



# UNIFIED JEWISH CONGREGATION OF BATON ROUGE

## CONDITIONAL USE PERMIT

### (CUP-3-22)

LOT 5-A-1 OF HUNDRED OAKS FARMS BLOCK 5  
LOCATED IN SECTION 96, TOWNSHIP 7 SOUTH, RANGE 1 EAST  
GREENSBURG LAND DISTRICT  
EAST BATON ROUGE PARISH, LOUISIANA  
CPPC ID: 930361940

JUNE 2022  
PROJECT NUMBER: 215617479

SHEET INDEX	
C1.0	COVER SHEET
C2.0	EXISTING SITE CONDITIONS
C3.0	SITE PLAN
C4.0	CIRCULATION PLAN
L1.0	LANDSCAPE PLAN
A4.0	ARCHITECTURAL ELEVATIONS

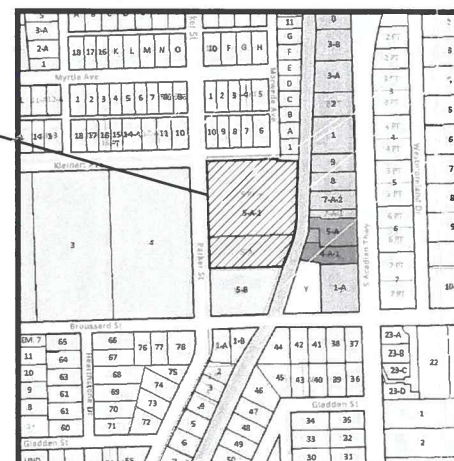
DESIGN TEAM	
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CIVIL ENGINEER:	<b>Stantec Consulting</b> Andre Rodrigue 1200 Brickyard Lane, Suite 400 Baton Rouge, LA 70802 andre.rodrigue@stantec.com t: 225.765.7400 f: 225.765.7244
ARCHITECT:	<b>RHH Architects, APAC</b> Trula Remson, President 200 Government Street/ STE 100 Baton Rouge, LA 70802 trula@rhharchitects.com t: 225.363.0002
LANDSCAPE ARCHITECT:	<b>Stantec Consulting</b> Adam Markie 1200 Brickyard Lane, Suite 400 Baton Rouge, LA 70802 adam.markie@stantec.com t: 225.765.7400

PLANNING SUMMARY	
EXISTING ZONING	A1, B1
FUTURE LAND USE	RN
EXISTING ZONING OF ADJOINING PARCELS	B1, A1
CHARACTER AREA	URBAN/WALKABLE
ACREAGE	3.69 ACRES
NUMBER OF BUILDINGS	1
TOTAL BUILDING SQUARE FOOTAGE	26,000
INTENSITY	7,046 SF/ACRE
BUILDING HEIGHT	30'-0"
PROPOSED USE	RELIGIOUS INSTITUTION

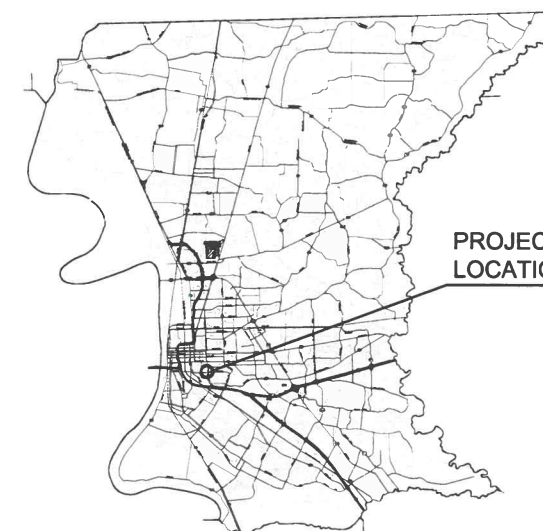
UTILITY PROVIDERS	
<b>WATER:</b> BATON ROUGE WATER COMPANY 8755 GOODWOOD BOULEVARD BATON ROUGE, LA 70896 CONTACT: MARGIE SWANSON TELEPHONE: (225) 231-0304	<b>ELECTRIC:</b> ENTERGY 446 NORTH BOULEVARD BATON ROUGE, LA 70802 CONTACT: AARON LODGE TELEPHONE: (225) 346-3928
<b>SEWER:</b> EBR C/P DEPT. OF PUBLIC WORKS 1100 LAUREL STREET BATON ROUGE, LA 70802 CONTACT: ADAM SMITH TELEPHONE: (225) 389-5623	<b>COMMUNICATIONS:</b> AT&T 5550 S. SHERWOOD FOREST BLVD. ROOM 231 BATON ROUGE, LA 70816 CONTACT: JOEL HANBERRY TELEPHONE: (225) 296-4930
<b>GAS:</b> ENTERGY 446 NORTH BOULEVARD BATON ROUGE, LA 70802 CONTACT: AARON LODGE TELEPHONE: (225) 346-3928	<b>COX COMMUNICATIONS</b> 1906 ERASTE LANDRY ROAD LAFEYETTE, LOUISIANA 70506 CONTACT: BYRON VENTRESS TELEPHONE: (225) 288-0600

PROJECT DESCRIPTION	
THIS PROJECT IS TO RENOVATE AND EXPAND THE EXISTING SYNAGOGUE LOCATED ON THE SITE. LIKE OTHER RELIGIOUS INSTITUTIONS, THE SYNAGOGUE WILL HOST WEDDINGS, FUNERALS, BAR AND BAT MITZVAH, AND CONFIRMATIONS INTERMITTENTLY AND USUALLY ON THE WEEKENDS. THE ADMINISTRATION OFFICES OF THE SYNAGOGUE ARE STAFFED THROUGHOUT THE WEEKDAYS DURING BUSINESS HOURS. SMALL COMMITTEE MEETINGS FOR VARIOUS PURPOSES ARE CONDUCTED AT THE SYNAGOGUE, MAINLY IN THE EVENINGS. ONCE THIS RENOVATION/ADDITION IS COMPLETED, THE FACILITY WILL ALSO HOUSE AN EARLY LEARNING CENTER FOR CHILDREN FROM INFANTS TO 4 YEARS OLD DURING THE WEEKDAYS.	
THIS SYNAGOGUE HAS BEEN LEASING PARKING SPACES TO ST. JOSEPH'S ACADEMY FOR THE PAST SEVERAL YEARS; THE SYNAGOGUE WOULD LIKE TO CONTINUE THIS ARRANGEMENT INTO THE FUTURE IN ORDER TO ALLEVIATE SOME OF THE PARKING ISSUES IN THIS AREA.	

PROJECT LOCATION



LOT AND BLOCK MAP  
SCALE: 1"=400'



EAST BATON ROUGE PARISH



LEGEND

- FLOOD ZONE "AE"
- OHE OVERHEAD ELECTRIC
- S SEWER LINE
- W WATER LINE
- RIGHT OF WAY
- PROPERTY LINE
- FENCE
- D DRAINAGE PIPE
- POWER POLE
- ELECTRIC BOX
- ELECTRIC MANHOLE
- TELEPHONE BOX
- GAS VALVE
- GAS METER
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- DRAINAGE MANHOLE
- SEWER MANHOLE
- SIGN

NOTE: OVERHEAD ELECTRIC LINES ARE LOCATED ABOVE GROUND; DRAINAGE PIPES, WATER LINES, AND SEWER LINES ARE LOCATED UNDERGROUND.

NOTES:

- THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "AE", FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF EAST BATON ROUGE PARISH, LOUISIANA (UNINCORPORATED AREAS), COMMUNITY PANEL NUMBER 22033C0235 & 2203C 0245E, EFFECTIVE DATE: MAY 2, 2008. RECORD INUNDATION EL.=30.0' BASE FLOOD EL.= 35.0'
- THIS EXISTING CONDITIONS MAP HAS BEEN COMPILED FROM REFERENCE DOCUMENTS AND TOPOGRAPHIC DATA COLLECTED IN THE FIELD FOR THE SOLE AND EXCLUSIVE USE AS AN EXISTING CONDITIONS MAP AND DOES NOT REPRESENT A PROPERTY BOUNDARY SURVEY AS DEFINED BY LOUISIANA REVISED STATUTES 37.681 ET. SEQ., TITLE 48, PART LXI, CHAPTER 29.
- THERE ARE NO WETLANDS FAULTS OR OTHER GEOLOGICAL HAZARDS APPEAR TO BE WITH SITE LIMITS.
- ZONING: A1 (SINGLE FAMILY RESIDENTIAL), B1 (TRANSITION) ZONING PER EBR PARISH PLANNING COMMISSION WEBSITE  
 A1= MINIMUM FRONT YARD - 15'  
 MINIMUM SIDE YARD - 8'  
 MINIMUM CORNER SIDE - 15'  
 MINIMUM REAR YARD - 25'  
 B1= MINIMUM FRONT YARD - 20'  
 MINIMUM SIDE YARD - 5'  
 MINIMUM REAR YARD - 25'

ZONING INFORMATION WAS OBTAINED FROM <http://gls.brgov.com/maps>. ZONING IS SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE LOCAL AUTHORITY'S ZONING ADMINISTRATOR BEFORE ANY IMPROVEMENTS TO PROPERTY ARE CONTEMPLATED.

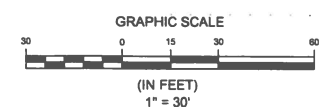
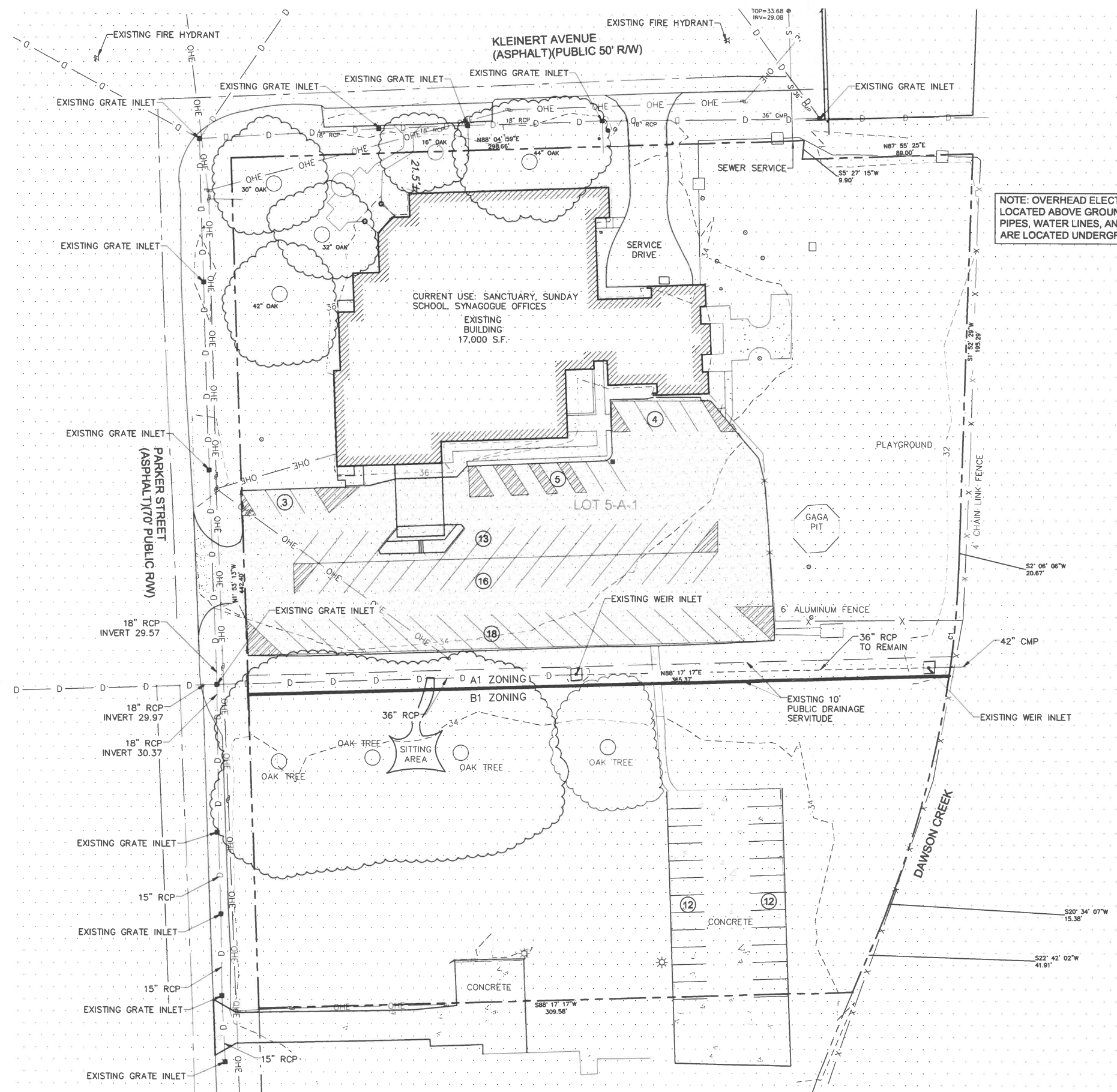
- REFERENCE MAPS: THE NORTH ARROW AND BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF NORTH 01 DEGREES 53 MINUTES 13 SECONDS WEST ALONG THE EASTERLY RIGHT-OF-WAY LINE OF PARKER STREET AS PER REFERENCE MAP (A) AS LISTED BELOW.

(A) MAP SHOWING BOUNDARY AND LIMITED TOPOGRAPHIC SURVEY OF THE REMAINING PORTION OF LOT 4 AND LOT 5-A, HUNDRED OAKS FARMS BY CENTERLINE ENGINEERING & LAND SURVEYING, LLC, DATED 1/03/2021

- NO ATTEMPT HAS BEEN MADE BY STANTEC TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, DEED RESTRICTIONS, SERVITUDES, EASEMENTS, OR OTHER BURDENS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE CLIENT OR HIS REPRESENTATIVE.

- PUBLIC FACILITIES WITHIN ONE MILE RADIUS:  
 CITY OF BATON ROUGE FIRE STATION 1  
 BATON ROUGE GENERAL MEDICAL CENTER- MID CITY  
 CITY-BROOKS COMMUNITY PARK  
 WEBB MEMORIAL PARK  
 SAINT JOSEPH ACADEMY  
 CATHOLIC HIGH SCHOOL  
 BATON ROUGE MAGNET HIGH SCHOOL

**MOVEBR NOTE:**  
 SITE IS NOT ON A PART OF MOVEBR TRANSPORTATION AND INFRASTRUCTURE IMPROVEMENTS.



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 ORIGINAL SHEET - ANSI D

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Consultant

Notes

MAIL NOTES

NO MAIL KIOSK IS PROPOSED AS PART OF THIS PLAN.

LEGEND

	PROPOSED CONCRETE		PROPOSED 5' CONCRETE SIDEWALK
	PROPOSED DRAINAGE		PROPOSED PLAZA AREA
	EXISTING DRAINAGE		EXISTING FIRE HYDRANT
	EXISTING SEWER LINE		BUILDING ENTRY POINTS
	PROPOSED SEWER LINE		
	PROPOSED FENCE		

REFUSE AREA NOTE:

REFUSE AREA WILL CONSIST OF A FENCED IN DUMPSTER.

NOISY EQUIPMENT NOTE:

NEW HVAC WILL BE LOCATED ON ROOF OF NEW BUILDING.

SEWER NOTE:

SEWAGE FOR THE NEW PORTION OF BUILDING SHALL TIE INTO THE EXISTING SEWER SERVICE ON SITE.

PLANNING SUMMARY

EXISTING ZONING	A1, B1
FUTURE LAND USE	RN
EXISTING ZONING OF ADJOINING PARCELS	B1, A1
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TOTAL BUILDING SQUARE FOOTAGE	26,000
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PROPOSED USE	RELIGIOUS INSTITUTION

UTILITY PROVIDERS

<b>WATER:</b> BATON ROUGE WATER COMPANY 8755 GOODWOOD BOULEVARD BATON ROUGE, LA 70896 CONTACT: MARGIE SWANSON TELEPHONE: (225) 231-0304	<b>ELECTRIC:</b> ENTERGY 446 NORTH BOULEVARD BATON ROUGE, LA 70802 CONTACT: AARON LODGE TELEPHONE: (225) 346-3928
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UTILITIES PROVISIONS NOTE:

UTILITIES REQUIRED FOR ADDITION SHALL TIE INTO THE UTILITIES THAT SERVICE THE EXISTING BUILDING.

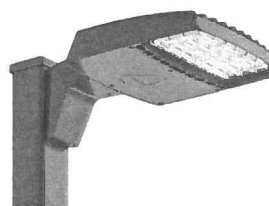
MOVEBR NOTE:

SITE IS NOT ON A PART OF MOVEBR TRANSPORTATION AND INFRASTRUCTURE IMPROVEMENTS.

BUILDING OFFSETS

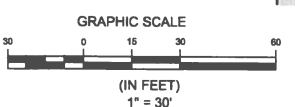
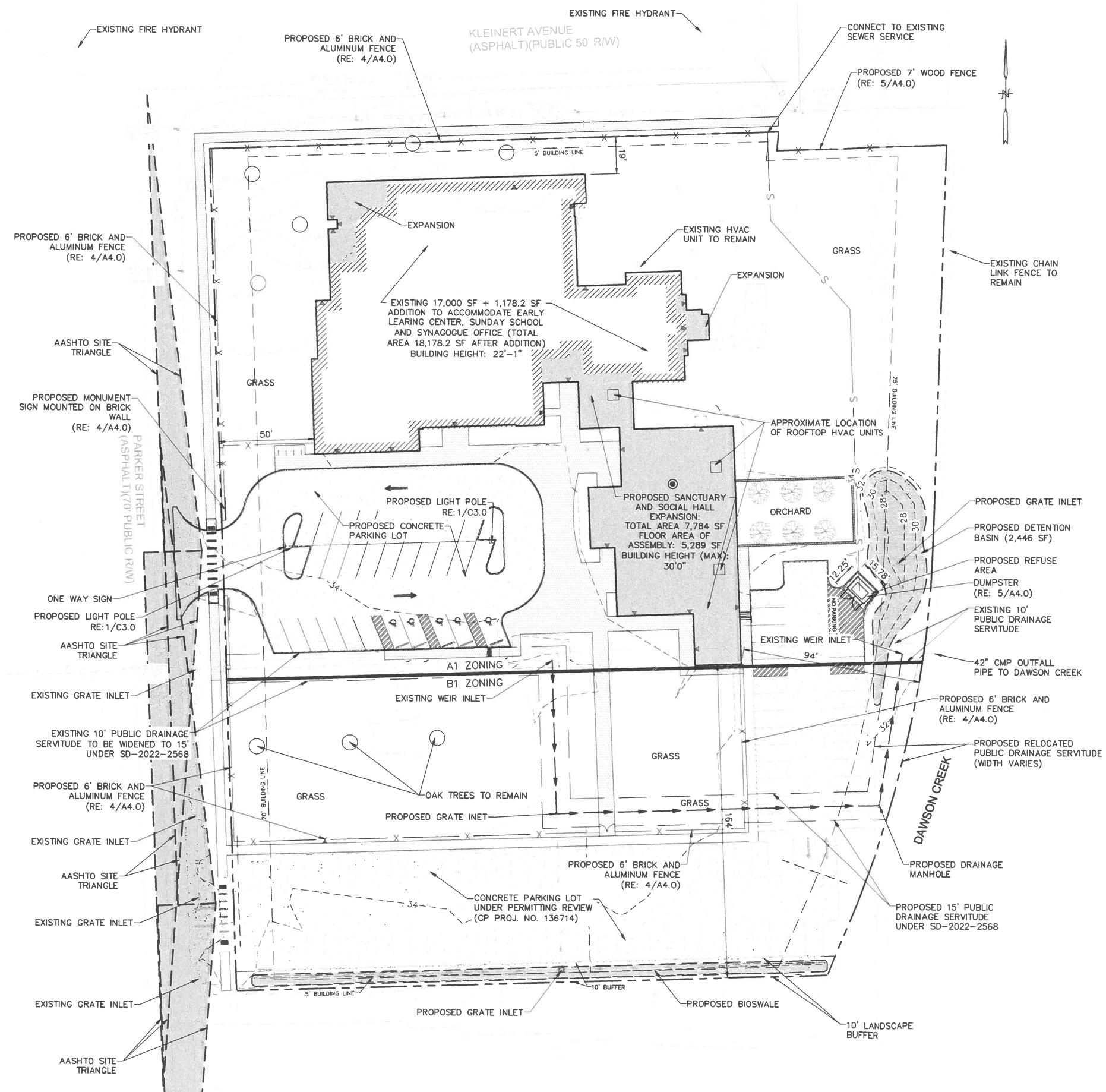
FRONT	20'
SIDES	5'
BACK	25'

(DUE TO SPLIT ZONING, THE MOST RESTRICTIVE SETBACKS ARE BEING UTILIZED, THERE FOR, THE B1 SETBACKS WILL GOVERN THE SITE.)



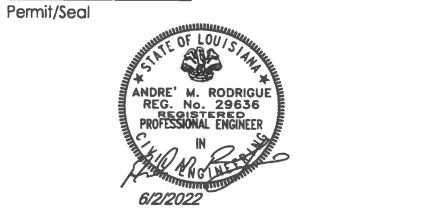
LIGHT POLE HEIGHT= 30'  
ANGLE OF SHINE= 90'

1 LITHONIA RSX1 AREA LED  
C3.0 SCALE: N.T.S.



EXPANSION OF RELIGIOUS INSTITUTION CONSTITUTES CONDITIONAL USE PERMIT IN A1 ZONING. OTHER USES (PARKING, CHILDCARE CENTER) ARE ANCILLARY USES TO RELIGIOUS INSTITUTION PRIMARY USE.

Revision	By	Appd	YYYY.MM.DD
Issued	By	Appd	YYYY.MM.DD
File Name: C3.0 SITE PLAN	SB	KKR	AMR 2022.06
	Dwn	Dsgn	Chkd



Client/Project Logo  
UNIFIED CONGREGATION OF BATON ROUGE

SYNAGOGUE EXPANSION  
Baton Rouge, Louisiana

Title  
SITE PLAN

Project No. 215617479	Scale 1"=30'
Revision Sheet	Drawing No. C3.0

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Notes

CIRCULATION LEGEND	
	OFF-SITE VEHICULAR CIRCULATION
	ON-SITE VEHICULAR CIRCULATION
	PEDESTRIAN CIRCULATION
	BUILDING ACCESS POINTS

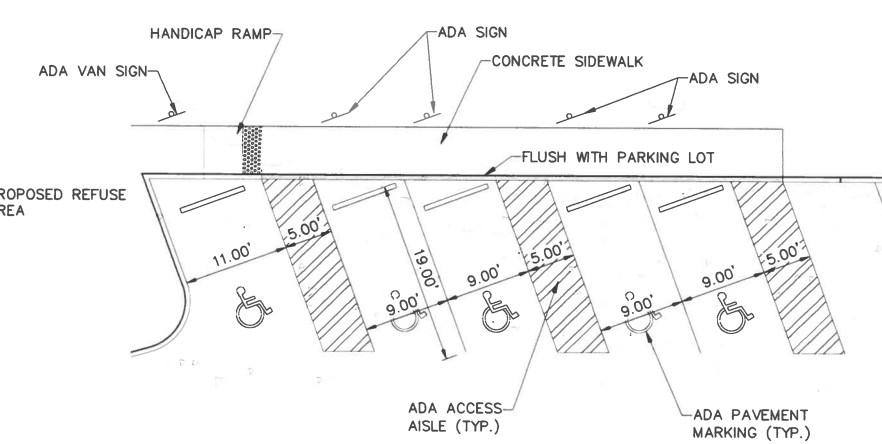
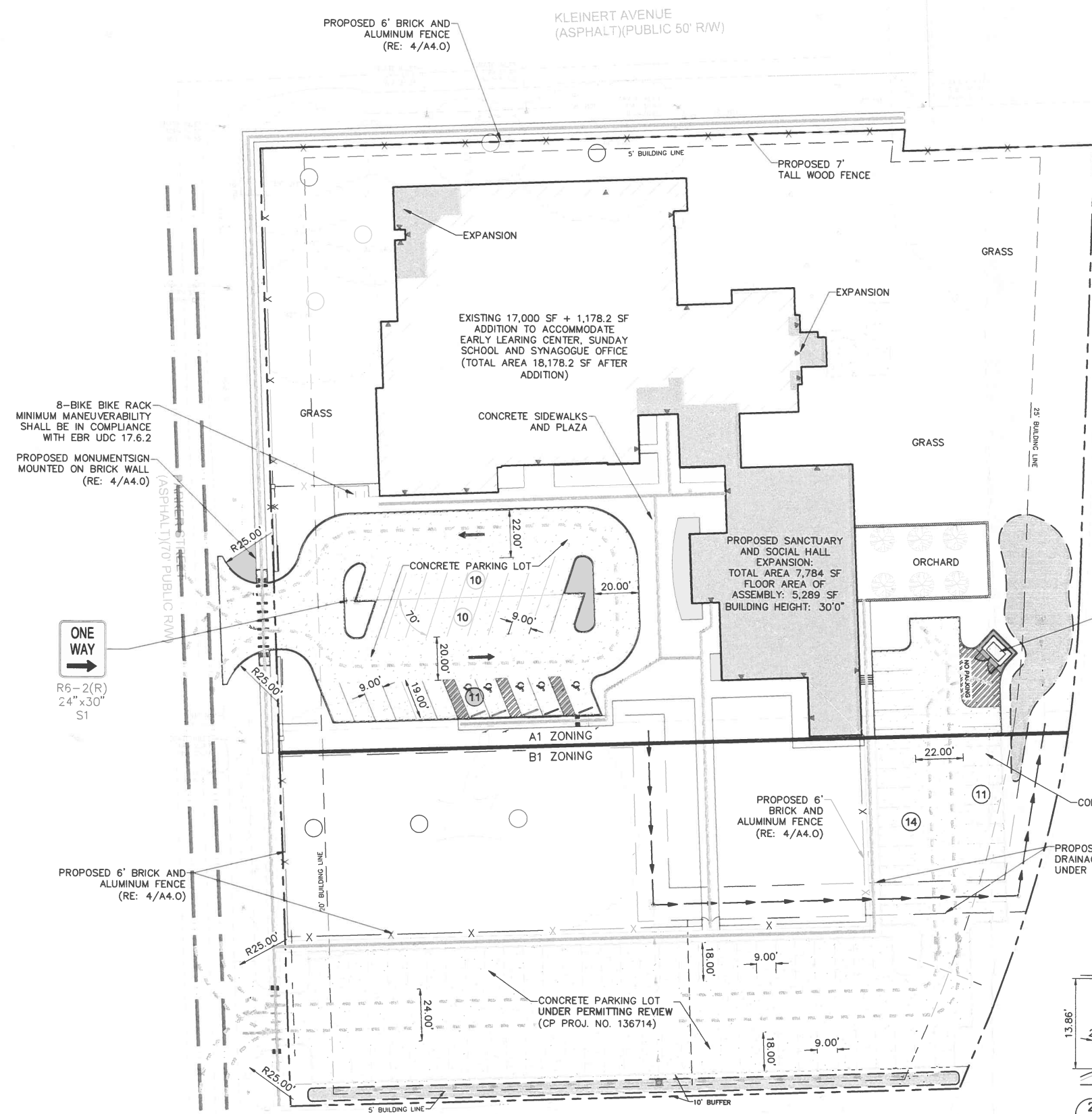
PARKING TABLE			
USE	QUANTITY	REQUIRED	PROVIDED
RELIGIOUS INSTITUTION 1 PER 65 SF ASSEMBLY AREA	5,259 SF	81	
EARLY LEARNING CENTER 1 PER SPACE 400 SF GFA	12,510 SF	32	
<b>TOTAL</b>		<b>113</b>	<b>119</b>

HANDICAP SPACES			
101-150 SPACES	119	5S+1V	5S+1V

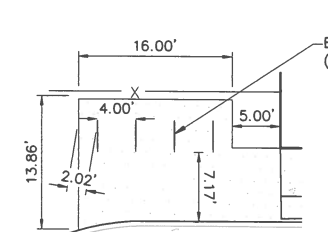
BICYCLE PARKING			
1/20 MOTOR VEHICLE SPACES	124	7	8

**MOVEBR NOTE:**  
SITE IS NOT ON A PART OF MOVEBR TRANSPORTATION AND INFRASTRUCTURE IMPROVEMENTS.

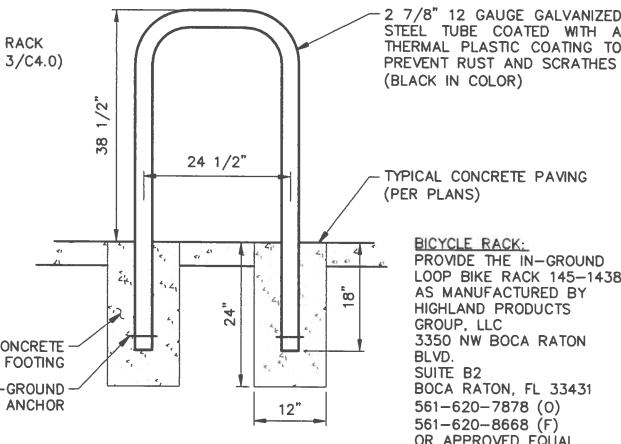
**CATS ROUTE:**  
SITE IS NOT ON CATS ROUTE, THEREFORE NO PROPOSED BUS STOP.



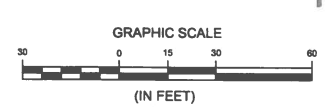
**1 ADA LAYOUT**  
C4.0 SCALE: 1" = 10'



**2 BICYCLE LAYOUT**  
C4.0 SCALE: 1" = 10'



**3 BIKE RACK DETAIL (SECTION)**  
C4.0 SCALE: N.T.S.



Revision	By	Appd	YYYY.MM.DD
Issued			

File Name: C4.0 CIRCULATION PLAN  
Dwn: SB Dsgn: KKR Chkd: AMR  
2022.06

Permit/Seal

Client/Project Logo

Client/Project  
**UNIFIED CONGREGATION OF BATON ROUGE**

**SYNAGOGUE EXPANSION**

Baton Rouge, Louisiana

Title  
**CIRCULATION PLAN**

Project No. 215617479	Scale 1"=30'
Revision Sheet	Drawing No.

**C4.0**

PLANT SCHEDULE (PROPOSED)

TREES	CODE	COMMON NAME	REMARKS
	BET	Dura Heat River Birch	Class 'A' Tree
	ILE	Dahoon Holly	Class 'B' Tree
	LAG	Natchez Crape Myrtle	Class 'B' Tree
	QUE	Cathedral Live Oak	Class 'A' Tree

Revision \_\_\_\_\_ By \_\_\_\_\_ Appd \_\_\_\_\_ YYYY.MM.DD

Issued \_\_\_\_\_ By \_\_\_\_\_ Appd \_\_\_\_\_ YYYY.MM.DD

File Name: L1.D LANDSCAPE PLAN  
 \_\_\_\_\_ ASM SAB KER 2022.04  
 \_\_\_\_\_ Dwn. Dgrn. Chld. YYYY.MM.DD

Permit/Seal



Client/Project

Client/Project

UNIFIED CONGREGATION OF BATON ROUGE

SYNAGOGUE EXPANSION

Baton Rouge, Louisiana

Title  
LANDSCAPE PLAN

Project No. 215617479 Scale 1"=30'

Revision Sheet Drawing No.

L1.0

LANDSCAPE NOTES:

BIO-SWALE:  
DO NOT MULCH SWALE. UTILIZE A BIODEGRADABLE MESH MATERIAL OVER STRAW/HAY TO STABILIZE AREA AROUND PROPOSED PLANT MATERIAL.

UTILITIES:  
ABOVE-GROUND UTILITIES AND APPURTENANCES TO UNDERGROUND UTILITIES THAT REQUIRE ABOVE-GROUND INSTALLATION, WITH THE EXCEPTION OF THOSE LOCATED IN THE RIGHT-OF-WAY, SHALL BE SCREENED BY A CONTINUOUS PLANTING OF SHRUBS, WITH A MINIMUM MATURE HEIGHT EQUAL TO THAT OF THE UTILITY STRUCTURE AND SHALL CONTAIN A BREAK FOR REQUIRED ACCESS.  
TREES OR SHRUBS SHALL NOT BE PLANTED WITHIN TEN FEET OF FIRE HYDRANTS, PUBLIC UTILITIES SUCH AS TRAFFIC METER BOXES, DIRECTIONAL TRAFFIC SIGNS AND OTHER SIMILAR PUBLIC STRUCTURES

SIDEWALKS WITHIN ROOT ZONES:  
PROPOSED SIDEWALKS WITHIN THE ROOT ZONE OF EXISTING TREES ARE TO BE CONSTRUCTED ON EXISTING GRADE (AS PRACTICAL WITHIN THE LIMITS OF GRADING AND DRAINAGE). LIMIT EXCAVATION TO THE GREATEST EXTENT POSSIBLE. BRIDGE OVER EXPOSED ROOTS WITH SIDEWALK; PROVIDE ADDITIONAL CONTROL JOINTS ON EITHER SIDE OF THE ROOT AND REINFORCE THE SIDEWALK WITH WELDED WIRE MESH.

ROOT PRUNING:  
CONTRACTOR TO ROOT PRUNE EXISTING TREES TO REMAIN PARALLEL TO PROPOSED CONSTRUCTION ACTIVITY THAT REQUIRES EXCAVATION. WORK TO BE PERFORMED UNDER THE SUPERVISION AND DIRECTION OF AN ISA CERTIFIED ARBORIST.

TREE PROTECTION:  
CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION WITHIN THE ROOT ZONE OF EXISTING TREES TO REMAIN THROUGHOUT THE DURATION OF CONSTRUCTION.

IN THE ERECTION OF ANY BUILDING OR STRUCTURE, THE BUILDER, CONTRACTOR OR OWNER SHALL PLACE TREE PROTECTION FENCING A MINIMUM HEIGHT OF SIX FEET ALONG THE TREE PROTECTION ZONE AND AROUND ALL TREES BELONGING TO THE CITY-PARISH THAT ARE WITHIN TWENTY FEET OF THE DEVELOPING PROPERTY TO PREVENT INJURY TO THEM. BUILDING MATERIALS OR TRASH SHALL NOT BE PLACED UPON CITY-PARISH PROPERTY, RIGHT-OF-WAY OR EASEMENTS WITHOUT THE PERMISSION OF THE DEVELOPMENT DIRECTOR. CONTRACTORS AND OTHERS DOING WORK, EITHER FOR EXCAVATION OR OTHER PROJECTS FOR WHICH PERMISSION HAS BEEN GRANTED BY THE DEVELOPMENT DIRECTOR SHALL GIVE BOND TO THE DEVELOPMENT DIRECTOR TO GUARANTEE THE PAYMENT OF ALL COSTS FOR REPAIRING ANY SETTLEMENT OR OTHER DAMAGE OR DETERIORATION THAT OCCURS AS A RESULT OF THE PROJECT UNDERTAKEN BY THEM.

TREES DESIGNATED ON THE TREE PRESERVATION PLAN AS PROTECTED TREES SHALL BE COMPLETELY ENCLOSED BY TREE PROTECTION FENCING A MINIMUM HEIGHT OF SIX FEET LOCATED AT THE TREE PROTECTION ZONE, AND AS APPROVED BY THE DEVELOPMENT DIRECTOR. THE LOCATION OF THE TREE PROTECTION FENCING MUST BE AS DESCRIBED ON THE TREE PRESERVATION PLAN. PLASTIC OR NON-RIGID FORMS OF FENCING SHALL NOT BE ALLOWED.

TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY CLEARING OR SITE WORK. FAILURE TO INSTALL TREE PROTECTION FENCING AT THE APPROPRIATE TIME MAY RESULT IN THE LOSS OF TREE PROTECTION CREDITS AND SHALL REQUIRE SUSPENSION OF ALL WORK UNTIL A REVISED LANDSCAPE PLAN IS APPROVED. TREE PROTECTION FENCING MUST REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED OR FINAL OCCUPANCY PERMIT HAS BEEN ISSUED, WHICHEVER IS LATER.

TREE PROTECTION FENCING MUST CARRY DURABLE SIGNS DESIGNATING THE AREA AS A 'TREE PROTECTION ZONE. NO ENTRY UNLESS AUTHORIZED BY THE CITY-PARISH DEVELOPMENT DEPARTMENT. SIGNS SHALL BE IN BOTH ENGLISH AND SPANISH AND SHALL BE SPACED AROUND THE PERIMETER OF ALL TREE PROTECTION ZONES WITH A MAXIMUM SPACING OF 25 FEET BETWEEN SIGNS. SIGNS SHALL BE A MINIMUM EIGHT INCHES TALL BY TEN INCHES WIDE IN SIZE AND SHALL BE FIRMLY AFFIXED TO THE TREE PROTECTION FENCE.

PLANT MATERIAL:  
ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE RULES OF GOOD ARBORICULTURAL PRACTICE AS SET FORTH BY THE ANSI A300 AND IN THE LOUISIANA NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY, LATEST EDITION, AS PUBLISHED BY THE LOUISIANA NURSERY AND LANDSCAPE ASSOCIATION, AND CURRENTLY IN EFFECT AT THE TIME OF SUCH WORK.

PLANT MATERIAL SHALL BE TRUE TO NAME, VARIETY AND SIZE AND SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.

CLASS A TREES AND STREET YARD TREES  
ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM TWO-INCH CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.  
MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE AND ONE-HALF-INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF TEN FEET TALL AT TIME OF PLANTING.

CLASS B TREES  
ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM ONE AND ONE-HALF INCH CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.  
MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE-INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.

NOTE:  
THE LANDSCAPE ARCHITECT WILL INSPECT THE LANDSCAPE INSTALLATION IN ORDER TO CERTIFY THE LANDSCAPE MATERIAL WAS INSTALLED IN COMPLIANCE WITH THE APPROVED PLAN.

TREE CREDIT CALCULATIONS

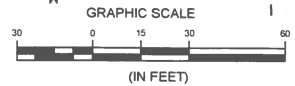
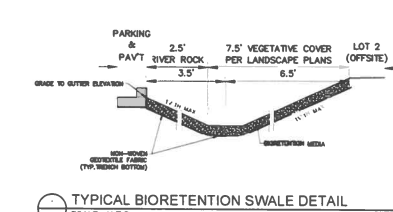
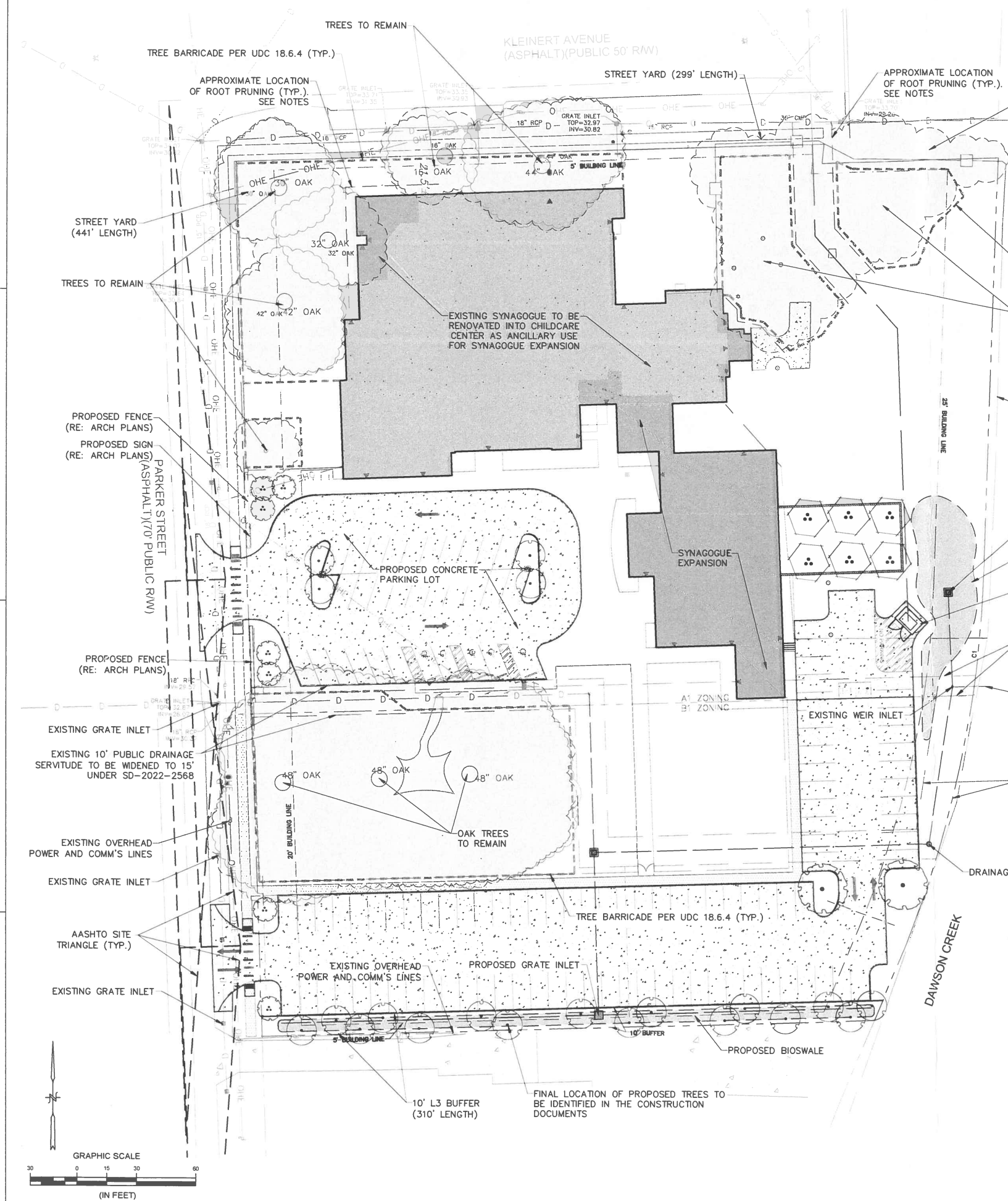
EXISTING TRUNK DBH	CREDIT	QTY	TOTAL
LIVE OAK 24" +	1 TREE PER INCH	292	292
24" + ANY OTHER TREE	10 TREES		
18" - 23"	8 TREES		
12" - 18"	6 TREES	1	6
6" - 12"	4 TREES		
			298

NOTE:  
INFORMATION PROVIDED IS BASED ON BEST INFORMATION AVAILABLE AT TIME OF PREPARING THIS DOCUMENT. SOME EXISTING TREES DO NOT INCLUDE DBH AND THE TOTAL IS LIKELY TO INCREASE ONCE MEASURED.

LANDSCAPE REQUIREMENT CALCULATIONS

AREA	LANDSCAPE ORDINANCE REQ'S	AVAIL	REQUIRED			PROVIDED		TREE CREDITS
			CLASS 'A'	CLASS 'B'	CLASS 'A'	CLASS 'B'		
STREET	1 CLASS 'A' TREE PER 40 LF	740 LF	19					19
VEHICULAR BUFFERYARD	1 CLASS 'A' TREE PER 10 SPACES @ L3	409 LF	13		6	7		
	1 CLASS 'A' TREE PER 40 LF OR 1 CLASS 'B' TREE PER 20 LF AND CONTINUOUS 3' TALL SCREEN				21		21	
			TOTAL	32	21	6	28	19

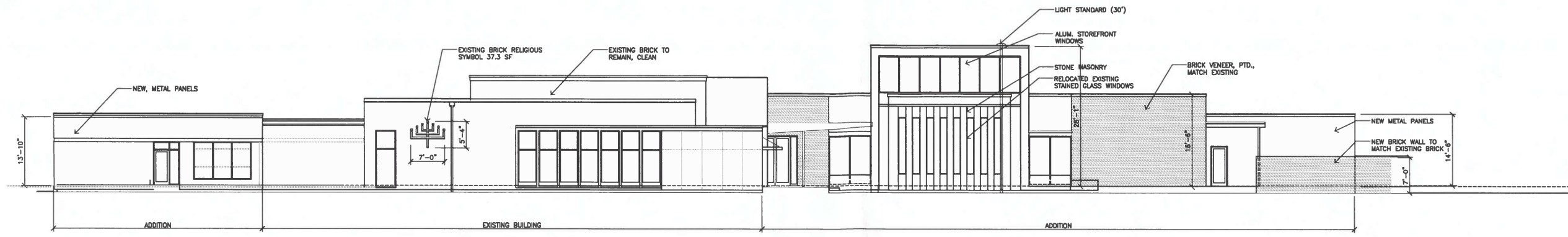
NOTES:  
1. WHERE OVERHEAD UTILITIES EXIST, CLASS 'B' OR CLASS 'C' TREES SHALL REPLACE CLASS 'A' TREES AT A RATE OF ONE CLASS 'B' OR 'C' TREE FOR EVERY 20 FT.  
2. WHERE EXISTING TREES TO REMAIN ARE LOCATED WITHIN THE 'AREA', NO NEW TREES ARE PROPOSED.  
3. LENGTHS FOR INDIVIDUAL PROPERTY LINES ARE PROVIDED ON THE PLAN.



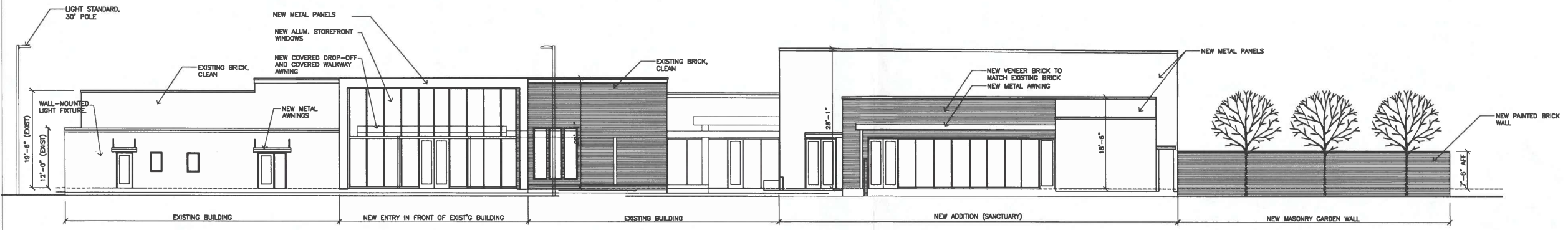
I:\projects\2022\215617479\215617479.dwg, 2/22/2022 2:39:57 PM  
 Original Sheet - AND

REVISION	DATE

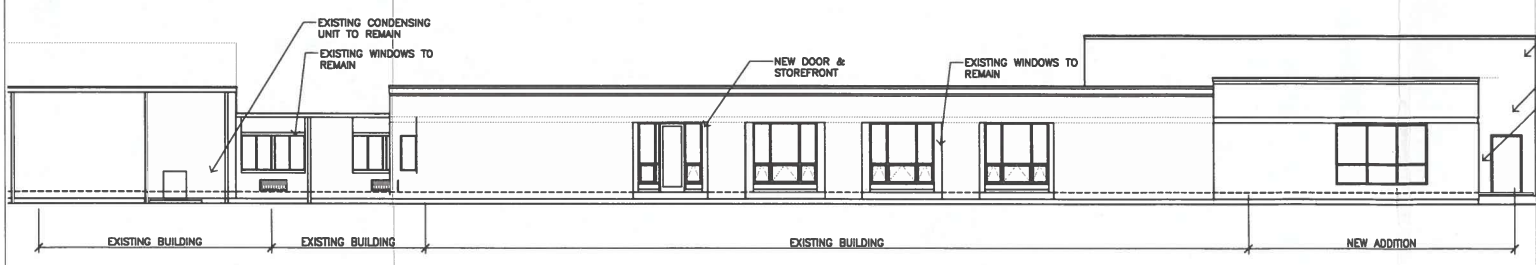
*P.C. Set 6/20/22*



**1 WEST ELEVATION (PARKER STREET ELEVATION)**  
3/32"=1'-0"

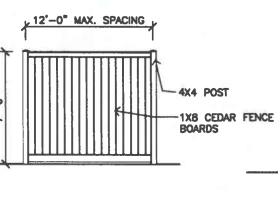


**2 SOUTH ELEVATION (FACING BROUSSARD)**  
3/32"=1'-0"

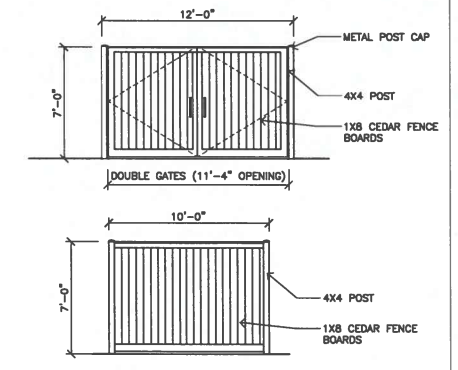
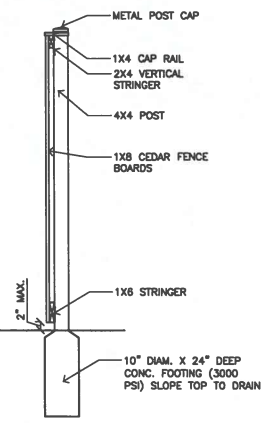


**3 NORTH ELEVATION (KLIENERT AVENUE ELEVATION)**  
3/32"=1'-0"

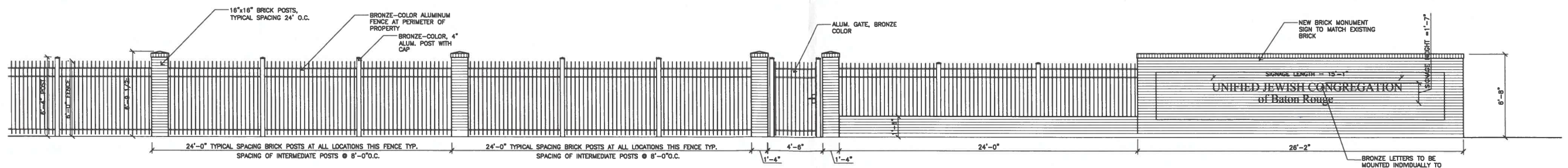
**WOOD FENCE GENERAL NOTE:**  
1. VERTICAL FENCE BOARDS ARE TO BE NO. 2 - 1x8 CEDAR WITH NO KNOTS. ALL OTHER WOOD TO BE #2 PRESSURE-TREATED PINE.  
2. 4x4 POSTS TO BE 7'-0" TALL.  
3. ALL NAILS SHALL BE 8-PENNY ALUMINUM SCREW SHANK TYPE.



**5 WOOD FENCE DETAIL**  
NTS



**6 DUMPSTER ENCLOSURE DETAIL**  
3/16"=1'-0"



SIGNAGE AREA:  
LETTERING: 15'-1" X 1'-7" = 23.88 SF  
TOTAL AREA OF ALLOWABLE SIGNAGE: 24 SF

**4 MONUMENT SIGN/FENCE ELEVATION @ PARKER STREET MAIN ENTRANCE**  
1/4"=1'-0"