'S ORIGINAL GRADE IN NURSERY OR BE SLIGHTLY ABOVE (NO MORE THEN ONE AND ONE HALF INCHES) FINISHED GRADE. TREE SHALL SET ON UNDISTURBED SUBGRADE. TREES THAT ARE PLANTED TOO LOW OR THAT SETTLE BELOW FINISHED GRADE OR THAT ARE PLANTED TOO HIGH SHALL BE REPLANTED AT CONTRACTOR'S EXPENSE. ALL TREES MUST BE WATERED AT TIME OF PLANTING TO POINT OF SATURATION. BACKFILL AROUND ROOTBALL IN LAYERS TO PREVENT AIR POCKETS. DO NOT PACK THE SOIL TIGHTLY. USE LIGHT FOOT PRESSURE AND WATER TO GENTLY PACK THE SOIL. COMPLETELY REMOVE ALL WIRE BINDINGS AND TIES. COMPLETELY REMOVE BURLAP OR PEEL PACK BURLAP ON TOP 1/3 OF ROOT BALL AND CUT SIX 5 TO 10 INCH SLICES IN BURLAP, EVENLY SPACED AROUND ROOTBALL. PRUNE LOWER BRANCHES OF TREES WITH 1.5" TRUNK CALIPER OR GREATER, TO A MIN. HEIGHT OF 4'-0" ABOVE GROUND. NOTIFY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE IMMEDIATELY OF ALL SUBSURFACE DRAINAGE OR SOIL CONDITIONS WHICH THE CONTRACTOR CONSIDERS TO BE DETRIMENTAL TO THE GROWTH OR SURVIVAL OF THE PLANT MATERIAL.
- ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN 1 MONTH OF SODDING SHALL BE RE-SODDED AS DIRECTED UNTIL A SATISFACTORY LAWN HAS BEEN ESTABLISHED.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK.
- FINAL ACCEPTANCE ALL TREES BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE WILL BE MADE ONLY IF ALL TREES ARE IN PLACE, LIVING AND ARE IN CONFORMANCE WITH THE DRAWING, PLANT LIST AND NOTES.



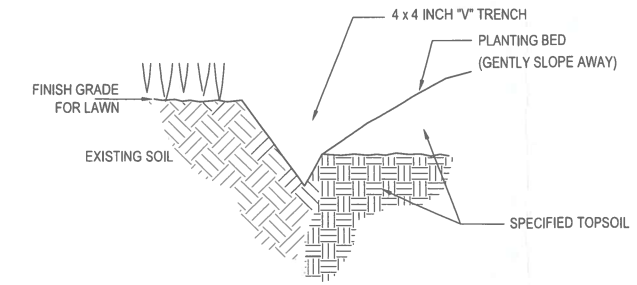
02 TREE PLANTING DETAIL

SCALE: N.T.S.



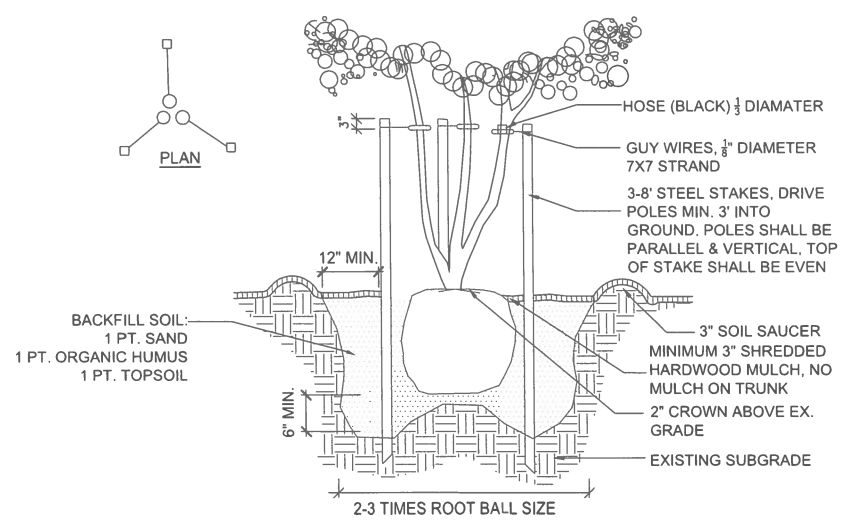
04 SHRUB PLANTING DETAIL

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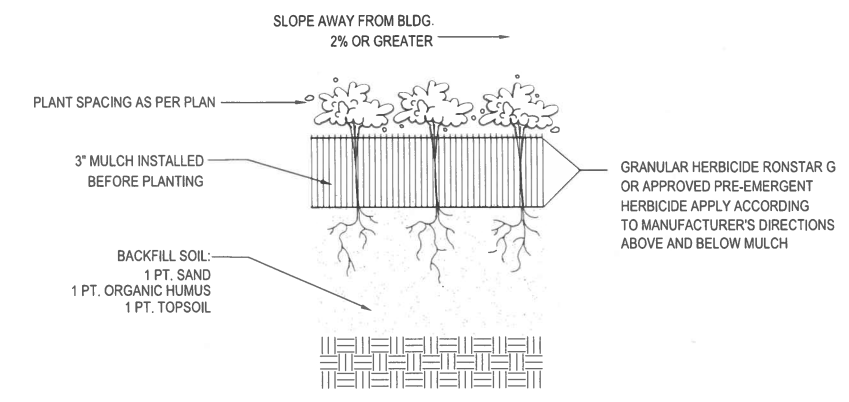
06 TRENCH DETAIL

SCALE: N.T.S.



03 MULTI-TRUNK TREE PLANTING DETAIL

SCALE: N.T.S.



05 ANNUALS AND GROUNDCOVER PLANTING DETAIL

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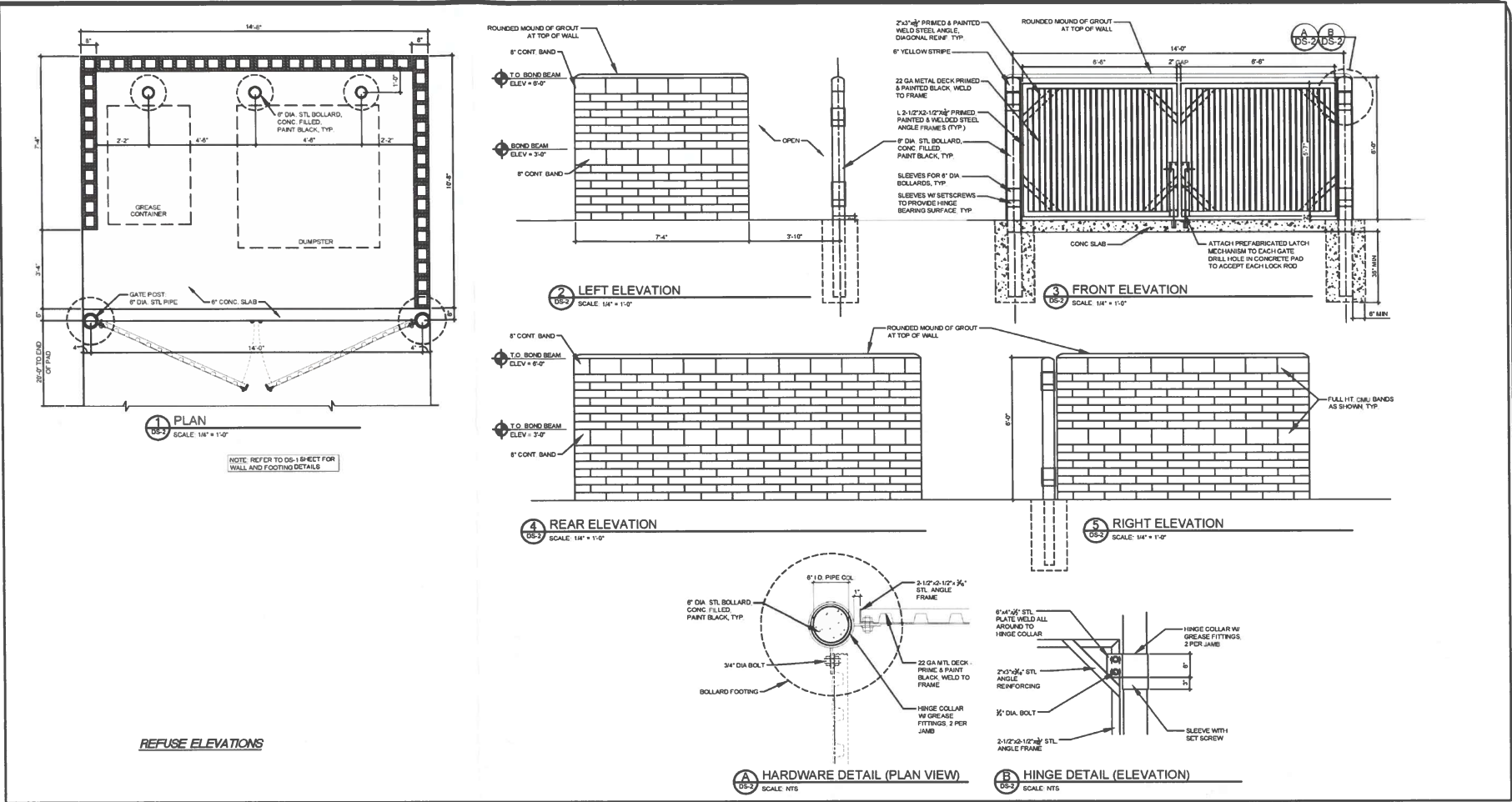
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PLANTING NOTES & DETAILS
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D:\DROPOBOX (CONTINUED-MASTER)\CONTINUED-MASTER\PROJECTS\2022\22-154 - WH - BATON ROUGE, LA (NEW BUILD)_DWG



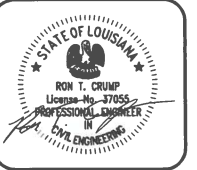
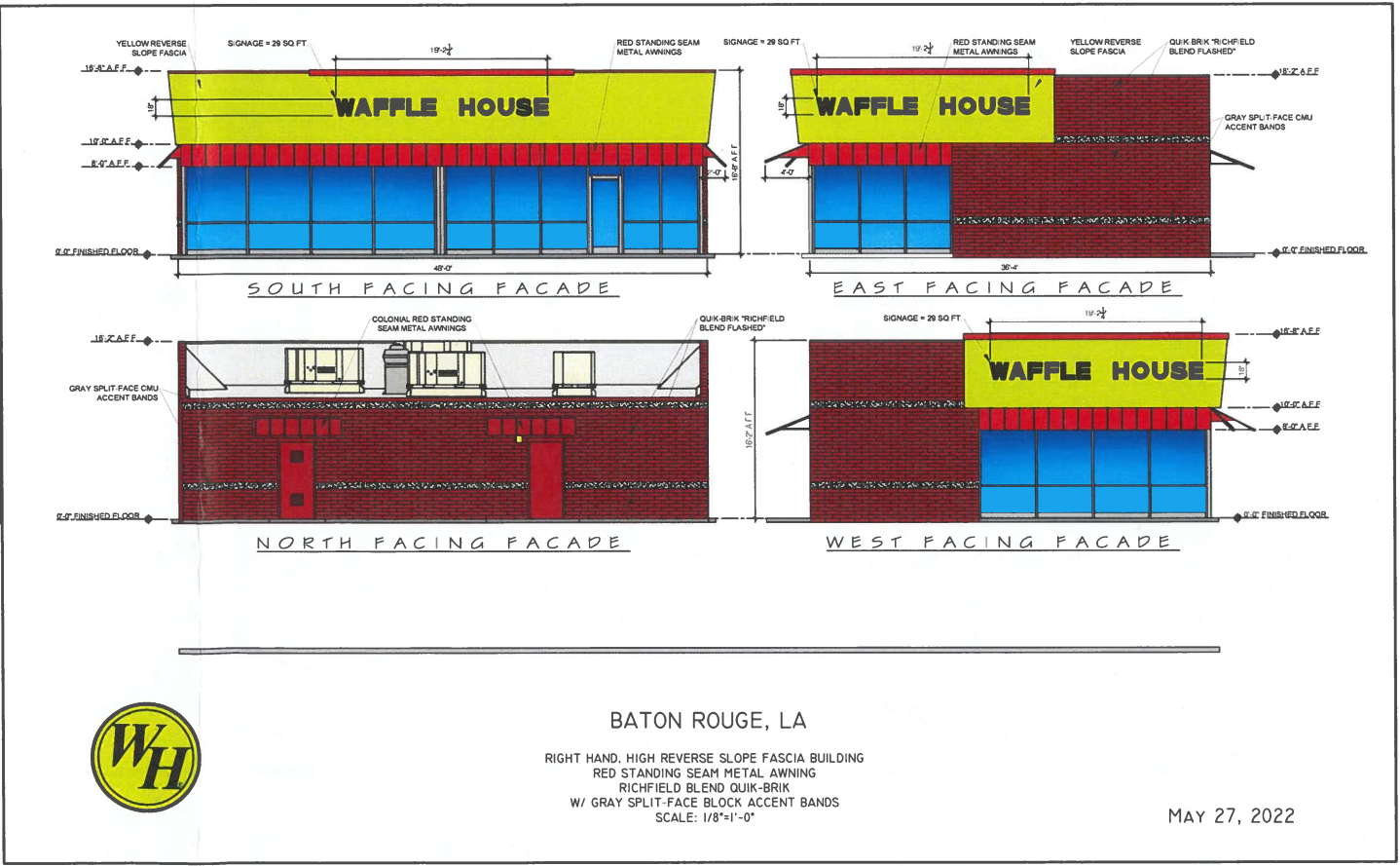
WH MONUMENT - 500 SQ. FT. - VARIOUS

SIGN: TWO 5'X EXTERNALLY-ILLUMINATED ALUMINUM MONUMENT CABINETS W/ FLAT FACES
COPY: BLACK ON PROCESS YELLOW FIELD
BACKGROUNDS: PROCESS YELLOW
CABINET: BLACK
BASE: BRICK BASE BY OTHERS (MIL MATCH BUILDING)

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BUILDING/SIGN ELEVATIONS

SHEET **#9**