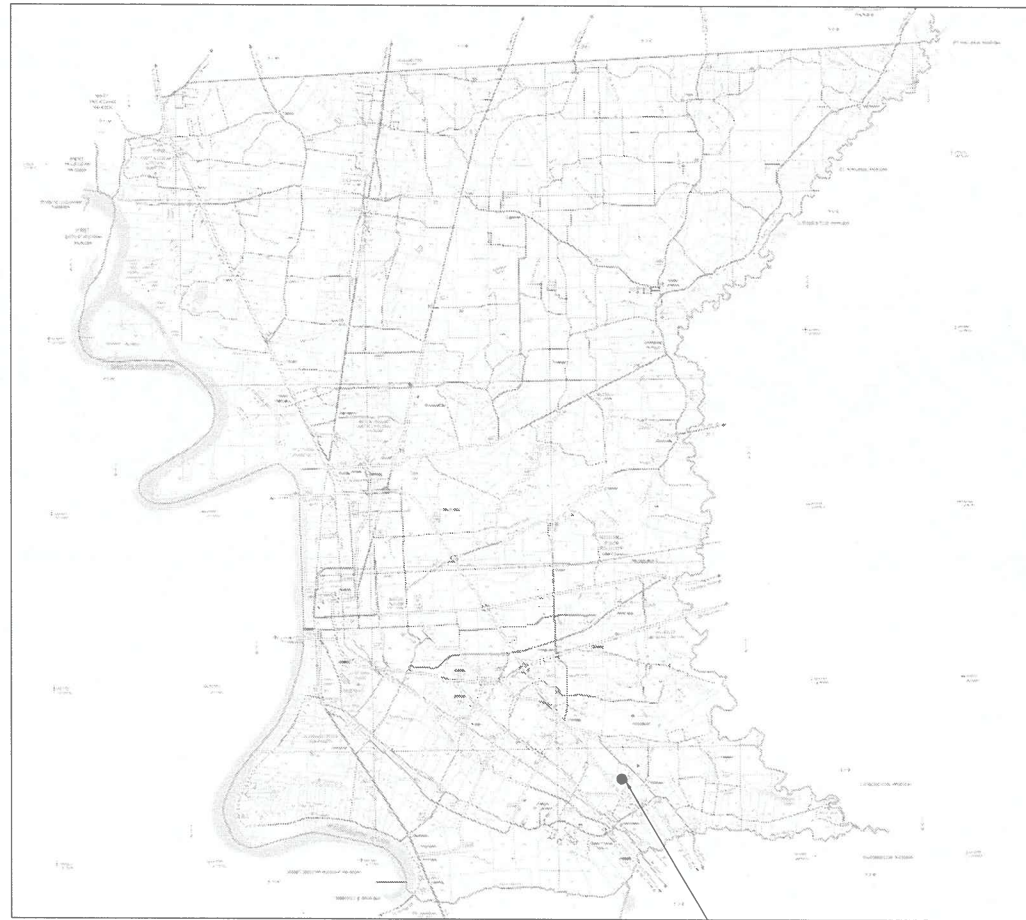
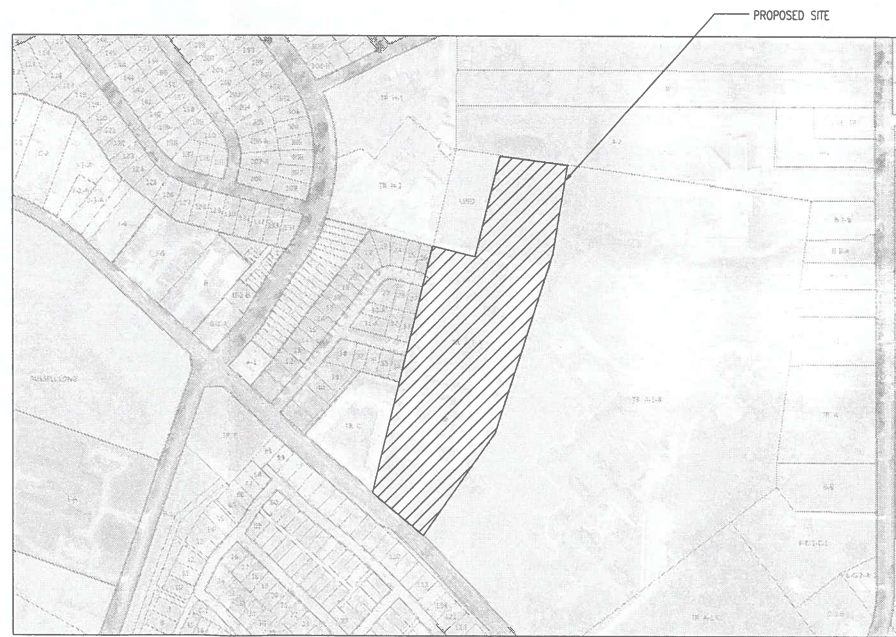


MOST BLESSED SACRAMENT NEW PARISH HALL, REVISION 1

CONDITIONAL USE PERMIT PACKAGE CUP-9-04



1 PARISH MAP
N.T.S.



2 VICINITY MAP
1"=0" = 400'

CONTACTS:

OWNER:
FATHER TODD LLOYD
15615 JEFFERSON HWY.
BATON ROUGE, LA 70817
P: (225) 752-6230
E: TLLOYD@MBSPARISH.ORG

ARCHITECT:
DIDIER ARCHITECTURE
17531 OLD JEFFERSON HWY, SUITE C
PRAIRIEVILLE, LA 70769
P: (225) 744-0008
E: DERRYL@DIDIERARCH.COM
CONTACT: DERRYL DIDIER, AIA, CSI, NCARB
MATTHEW LANDRY, AIA
XAVIER TAYLOR-BURTON, AIA
IBORO UDOH, AIA

MECHANICAL, PLUMBING, & ELECTRICAL:
TLA ENGINEERING
3071 TEDDY DRIVE
BATON ROUGE, LA 70809
P: (225) 293-9474
E: FRANK@TLAENG.COM
CONTACT: FRANK THOMPSON, P.E.
BRYAN BROWN, P.E.
LONDON BURNS, P.E.

STRUCTURAL & CIVIL:
SOUTHEAST ENGINEERS
4880 BLUEBONNET BOULEVARD, SUITE A
BATON ROUGE, LA 70809
P: (225) 295-1880
E: STEPHANIESTANFORD@SEENGINEERS.COM
CONTACT: RYAN DUNLEVEY, P.E.
AUSTIN TONEY, P.E.
STEPHANIE STANFORD, P.E.

WATER COMPANY:
BATON ROUGE WATER COMPANY
8755 GOODWOOD BLVD
BATON ROUGE, LA 70806
P: (225) 925-2011

SEWER COMPANY:
EAST BATON ROUGE PARISH - WASTEWATER
222 SAINT LOUIS STREET
BATON ROUGE, LA 70802
P: (225) 389-4865

ELECTRIC COMPANY:
ENTERGY
446 NORTH BLVD
BATON ROUGE, LA 70806
P: (800) 368-3746

GAS COMPANY:
ENTERGY
446 NORTH BLVD
BATON ROUGE, LA 70806
P: (800) 368-3746

INDEX OF DRAWINGS:

PAGE	SHEET NUMBER	NAME
1	0.0	CORNER SHEET
2	2.0	EXISTING SITE CONDITIONS MAP
3	3.0	SITE PLAN
4	4.0	CIRCULATION
5	LP1.0	LANDSCAPE PLAN
6	6.0	EXTERIOR ELEVATIONS

LIST OF DOCUMENT REVISIONS:

REV #	DATE OF REV	DESCRIPTION
REV. 1	09/26/20	REVISION TO CUP 9-04 APPROVED BY METROPOLITAN COUNCIL ON REVISED TO PROPOSE NEW 10,500 SF BUILDING ASSEMBLY BUILDING TO APPROVED CUP.

PLANNING SUMMARY:

EXISTING ZONING:	R
FUTURE LAND USE:	RN
EXISTING ZONING OF ADJOINING PARCELS:	R, A3.3. (HIGH DENSITY MULTI-FAMILY RESIDENTIAL)
ACREAGE:	16.55 ACRES
NUMBER OF BUILDINGS:	2 (EXISTING), 1 (PROPOSED NEW)
TOTAL SF OF EXISTING DEVELOPED STRUCTURE:	26,857 SF
TOTAL SF OF PROPOSED NEW STRUCTURE:	10,500 SF
NEW BUILDING HEIGHT:	23'
NUMBER OF STORIES:	1
PROPOSED USE:	RELIGIOUS INSTITUTION

LEGAL DESCRIPTION:

TRACT A-1-A, BEING A PORTION OF RUSSELL LONG PROPERTY, LOCATED IN SECTION 52, T-8-S, R-2-E, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA.

CPPC PROPERTY ID#: 1640780001
SECTION: 52
TOWNSHIP: T-8-S
RANGE: R-2-E

DATE: **AUGUST 31, 2022**
REVISIONS: ADDRESS PC COMMENTS 9-26-2022

DIDIER ARCHITECTURE
Derryl Didier, Architect & Associates, LLC
17531 Old Jefferson Hwy, Suite C Prairieville, Louisiana 70769 www.didierarchitecture.com

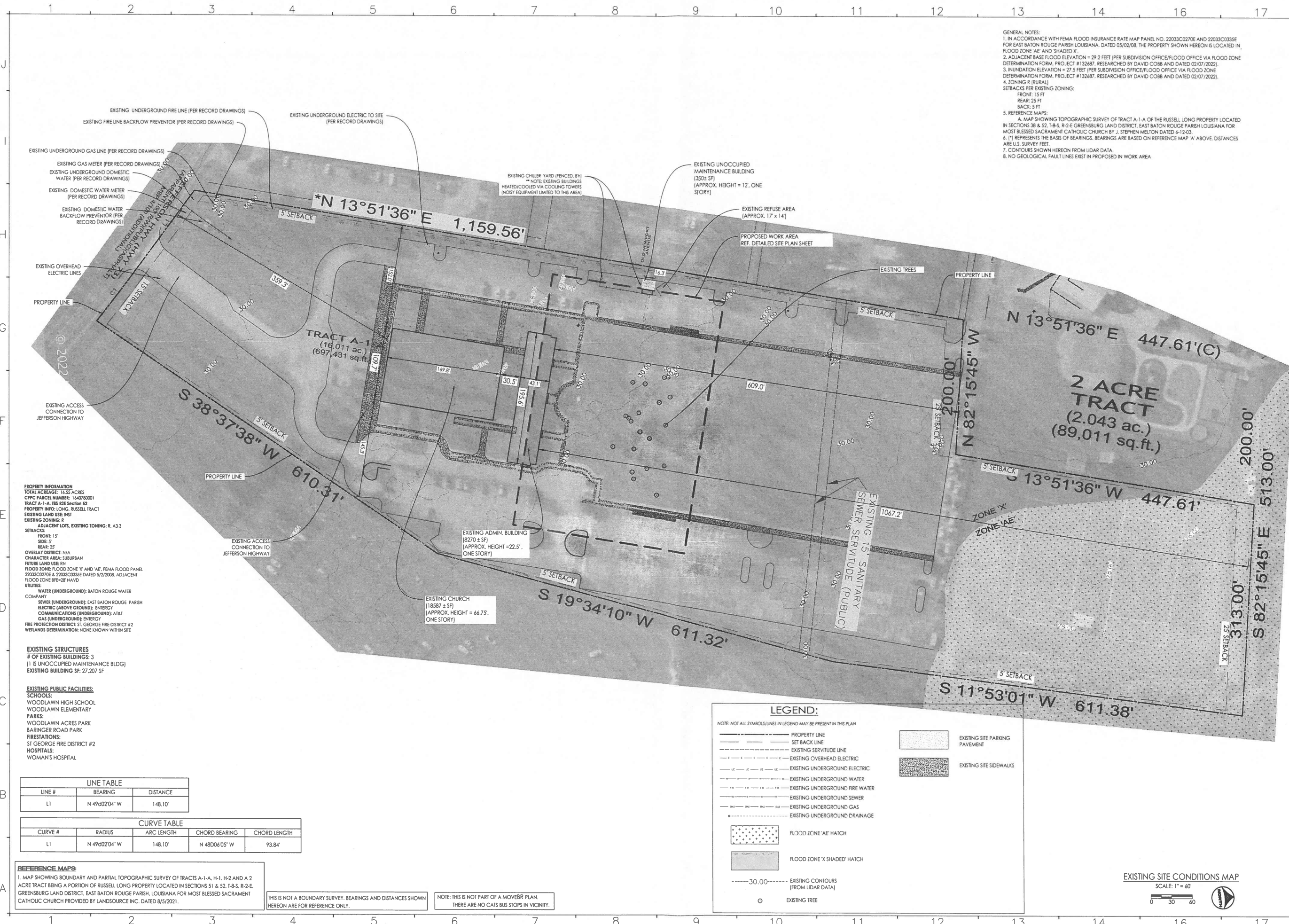
**NEW PARISH HALL
MOST BLESSED SACRAMENT CATHOLIC CHURCH**
15615 JEFFERSON HWY
BATON ROUGE, LA 70817

JOB NUMBER: **21-118(B)**
SET NUMBER: **0.0**

SHEET
0.0

PC Set 9/27/2022

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS



GENERAL NOTES:
 1. IN ACCORDANCE WITH FEMA FLOOD INSURANCE RATE MAP PANEL NO. 22033C0270E AND 22033C0335E FOR EAST BATON ROUGE PARISH LOUISIANA, DATED 05/02/08, THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE 'AE' AND 'SHADED X'.
 2. ADJACENT BASE FLOOD ELEVATION = 29.2 FEET (PER SUBDIVISION OFFICE/FLOOD OFFICE VIA FLOOD ZONE DETERMINATION FORM, PROJECT # 132687, RESEARCHED BY DAVID COBB AND DATED 02/07/2022).
 3. INUNDATION ELEVATION = 27.5 FEET (PER SUBDIVISION OFFICE/FLOOD OFFICE VIA FLOOD ZONE DETERMINATION FORM, PROJECT # 132687, RESEARCHED BY DAVID COBB AND DATED 02/07/2022).
 4. ZONING: R (RURAL)
 SETBACKS PER EXISTING ZONING:
 FRONT: 15 FT
 REAR: 25 FT
 BACK: 5 FT
 5. REFERENCE MAPS:
 A. MAP SHOWING TOPOGRAPHIC SURVEY OF TRACT A-1-A OF THE RUSSELL LONG PROPERTY LOCATED IN SECTIONS 38 & 52, T-8-S, R-2-E GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH LOUISIANA FOR MOST BLESSED SACRAMENT CATHOLIC CHURCH BY J. STEPHEN MELTON DATED 6-12-03.
 6. (*) REPRESENTS THE BASIS OF BEARINGS. BEARINGS ARE BASED ON REFERENCE MAP 'A' ABOVE. DISTANCES ARE U.S. SURVEY FEET.
 7. CONTOURS SHOWN HEREON FROM LIDAR DATA.
 8. NO GEOLOGICAL FAULT LINES EXIST IN PROPOSED WORK AREA.

PROPERTY INFORMATION
 TOTAL ACREAGE: 16.55 ACRES
 CPFC PARCEL NUMBER: 140780001
 TRACT A-1-A, T8S R2E Section 52
 PROPERTY INFO: LONG, RUSSELL TRACT
 EXISTING LAND USE: HST
 EXISTING ZONING: R
 ADJACENT LOTS, EXISTING ZONING: R, A33
SETBACKS:
 FRONT: 15'
 SIDE: 5'
 REAR: 25'
OVERLAY DISTRICT: N/A
 CHARACTER AREA: SUBURBAN
 FUTURE LAND USE: RN
 FLOOD ZONE: FLOOD ZONE 'X' AND 'AE', FEMA FLOOD PANEL 22033C0270E & 22033C0335E DATED 5/2/2008, ADJACENT FLOOD ZONE BFE=28' NAVD
UTILITIES:
 WATER (UNDERGROUND): BATON ROUGE WATER COMPANY
 SEWER (UNDERGROUND): EAST BATON ROUGE PARISH
 ELECTRIC (ABOVE GROUND): ENERGY
 COMMUNICATIONS (UNDERGROUND): AT&T
 GAS (UNDERGROUND): ENERGY
 FIRE PROTECTION DISTRICT: ST. GEORGE FIRE DISTRICT #2
 WETLANDS DETERMINATION: NONE KNOWN WITHIN SITE

EXISTING STRUCTURES
 # OF EXISTING BUILDINGS: 3
 (1 IS UNOCCUPIED MAINTENANCE BLDG)
 EXISTING BUILDING SF: 27,207 SF

EXISTING PUBLIC FACILITIES:
SCHOOLS:
 WOODLAWN HIGH SCHOOL
 WOODLAWN ELEMENTARY
PARKS:
 WOODLAWN ACRES PARK
 BARINGER ROAD PARK
FIRE STATIONS:
 ST GEORGE FIRE DISTRICT #2
HOSPITALS:
 WOMAN'S HOSPITAL

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N 49°02'04" W	148.10'

CURVE TABLE			
CURVE #	RADIUS	ARC LENGTH	CHORD BEARING
L1	N 49°02'04" W	148.10'	N 48°06'05" W

REFERENCE MAPS:
 1. MAP SHOWING BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY OF TRACTS A-1-A, H-1, H-2 AND A 2 ACRE TRACT BEING A PORTION OF RUSSELL LONG PROPERTY LOCATED IN SECTIONS 51 & 52, T-8-S, R-2-E GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA FOR MOST BLESSED SACRAMENT CATHOLIC CHURCH PROVIDED BY LANDSOURCE INC. DATED 8/5/2021.

THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

NOTE: THIS IS NOT PART OF A MOVEBR PLAN. THERE ARE NO CATS BUS STOPS IN VICINITY.

LEGEND:

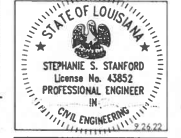
NOTE: NOT ALL SYMBOLS/LINES IN LEGEND MAY BE PRESENT IN THIS PLAN

- PROPERTY LINE
- SET BACK LINE
- EXISTING SERVICUTE LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND WATER
- EXISTING UNDERGROUND FIRE WATER
- EXISTING UNDERGROUND SEWER
- EXISTING UNDERGROUND GAS
- EXISTING UNDERGROUND DRAINAGE
- FLOOD ZONE 'AE' HATCH
- FLOOD ZONE 'X' SHADED HATCH
- EXISTING CONTOURS (FROM LIDAR DATA)
- EXISTING TREE
- EXISTING SITE PARKING PAVEMENT
- EXISTING SITE SIDEWALKS

EXISTING SITE CONDITIONS MAP
 SCALE: 1" = 60'

DATE: AUGUST 31, 2022
 REVISIONS:
 ADDRESS PC COMMENTS 9-26-22

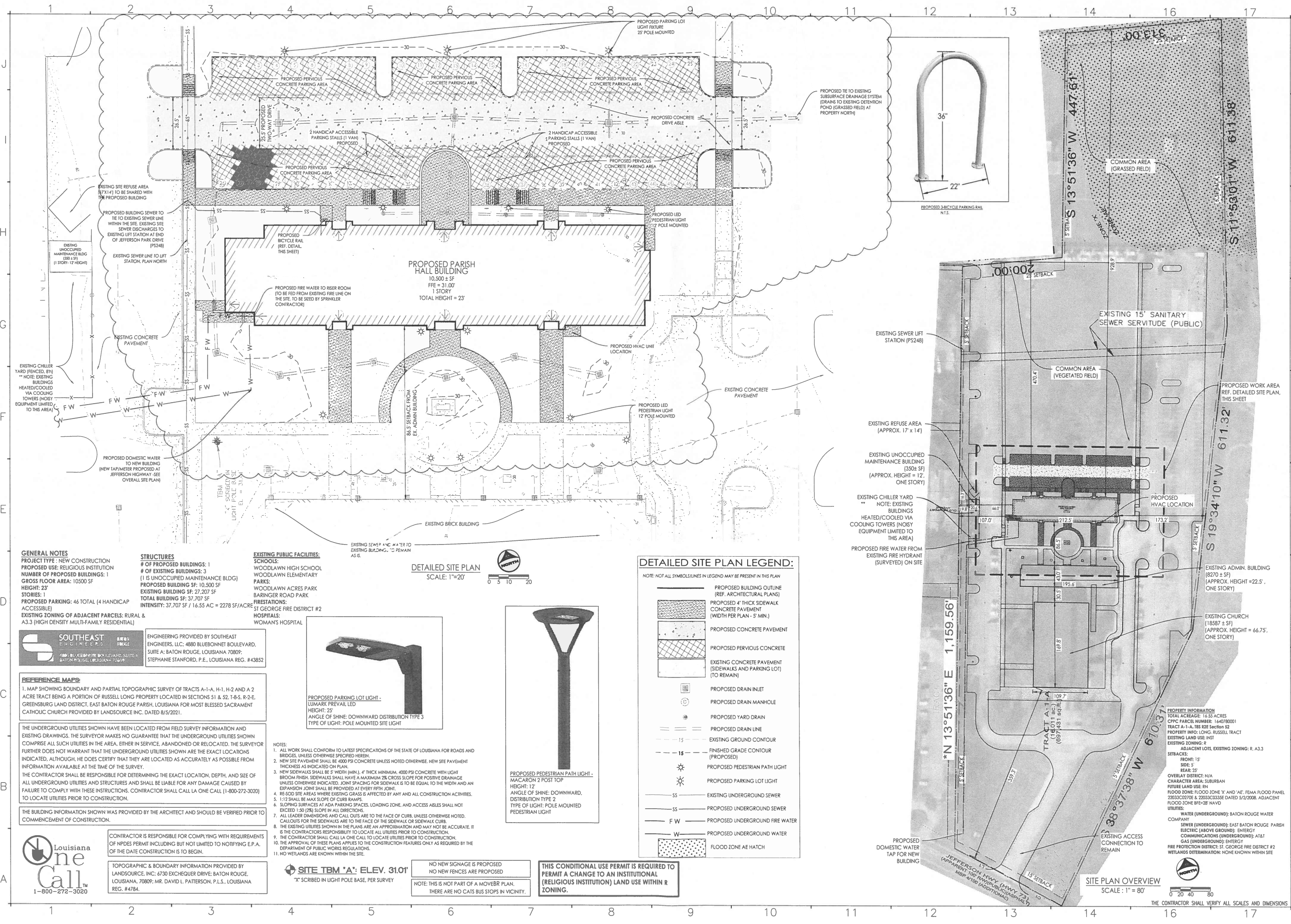
DIDIER ARCHITECTURE
 Deryll Didier, Architect & Associates, LLC
 17331 Old Jefferson Hwy, Suite C
 Prairieville, Louisiana 70769
 www.didierarchitecture.com



NEW PARISH HALL
MOST BLESSED SACRAMENT CATHOLIC CHURCH
 15615 JEFFERSON HWY
 BATON ROUGE, LA 70817

JOB NUMBER: 21-118(B)
 SET NUMBER

SHEET
 2.0



GENERAL NOTES
 PROJECT TYPE: NEW CONSTRUCTION
 PROPOSED USE: RELIGIOUS INSTITUTION
 NUMBER OF PROPOSED BUILDINGS: 1
 GROSS FLOOR AREA: 10500 SF
 HEIGHT: 23'
 STORIES: 1
 PROPOSED PARKING: 46 TOTAL (4 HANDICAP ACCESSIBLE)
 EXISTING ZONING OF ADJACENT PARCELS: RURAL & A3.3 (HIGH DENSITY MULTI-FAMILY RESIDENTIAL)

STRUCTURES
 # OF PROPOSED BUILDINGS: 1
 # OF EXISTING BUILDINGS: 3
 (1 IS UNOCCUPIED MAINTENANCE BLDG)
 PROPOSED BUILDING SF: 10,500 SF
 EXISTING BUILDING SF: 27,207 SF
 TOTAL BUILDING SF: 37,707 SF
 INTENSITY: 37,707 SF / 16.55 AC = 2278 SF/ACRE

EXISTING PUBLIC FACILITIES:
 SCHOOLS:
 WOODLAWN HIGH SCHOOL
 WOODLAWN ELEMENTARY
 PARKS:
 WOODLAWN ACRES PARK
 BARRINGER ROAD PARK
 FIRE STATIONS:
 ST GEORGE FIRE DISTRICT #2
 HOSPITALS:
 WOMAN'S HOSPITAL

DETAILED SITE PLAN
 SCALE: 1"=20'

DETAILED SITE PLAN LEGEND:

- NOTE: NOT ALL SYMBOLS/LINES IN LEGEND MAY BE PRESENT IN THIS PLAN
- PROPOSED BUILDING OUTLINE (REF. ARCHITECTURAL PLANS)
 - PROPOSED 4" THICK SIDEWALK CONCRETE PAVEMENT (WIDTH PER PLAN - 5' MIN.)
 - PROPOSED PERVIOUS CONCRETE
 - EXISTING CONCRETE PAVEMENT (SIDEWALKS AND PARKING LOT) (TO REMAIN)
 - PROPOSED DRAIN INLET
 - PROPOSED DRAIN MANHOLE
 - PROPOSED YARD DRAIN
 - PROPOSED DRAIN LINE
 - EXISTING GROUND CONTOUR
 - FINISHED GRADE CONTOUR (PROPOSED)
 - PROPOSED PEDESTRIAN PATH LIGHT
 - PROPOSED PARKING LOT LIGHT
 - SS — EXISTING UNDERGROUND SEWER
 - SS — PROPOSED UNDERGROUND SEWER
 - F-W — PROPOSED UNDERGROUND FIRE WATER
 - W — PROPOSED UNDERGROUND WATER
 - FLOOD ZONE AE HATCH

- NOTES:**
- ALL WORK SHALL CONFORM TO LATEST SPECIFICATIONS OF THE STATE OF LOUISIANA FOR ROADS AND BRIDGES, UNLESS OTHERWISE SPECIFIED HEREIN.
 - NEW SITE PAVEMENT SHALL BE 4000 PSI CONCRETE UNLESS NOTED OTHERWISE. NEW SITE PAVEMENT THICKNESS AS INDICATED ON PLAN.
 - NEW SIDEWALKS SHALL BE 5' WIDTH (MIN.), 4" THICK MINIMUM, 4000 PSI CONCRETE WITH LIGHT BROOM FINISH. SIDEWALKS SHALL HAVE A MAXIMUM 2% CROSS SLOPE FOR POSITIVE DRAINAGE UNLESS OTHERWISE INDICATED. JOINT SPACING FOR SIDEWALK IS TO BE EQUAL TO THE WIDTH AND AN EXPANSION JOINT SHALL BE PROVIDED AT EVERY FIFTY (50) FEET.
 - RE-SOD SITE AREAS WHERE EXISTING GRASS IS AFFECTED BY ANY AND ALL CONSTRUCTION ACTIVITIES.
 - 1:12 SHALL BE MAX SLOPE OF CURB RAMPS.
 - SLOPING SURFACES AT ADA PARKING SPACES, LOADING ZONE, AND ACCESSIBLES SHALL NOT EXCEED 1:50 (2%) SLOPE IN ALL DIRECTIONS.
 - ALL LEADER DIMENSIONS AND CALL OUTS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. CALLOUTS FOR THE SIDEWALKS ARE TO THE FACE OF THE SIDEWALK OR SIDEWALK CURB.
 - THE EXISTING UTILITIES SHOWN IN THE PLANS ARE AN APPROXIMATION AND MAY NOT BE ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CALL LA ONE CALL TO LOCATE UTILITIES PRIOR TO CONSTRUCTION.
 - THE APPROVAL OF THESE PLANS APPLIES TO THE CONSTRUCTION FEATURES ONLY AS REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS REGULATIONS.
 - NO WETLANDS ARE KNOWN WITHIN THE SITE.

SOUTHEAST ENGINEERS
 ENGINEERING PROVIDED BY SOUTHEAST ENGINEERS, LLC, 4880 BLUEBONNET BOULEVARD, SUITE A, BATON ROUGE, LOUISIANA 70809; STEPHANIE STANFORD, P.E., LOUISIANA REG. #43852

REFERENCE MAPS
 1. MAP SHOWING BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY OF TRACTS A-1-A, H-1, H-2 AND A 2 ACRE TRACT BEING A PORTION OF RUSSELL LONG PROPERTY LOCATED IN SECTIONS 51 & 52, T-8-S, R-2-E, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA FOR MOST BLESSED SACRAMENT CATHOLIC CHURCH PROVIDED BY LANDSOURCE INC. DATED 8/5/2021.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE, ABANDONED OR RELOCATED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE THE EXACT LOCATIONS INDICATED, ALTHOUGH, HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH, AND SIZE OF ALL UNDERGROUND UTILITIES AND STRUCTURES AND SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY FAILURE TO COMPLY WITH THESE INSTRUCTIONS. CONTRACTOR SHALL CALL LA ONE CALL (1-800-272-3020) TO LOCATE UTILITIES PRIOR TO CONSTRUCTION.

THE BUILDING INFORMATION SHOWN WAS PROVIDED BY THE ARCHITECT AND SHOULD BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

Louisiana One Call
 1-800-272-3020

CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH REQUIREMENTS OF NPDES PERMIT INCLUDING BUT NOT LIMITED TO NOTIFYING E.P.A. OF THE DATE CONSTRUCTION IS TO BEGIN.
 TOPOGRAPHIC & BOUNDARY INFORMATION PROVIDED BY LANDSOURCE, INC., 4730 EXCHEQUER DRIVE, BATON ROUGE, LOUISIANA, 70809; MR. DAVID L. PATTERSON, P.L.S., LOUISIANA REG. #4784.

SITE TBM 'A': ELEV. 31.01'
 "X" SCRIBED IN LIGHT POLE BASE, PER SURVEY

NO NEW SIGNAGE IS PROPOSED
 NO NEW FENCES ARE PROPOSED
 NOTE: THIS IS NOT PART OF A MOVEBR PLAN.
 THERE ARE NO CATS BUS STOPS IN VICINITY.

THIS CONDITIONAL USE PERMIT IS REQUIRED TO PERMIT A CHANGE TO AN INSTITUTIONAL (RELIGIOUS INSTITUTION) LAND USE WITHIN R ZONING.

DATE: **AUGUST 31, 2022**
 REVISIONS: ADDRESS PC COMMENTS 9-26-22

DIDIER ARCHITECTURE
 Deryll Didier, Architect & Associates, LLC
 17331 Old Jefferson Hwy, Suite C, Prairieville, Louisiana 70769 www.didierarchitecture.com

STEPHANIE S. STANFORD
 License No. 4352
 PROFESSIONAL ENGINEER
 CIVIL ENGINEERING

NEW PARISH HALL
MOST BLESSED SACRAMENT CATHOLIC CHURCH
 15615 JEFFERSON HWY
 BATON ROUGE, LA 70817

JOB NUMBER: **21-118(B)**
 SET NUMBER

SHEET **3.0**

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS

LANDSCAPE ORDINANCE CALCULATIONS

BATON ROUGE UNIFIED DEVELOPMENT CODE - CHAPTER 18
LOT TR. A-1-B, LAND USE - RURAL

LANDSCAPE AREA

10% OF THE DEVELOPED SITE AREA SHALL BE LANDSCAPE AREA.

DEVELOPED SITE AREA = 49,540 SF x 10%

REQUIRED: 4,954 SF LANDSCAPE AREA
PROVIDED: 15,787 SF LANDSCAPE AREA

BUFFER YARD SCREEN

AS REQUIRED BY LAND USE OF SUBJECT SITE AND ADJACENT PROPERTIES

REQUIRED BUFFERS: NONE- ALL BUFFERS EXISTING

STREET YARD

A. CONTINUOUS 3' SCREEN REQUIRED BETWEEN SIDEWALK AND PARKING

REQUIRED SCREEN: NONE- NO STREET FRONTAGE

B. (1) CLASS A TREE PER 40 LINEAR FEET OR EQUIVALENT

REQUIRED TREES: NONE- NO STREET FRONTAGE

GENERAL PLANTING NOTES

1. LOCATE ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO OWNER.
2. PLANTS SHALL BE WELL FORMED, NO. 1 GRADE OR BETTER NURSERY STOCK AND SHALL MEET THE APPLICABLE STANDARDS NOTED HEREIN AND SHALL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT.
3. STAKE OUT ALL TREE LOCATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. LOCATE ALL TREES AS SHOWN ON PLAN.
4. COORDINATE WORK WITH THE WORK OF OTHER TRADES ON THE SITE.
5. ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
6. PLANTS SHALL BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND.
7. PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE, OBTAINED FROM THE SAME SOURCE.
8. ANY CHANGES IN PLANT MATERIAL SIZE, QUANTITY, SPECIES OR VARIETY MUST BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. INSTALLATION MUST BE COMPLIANT WITH LANDSCAPE ORDINANCE STANDARDS.

LANDSCAPE ORDINANCE STANDARDS

1. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE RULES OF GOOD ARBORICULTURAL PRACTICE AS SET FORTH BY THE ANSI A300 AND IN THE LOUISIANA NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY, LATEST EDITION, AS PUBLISHED BY THE LOUISIANA NURSERY AND LANDSCAPE ASSOCIATION, AND CURRENTLY IN EFFECT AT THE TIME OF SUCH WORK.
2. PLANT MATERIAL SHALL BE TRUE TO NAME, VARIETY AND SIZE AND SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ALL LANDSCAPING SHALL BE INSTALLED IN A SOUND MANNER AND IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE LOUISIANA NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY.
3. TREES AND SHRUBS SELECTED FOR PLANTING SHALL MEET THE MINIMUM REQUIREMENTS PROVIDED IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, LATEST EDITION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
4. PLANT MATERIALS SHALL BE COLD HARDY FOR THE SPECIFIC LOCATION WHERE THEY ARE TO BE PLANTED.
5. PLANT MATERIALS SHALL BE ABLE TO SURVIVE ON NATURAL RAINFALL ONCE ESTABLISHED WITH NO LOSS OF HEALTH.
6. ALL PLANT HEIGHTS SHALL BE MEASURED FROM THE TOP OF THE ROOT BALL TO THE TIP OF THE HIGHEST BRANCH.
7. CLASS "A" TREES AND STREET YARD TREES:
 - 7.1. ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM TWO-INCH CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.
 - 7.2. MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE AND ONE-HALF INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF TEN FEET TALL AT TIME OF PLANTING.
8. CLASS "B" TREES:
 - 8.1. ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM ONE AND ONE-HALF INCH CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.
 - 8.2. MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE-INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.
9. CLASS "C" TREES:
 - 9.1. ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM ONE AND ONE-HALF INCH CALIPER AND MEASURE A MINIMUM OF FIVE FEET TALL AT TIME OF PLANTING.
 - 9.2. MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE-INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF FIVE FEET TALL AT TIME OF PLANTING.
10. SHRUBS:
 - 10.1. SHRUBS SHALL BE A MINIMUM OF 20 INCHES IN HEIGHT IN A MINIMUM THREE GALLON CONTAINER, UNLESS THEY ARE PLANTED AS A SCREEN FOR AN L3 BUFFER. WHEN PLANTED AS A SCREEN FOR AN L2 BUFFER OR A PARKING LOT, THE MAXIMUM SPACING FOR 20 INCH HIGH SHRUBS SHALL BE 36 INCHES ON CENTER.
 - 10.2. SHRUBS PLANTED AS AN L3 BUFFER SHALL BE A MINIMUM OF FOUR-FEET IN HEIGHT.
 - 10.3. WHEN PLANTED AS AN L3 BUFFER, THE MAXIMUM SPACING FOR FOUR-FOOT HIGH SHRUBS SHALL BE 36 INCHES ON CENTER.
 - 10.4. SPACING FOR OTHER REQUIRED PLANT MATERIAL SHALL BE DETERMINED BY THE DEVELOPMENT DIRECTOR.
11. IRRIGATION AND WATERING STANDARD:
 - 11.1. A WATER SOURCE SHALL BE SUPPLIED WITHIN TWO HUNDRED (200) FEET OF ALL PLANTING BEDS OR A PERMANENT IN-GROUND IRRIGATION SYSTEM SHALL BE PROVIDED.
12. MAINTENANCE:
 - 12.1. PROPERTY OWNERS AND THEIR AGENTS SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING, AND MAINTAINING ALL REQUIRED LANDSCAPING IN A HEALTHY AND GROWING CONDITION, REPLACING DEAD OR DAMAGED VEGETATION, AND KEEPING ALL LANDSCAPED AREAS FREE OF REFUSE AND DEBRIS.
 - 12.2. PROPERTY OWNERS AND THEIR AGENTS SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING, AND MAINTAINING ALL LANDSCAPING WITHIN THE ADJUTING RIGHT-OF-WAY.

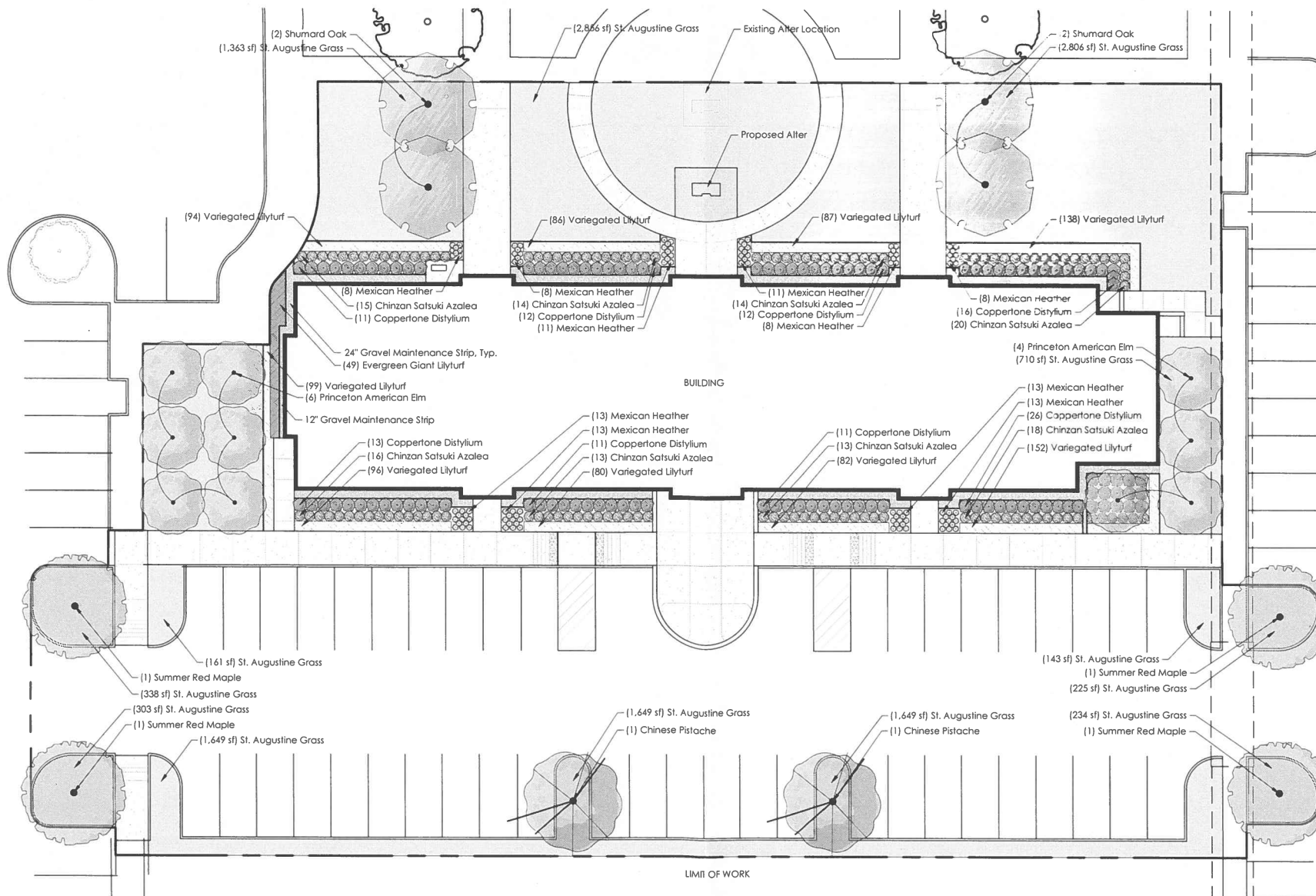
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT
	4	Acer rubrum 'HOSR' TM 2" cal.	Summer Red Maple	30 gal	8' ht
	2	Pistacia chinensis 2" cal.	Chinese Pistache	30 gal	8' ht
	4	Quercus shumardii 2" cal.	Shumard Oak	30 gal	8' ht
	10	Ulmus americana 'Princeton' 2" cal.	Princeton American Elm	30 gal	8' ht

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT
	123	Azalea x 'Chinzan'	Chinzan Satsuki Azalea	3 gal	
	106	Cuphea hyssopifolia	Mexican Heather	1 gal	
	112	Distylium x 'PIIDIST-III' TM	Coppertone Distylium	3 gal	

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT
	49	Liriope muscari 'Evergreen Giant'	Evergreen Giant Lilyturf	1 gal.	18" o.c.
	914	Liriope muscari 'Variegata'	Variegated Lilyturf	flat	12" o.c.
	12,110 sf	Stenotaphrum secundatum	St. Augustine Grass	Sod	
	763 sf	Gravel			

NOTE:
LANDSCAPE ARCHITECT SHALL INSPECT LANDSCAPING FOLLOWING INSTALLATION TO CERTIFY COMPLIANCE WITH APPROVED PLAN.



The set of documents including drawings, specifications and addendums may not be copied, scanned, or electronically distributed or used for construction without the expressed written consent of ANGEL'S LANDSCAPE GROUP. Scales stated herein are valid on the original drawings only. Contractor shall carefully review all dimensions and conditions shown and report to the Landscape Architect any errors, inconsistencies or omissions discovered. These plans were prepared in the office under our personal supervision and to the best of our knowledge comply with state and local codes. We will generally administer construction.



Most Blessed Sacrament - Parish Hall
15615 Old Jefferson Highway
Baton Rouge, LA 70817



DATE: 09.13.22
SCALE: 1/16" = 1'-0"
SHEET:

LANDSCAPE PLAN

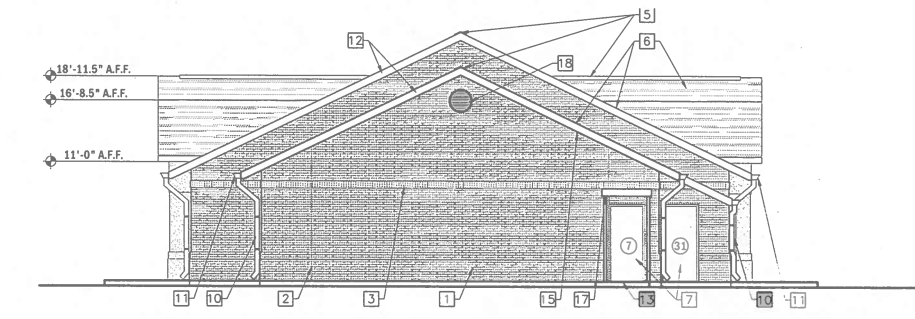
LP1.0

REVISIONS
△ 09.24.2022

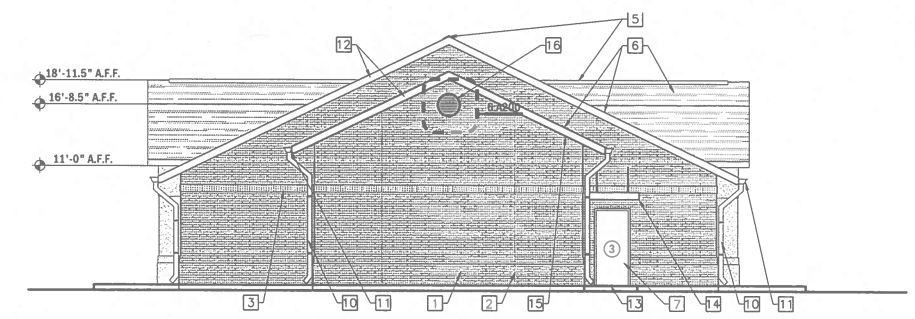




1 NORTH ELEVATION (FRONT)
 1/8"=1'-0"



3 EAST ELEVATION (SIDE)
 1/8"=1'-0"



2 WEST ELEVATION (SIDE)
 1/8"=1'-0"



4 SOUTH ELEVATION (REAR)
 1/8"=1'-0"

- | | |
|--|---|
| 1 CLAY MASONRY BRICK IN RUNNING BOND PATTERN. COLOR OF BRICK TO MATCH EXISTING FELLOWSHIP HALL. | 2 KYNAR FINISHED METAL FASCIA. RE: WALL SECTIONS AND DETAILS. |
| 2 BRICK EXPANSION JOINT AS SPECIFIED. PROVIDE VERTICAL EXPANSION JOINTS AT CORNER OF ALL OPENINGS. | 3 NEW PAVING. RE: CIVIL. |
| 3 CLAY MASONRY SOLDIER COURSE. | 4 NEW PRE-ENGINEERED ROD HUNG CANOPY. |
| 4 CLAY MASONRY ROWLOCK COURSE AT ALL WINDOW OPENING SILLS. | 5 SOFFIT AS SPECIFIED. RE: DETAILS. |
| 5 RIDGE VENT. | 6 ARCHITECTURAL LOUVER. COORDINATE WITH MECHANICAL. |
| 6 30 YEAR ARCHITECTURAL SHINGLES TO MATCH EXISTING FELLOWSHIP HALL. | 7 SHOWN FOR REFERENCE ONLY. CONNECTION WALKWAY CANOPY AND ASSOCIATED WORK NOT IN SCOPE. |
| 7 OPENING AS SCHEDULED. | 8 KITCHEN HOOD EXHAUST LOUVER. RE: MECHANICAL. |
| 8 STUCCO ASSEMBLY. RE: DETAILS. | |
| 9 STUCCO EXPANSION JOINT. RE: DETAILS. | |
| 10 DOWNSPOUTS. COLOR TO BE SELECTED BY ARCHITECT AND OWNER. RE: ROOF PLAN. | |
| 11 GUTTERS. COLOR TO BE SELECTED BY ARCHITECT AND OWNER. RE: ROOF PLAN. | |

5 ELEVATION KEYNOTES
 N.T.S.

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS