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**FINAL DEVELOPMENT PLAN & PRELIMINARY PLAT**

FOR

**MATERRA  
PHASE II**

BEING PART OF THE  
WOMAN'S HOSPITAL PLANNED UNIT DEVELOPMENT (PUD-4-08)  
BATON ROUGE, LOUISIANA 70817  
EAST BATON ROUGE PARISH

TRACT X-1-D-1-A  
BEING A PORTION OF  
THE EOLA MCCALL ANDERSON TRACT  
LOCATED IN SECTIONS 5 & 49,  
TOWNSHIP 8 SOUTH - RANGE 2 EAST,  
GREENSBURG LAND DISTRICT  
EAST BATON ROUGE PARISH, LOUISIANA

CPPC ID NUMBER:  
1640677495

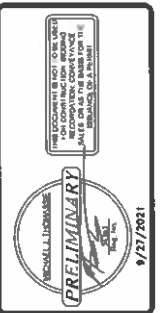
APPLICANT ACKNOWLEDGES THAT LETTERS OF NON-OBJECTORS  
FROM UTILITY COMPANIES ARE REQUIRED WHERE STREET YARD  
OR SIGNS ARE IN CONTACT WITH UTILITIES.

**PLANNING SUMMARY**

EXISTING ZONING: PUD  
EXISTING LAND USE: UNDEVELOPED  
FUTURE LAND USE: EMPLOYMENT CENTER  
CHARACTER AREA: SUBURBAN  
ADJACENT ZONING: HC1, C2, RURAL, A1, PUD  
ACREAGE: PHASE II (24.26 ACRES); TRACT X-1-D-1-A (48.49 ACRES)  
PROPOSED NUMBER OF SINGLE FAMILY RESIDENTIAL LOTS: 92  
LOW DENSITY: 3.79 LOTS/ACRE  
BUILDING HEIGHT: 45'-0" (MAXIMUM)  
MAX BUILDING STORIES: 3  
PROPOSED USE: LOW DENSITY RESIDENTIAL

REVISION	BY

9015 Bluebonnet Blvd.  
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TRACT X-1-D-1-A  
BEING A PORTION OF THE EOLA  
MCCALL ANDERSON TRACT  
LOCATED IN SECTIONS 5 & 49,  
1-8-S, R-2-E,  
GREENSBURG LAND DISTRICT  
EAST BATON ROUGE PARISH,  
LOUISIANA

MATERRA - PHASE II  
BEING PART OF WOMAN'S HOSPITAL PUD (PUD-4-08)  
BATON ROUGE, LOUISIANA 70817  
EAST BATON ROUGE PARISH  
MATERRA DEVELOPMENT COMPANY, LLC  
402 N. 4TH STREET  
BATON ROUGE, LOUISIANA 70802

DESIGN CODE	
CHECKED BY	
ISSUED DATE	09/27/2021
ISSUED FOR	PDF
PROJECT NO.	21-041
FILE	21-041 COVER SHEET PDF
SHEET	1

Planning Commission SEP 27 2021  
**PC SET**

**OWNER / DEVELOPER:**

MATERRA DEVELOPMENT COMPANY, LLC  
402 NORTH 4TH STREET  
BATON ROUGE, LOUISIANA 70802  
CONTACT: JOHN M. ENGQUIST  
TELEPHONE: (225) 298-5230  
EMAIL: JENGQUIST@HE-EQUIPMENT.COM

**DESIGN PROFESSIONALS & CONSULTANTS LIST:**

<b>CIVIL ENGINEER</b> DUPLANTIS DESIGN GROUP, PC 9015 BLUEBONNET BOULEVARD BATON ROUGE, LOUISIANA 70810 CONTACT: MICHAEL THOMASSIE, P.E. TELEPHONE: (225) 751-4490 EMAIL: MTHOMASSIE@DDGPC.COM	<b>LANDSCAPE ARCHITECT</b> DUPLANTIS DESIGN GROUP, PC 9015 BLUEBONNET BOULEVARD BATON ROUGE, LOUISIANA 70810 CONTACT: CHAD DANOS, FASLA, PLA TELEPHONE: (225) 751-4490 EMAIL: CDANOS@DDGPC.COM	<b>SURVEYOR</b> DUPLANTIS DESIGN GROUP, PC 16564 EAST BREWSTER ROAD, SUITE 101 COVINGTON, LA 70433 CONTACT: DENNIS L. GOWIN, P.L.S. TELEPHONE: (985) 249-6180 EMAIL: DGOWIN@DDGPC.COM
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**UTILITY CONTACT LIST:**

<b>SEWER</b> EBR PARISH DEPT. OF PUBLIC WORKS 1100 LAUREL ST. BATON ROUGE, LOUISIANA 70802 CONTACT: RICKEY P. BROUILLETTE TELEPHONE: (225) 389-5623	<b>WATER</b> BATON ROUGE WATER COMPANY 8755 GODDWOOD BOULEVARD BATON ROUGE, LOUISIANA 70896 CONTACT: MARGIE SWANSON TELEPHONE: (225) 231-0304	<b>TELEPHONE</b> AT&T 5550 S. SHERWOOD FOREST BLVD, ROOM 231 BATON ROUGE, LOUISIANA 70816 CONTACT: MICHAEL BROWN TELEPHONE: (225) 296-4930
<b>ELECTRIC</b> ENTERGY ELECTRIC 446 NORTH BLVD. BATON ROUGE, LOUISIANA 70802 CONTACT: JUSTIN RETTSTATT TELEPHONE: (225) 346-3928	<b>GAS</b> ENTERGY 446 NORTH BLVD. BATON ROUGE, LOUISIANA 70802 CONTACT: JUSTIN RETTSTATT TELEPHONE: (225) 346-3928	<b>TELEPHONE</b> COX COMMUNICATIONS 1906 ERASTE LANDRY RD. LAFAYETTE, LOUISIANA 70506 CONTACT: BYRON VENTRESS TELEPHONE: (225) 268-0600

**LEGEND**

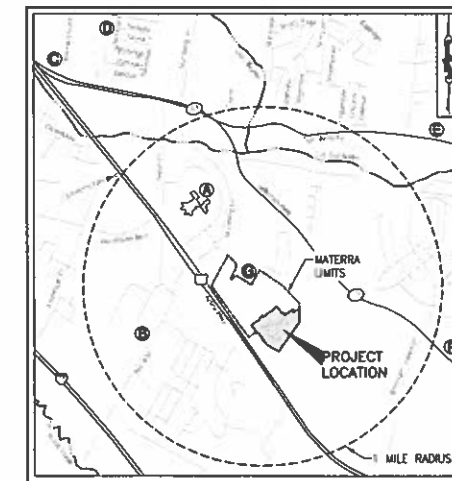
- (A) WOMAN'S HOSPITAL
- (B) TRINITY FELLOWSHIP CHURCH
- (C) PARKVIEW BAPTIST SCHOOL
- (D) PARKVIEW ELEMENTARY SCHOOL
- (E) WOODLAWN MIDDLE SCHOOL
- (F) MOST BLESSED SACRAMENT SCHOOL
- (G) BASIS CHARTER SCHOOL



**PARISH MAP**  
N.T.S.



**QUAD MAP**  
N.T.S.



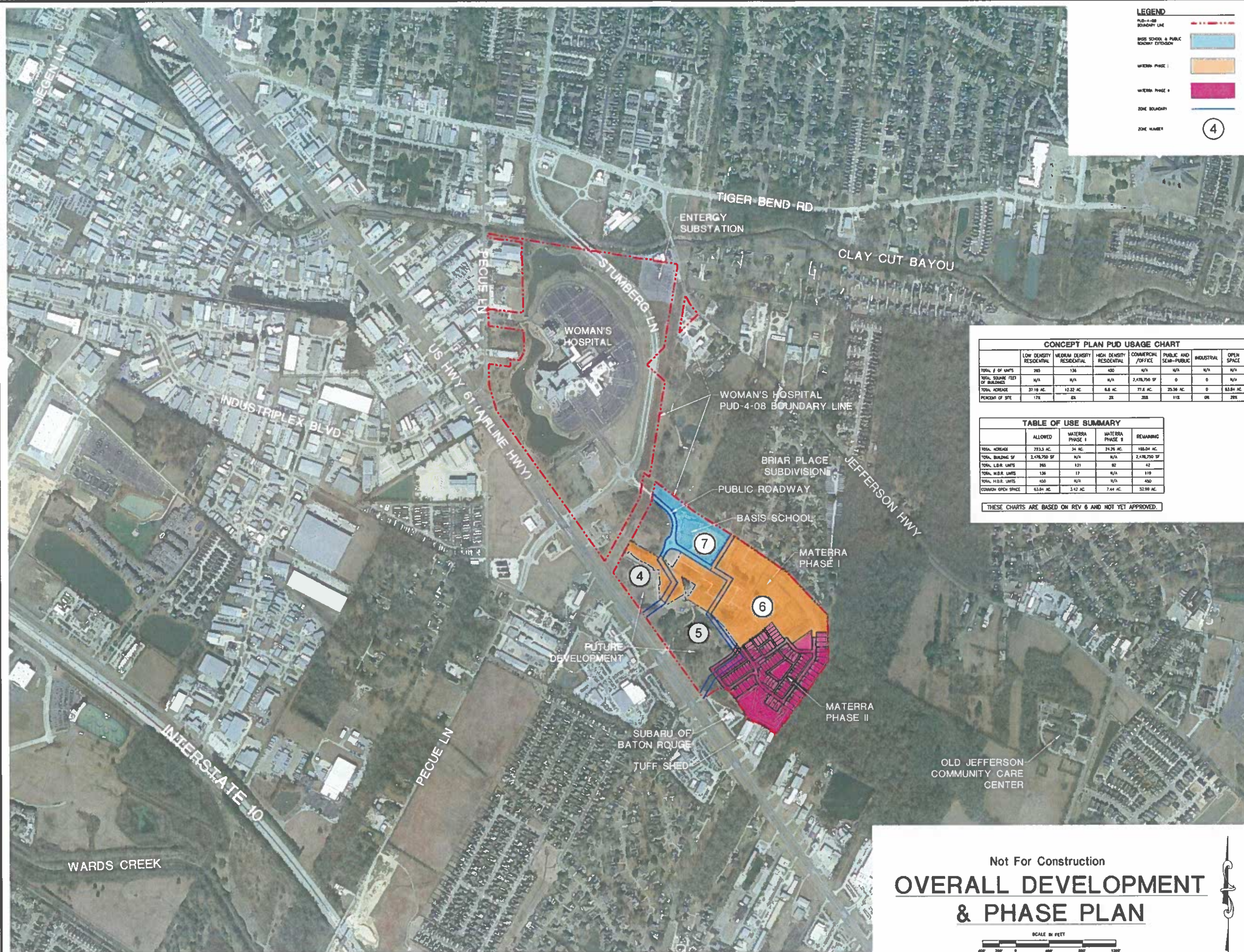
**VICINITY MAP**  
SCALE: 1" = 200'











**LEGEND**

- PUD-4-08 BOUNDARY LINE: - - - - -
- HIGH SCHOOL & PUBLIC ROADWAY EXTENSION: —
- MATERRA PHASE I: —
- MATERRA PHASE II: —
- ZONE BOUNDARY: —
- ZONE NUMBER: 4

**CONCEPT PLAN PUD USAGE CHART**

	LOW DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	HIGH DENSITY RESIDENTIAL	COMMERCIAL / OFFICE	PUBLIC AND SEMI-PUBLIC	INDUSTRIAL	OPEN SPACE
TOTAL # OF UNITS	265	136	450	N/A	N/A	N/A	N/A
TOTAL SQUARE FEET OF BUILDINGS	N/A	N/A	N/A	2,478,700 SF	0	0	N/A
TOTAL ACRES	37.19 AC.	12.32 AC.	6.6 AC.	77.8 AC.	25.56 AC.	0	63.84 AC.
PERCENT OF SITE	17%	6%	3%	35%	11%	0%	29%

**TABLE OF USE SUMMARY**

	ALLOWED	MATERRA PHASE I	MATERRA PHASE II	REMARKS
TOTAL ACRES	773.5 AC.	24 AC.	24.26 AC.	165.91 AC.
TOTAL BUILDING SF	2,478,700 SF	N/A	N/A	2,478,700 SF
TOTAL U.S.R. UNITS	366	131	62	559
TOTAL M.D.R. UNITS	136	17	N/A	119
TOTAL H.D.R. UNITS	450	N/A	N/A	450
COMMON OPEN SPACE	63.84 AC.	2.42 AC.	7.44 AC.	73.70 AC.

THESE CHARTS ARE BASED ON REV 6 AND NOT YET APPROVED.

REVISION	BY

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**DDG**  
DUPLANTIS DESIGN GROUP

PROVISIONS IN THIS PLAN ARE TO BE USED IN CONJUNCTION WITH THE PRELIMINARY ENGINEERING PLAN AND THE PRELIMINARY ENGINEERING REPORT.

**PRELIMINARY**

9/27/2021

TRACT X-1-D-1-A  
BEING A PORTION OF THE EOLA  
MCCALL ANDERSON TRACT  
LOCATED IN SECTIONS 5 & 49,  
T-8-S, R-2-E,  
GREENSBURG LAND DISTRICT  
EAST BATON ROUGE PARISH,  
LOUISIANA

**MATERRA - PHASE II**  
BEING PART OF WOMAN'S HOSPITAL PUD (PUD-4-08)  
BATON ROUGE, LOUISIANA 70817  
EAST BATON ROUGE PARISH  
MATERRA DEVELOPMENT COMPANY, LLC  
402 N. 4TH STREET  
BATON ROUGE, LOUISIANA 70802

DRAWN CDB
CHECKED BMB
ISSUED DATE 9/27/2021
ISSUED FOR RFP
PROJECT NO 21-241
FILE 21-241 OVERALL DEV & PHASING PLAN
SHEET <b>4</b>

Not For Construction  
**OVERALL DEVELOPMENT  
& PHASE PLAN**



P:\DWG\21-000\21-241 [Revised Phase 2]VPR\21-241 OVERALL DEV & PHASING PLAN.dwg





**LINE TABLE**

LINE #	BEARING	LENGTH
L1	S01°02'40"E	18.00'
L2	S89°54'35"W	18.00'
L3	S01°11'37"E	34.95'
L4	N08°54'03"E	89.97'
L5	N01°11'33"E	30.00'
L6	S08°47'48"W	20.00'
L7	N01°08'08"W	18.87'

**TABLE OF USE**

	LOW DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	HIGH DENSITY RESIDENTIAL	COMMERCIAL / OFFICE	PUBLIC AND SEMIPUBLIC	INDUSTRIAL	OPEN SPACE
TOTAL # OF LOTS	N/A	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL # OF LOTS	92	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL SQUARE FEET OF BUILDINGS	N/A	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL ACRES	16.82	N/A	N/A	N/A	N/A	N/A	7.44
PERCENTAGE OF SITE	88%	N/A	N/A	N/A	N/A	N/A	31%

**RESIDENTIAL DENSITY CALCULATIONS**

TOTAL ACRES	24.26 ACRES
TOTAL RESIDENTIAL UNITS	82 LOTS (LOW DENSITY RES.)
DENSITY	3.79 UNITS PER ACRE

**OPEN SPACE CALCULATIONS**

PROVIDED COMMON OPEN SPACE	7.44 ACRES
PROVIDED GREEN OPEN SPACE	4.70 ACRES*

\* GREEN AND COMMON OPEN SPACE WITHIN VEHICLE USE AREAS OR ANY MONOCULTURAL GREEN AREA OF LESS THAN ONE THOUSAND (1000) SQUARE FEET IS NOT INCLUDED IN THE COMMON OPEN SPACE CALCULATIONS.

**LEGEND - IMPROVEMENTS**

- 1" P. BOUNDARY LINE
- CONCRETE SIDEWALK
- PUBLIC OR PRIVATE STREET
- LOW DENSITY RESIDENTIAL

**LEGEND - COMMON OPEN SPACE**

- COMMON OPEN SPACE
- GREEN OPEN SPACE
- POUD
- SEWER

ALL AREAS ARE INCLUDED WITHIN COMMON OPEN SPACE CALCULATIONS.

**REVISION**

NO.	DESCRIPTION	DATE

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**DDG**  
DUPONTIS DESIGN GROUP

STATE OF LOUISIANA  
DEPARTMENT OF REVENUE  
OFFICE OF THE STATE ENGINEER  
REGISTERED PROFESSIONAL ENGINEER  
No. 10000

9/27/2021

TRACT X-1-D-1-A  
BEING A PORTION OF THE FOIA  
MCCALL ANDERSON TRACT  
LOCATED IN SECTIONS 5 & 49,  
T-8-S, R-2-E,  
GREENSBURG LAND DISTRICT  
EAST BATON ROUGE PARISH,  
LOUISIANA

MATERRA - PHASE I  
BEING PART OF WOMAN'S HOSPITAL PUD (PUD-4-08)  
BATON ROUGE, LOUISIANA 70817  
EAST BATON ROUGE PARISH  
MATERRA DEVELOPMENT COMPANY, LLC  
402 N. 4TH STREET  
BATON ROUGE, LOUISIANA 70802

DRAWN  
CDB

CHECKED  
BMA

ISSUED DATE  
8/27/2021

ISSUED FOR  
FDP

PROJECT NO.  
21-241

FILE  
21-241 FINAL DEVELOPMENT PLAN

SHEET  
**5**

**STATEMENT OF OBJECTIVES:**

- THIS FDP AND PRELIMINARY PLAN SUBMITTED FOR MATERRA DEVELOPMENT PHASE I CONSISTS OF A TOTAL OF 24.26 ACRES. EXISTING PUD-4-08 THIS PHASE IS LOCATED IN ZONE C OF THE PUD-4-08 CONCEPT PLAN. A TOTAL OF 16.82 ACRES ARE DEVOTED TO LOW-DENSITY RESIDENTIAL DEVELOPMENT CONSISTING OF DETACHED SINGLE FAMILY HOUSING AND PROPOSED ROADS. OTHER CUMULATIVE DEVELOPMENTS WITHIN PHASE I IS ANTICIPATED TO BE COMPLETE LATE 2023.
- THE MATERRA MATERRA DEVELOPMENT (PHASE I) CONSISTS OF 82 LOTS AND INCLUDES BOTH RESIDENTIAL AND COMMERCIAL USES.
- THERE ARE A TOTAL OF 7.44 ACRES OF COMMON OPEN SPACE WITHIN THE LOTS OF PHASE I, WHICH ACCOUNTS FOR 31% OF THE PHASE I SITE AREA AND 3.32 OF THE TOTAL PUD AREA. THE GREEN SPACE WITHIN THIS PHASE IS A TOTAL OF 4.70 ACRES, WHICH ACCOUNTS FOR APPROXIMATELY 19% OF THE PHASE I AREA. 2.44 ACRES OF THE COMMON OPEN SPACE IS DRAINAGE POND AREA.
- THE TOTAL NUMBER OF LOW DENSITY OVERLAP LOTS PROPOSED WITHIN THE MATERRA DEVELOPMENT PHASE I IS 92, PROVIDING AN AVERAGE DENSITY OF 3.79 BUILDINGS PER ACRE.
- THE RESIDENTIAL USE, MAINTENANCE, AND CONTINUED PROTECTION OF THE COMMON AREA AND COMMUNITY SERVICE FACILITIES WILL BE MONITORED BY THE CREATOR OF A HOMEOWNER'S ASSOCIATION. THERE ARE NO OFFICE/COMMERCIAL, INDUSTRIAL, BUILDING PROPOSED FOR THIS PHASE.
- THE OWNER/DEVELOPER IS RESPONSIBLE FOR OBTAINING THE USE, REGULAR MAINTENANCE AND PROTECTION OF THE COMMON AREA AND COMMUNITY FACILITIES FOR THE DEVELOPMENT.
- ALL ONE-WAY PUBLIC STREETS AND ROADWAYS WITHIN THE DEVELOPMENT WILL BE PUBLICLY OWNED AND MAINTAINED. ALL ONE-WAY PRIVATE STREETS WILL BE PRIVATELY MAINTAINED.
- WATER WILL BE COLLECTED THROUGH TWO (2) MAIN ARMS.
- PROPOSED SITE IS NOT LOCATED ON AN EXISTING MASS TRANSIT ROUTE. THE NEAREST BUS STOP IS LOCATED NORTHWEST OF THE SITE AT THE INTERSECTION OF AIRLINE HIGHWAY AND STAMBERG LANE APPROXIMATELY 0.50 MILES AWAY.

**GENERAL NOTES:**

- STATEMENT OF IMPROVEMENTS WITH UTILITY PROVIDERS.
- WATER SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY BATON ROUGE WATER COMPANY.
- ELECTRIC SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY DIXIE.
- SEWER SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY DIXIE.
- SEWER SERVICE WILL BE INSTALLED BY THE DEVELOPER AND CONNECTED TO THE EXISTING (EIR) STN.
- TELECOMMUNICATIONS SERVICE WILL BE INSTALLED AND PROVIDED BY AT&T AND COMCAST.
- IMPROVEMENTS WILL BE COLLECTED SURFACE AND ROUTED THROUGH THE ON-SITE STORMWATER MANAGEMENT POND.
- ALL SIDE BUILDING SETBACKS TO BE 5'.
- ALL STREETS TO BE PUBLIC AND CONSTRUCTED WITH ASPHALT AND/OR CONCRETE IN ACCORDANCE WITH CITY-PARISH STANDARDS.
- WATER PHASE I IS PROPOSED USE IN ITS ENTIRETY IS LOW DENSITY RESIDENTIAL.
- NO BUILDING STORIES IS 3.
- BUILDING HEIGHT 43' (MAXIMUM).
- WALLS WITHIN BASES OF WALLS TO BE BOLLARD PROTECTED.
- REFERENCE MAPS: (A) BOUNDARY AND TOPOGRAPHIC SURVEY OF TRACT X-1-D-1-A SECTIONS 5 & 49, TOWNSHIP 8 SOUTH - RANGE 2 EAST, GREENSBURG LAND DISTRICT EAST BATON ROUGE PARISH, LOUISIANA, BY DOUGLAS L. COOPER, DATED 08/27/2021. BUILDINGS ARE BASED ON REFERENCE MAP 5' (ADMS).

THE PROPOSED DEVELOPMENT WILL COMPLY WITH ALL PROVISIONS OF THE LOUISIANA ZONING ACT SECTION 116 OF THE UNIFORM DEVELOPMENT CODES.

Not For Construction  
**FINAL DEVELOPMENT PLAN**



9/27/2021-0001-21-241 (Materra Phase I) Final Development Plan.dwg

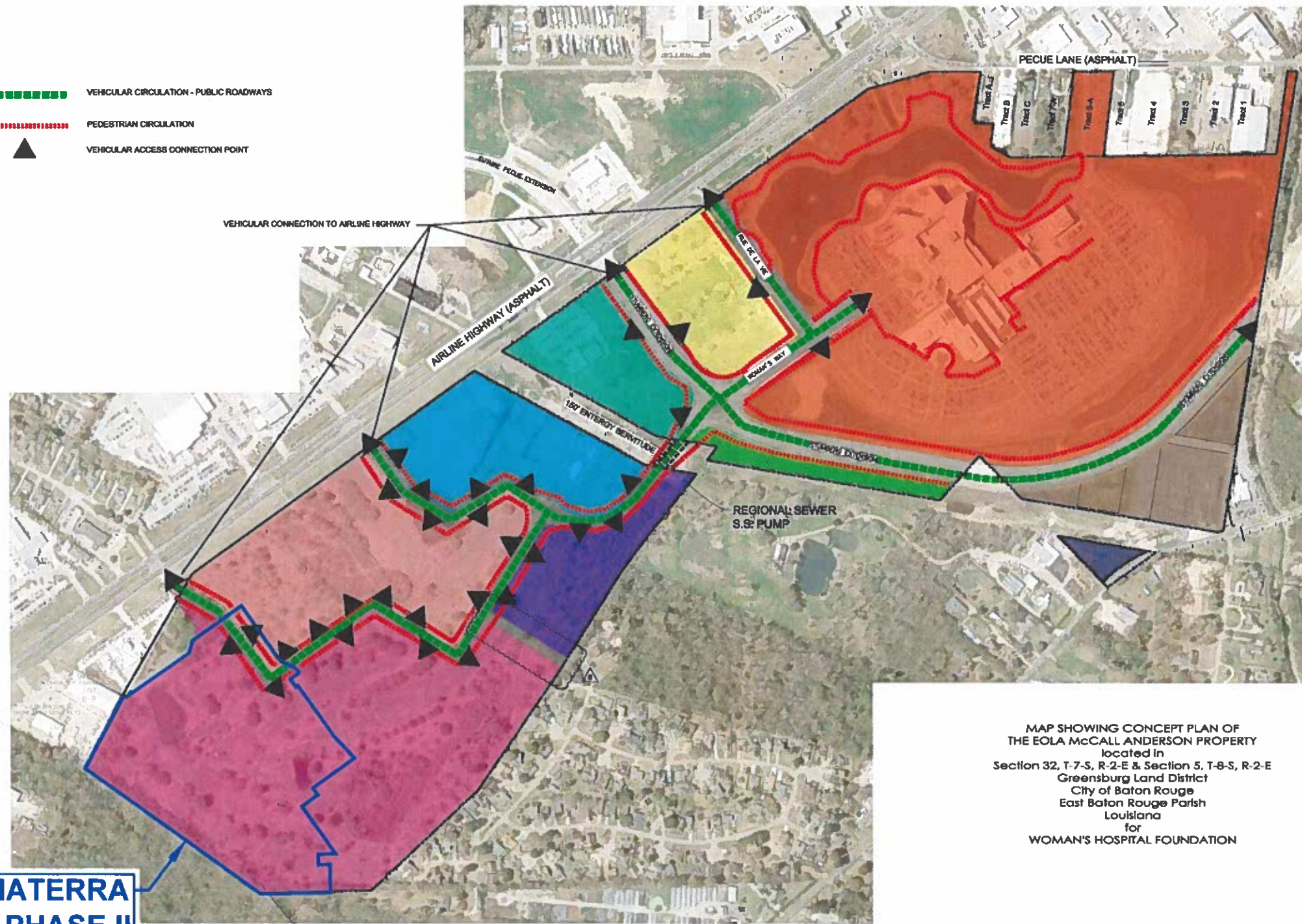


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Consultants

Legend

- VEHICULAR CIRCULATION - PUBLIC ROADWAYS
- PEDESTRIAN CIRCULATION
- VEHICULAR ACCESS CONNECTION POINT



MAP SHOWING CONCEPT PLAN OF  
THE EOLA McCALL ANDERSON PROPERTY  
located in  
Section 32, T-7-S, R-2-E & Section 5, T-8-S, R-2-E  
Greensburg Land District  
City of Baton Rouge  
East Baton Rouge Parish  
Louisiana  
for  
WOMAN'S HOSPITAL FOUNDATION

**TO BE HEARD BY THE PLANNING  
COMMISSION OCTOBER 18, 2021**

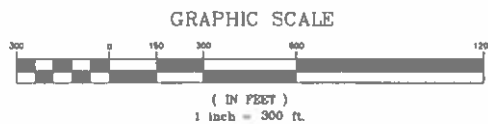
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2	1640677447	X-1-C-2	1640677653
3	1640677448	X-1-D-1-A	1640677485
4-A-1	1640677453	X-1-E	1640677486
4-A-2	1640677454	X-2	1640677472
4-A-3	1640677455	CA-1 through CA-4	
4-B	1640677451	1640677640 - 1640677643	
5-A	1640677476	CA-6 through CA-14	
5-B	1640677477	1640677644 - 1640677652	
6	1640677457	MATERRA LOTS 1 through 140	
X-1-A	1640677482	1640677500 - 1640677539	
X-1-B	1640677483		

Revision	By	Appd.	YYMMDD
4 MAJOR SITE CHANGE	AMR		
3 MINOR SITE CHANGE	AMR		
4 MINOR SITE CHANGE	AMR	BH	20.05.21
3 MINOR SITE CHANGE	AMR	FD	18.04.11
2 MAJOR SITE CHANGE	AMR	DM	17.07.17
1 MINOR CHANGE	AMR	DM	16.12.09
RESPONSE TO PC/ARC COMMENTS	AMR	AMR	17.05.25
PC APPLICATION	AMR	AMR	17.05.04
ISSUED	AMR	AMR	18.12.09
Permit-Seal	Dwn.	Chck.	Dgn.
			YYMMDD



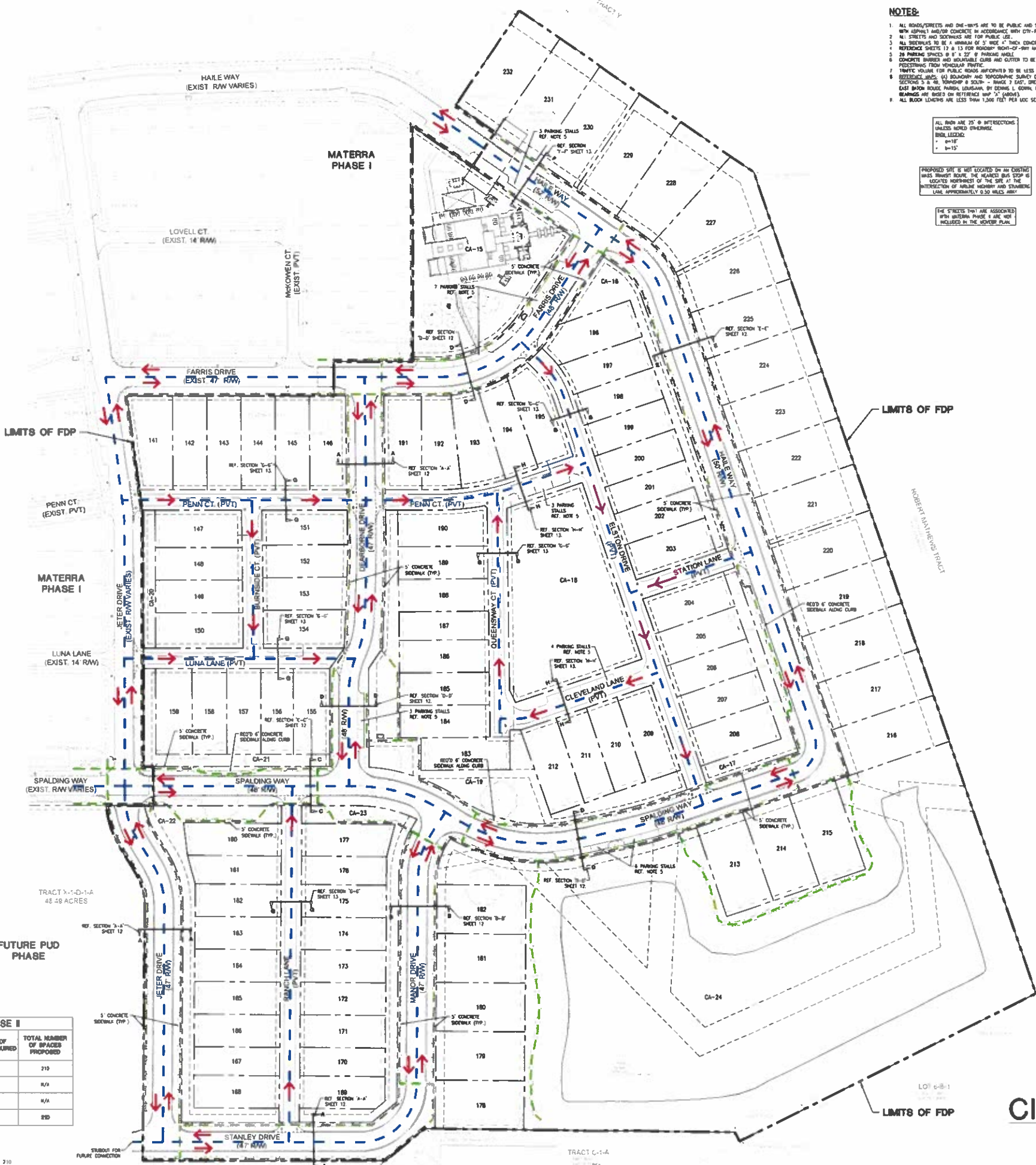
Client/Project  
WOMAN'S HOSPITAL FOUNDATION  
  
PLANNED UNIT DEVELOPMENT  
  
Baton Rouge, Louisiana  
  
Title  
CIRCULATION PLAN

Project No. 201801959  
Scale 1"=300'  
Drawing No. C-2.2  
Sheet of  
Revision

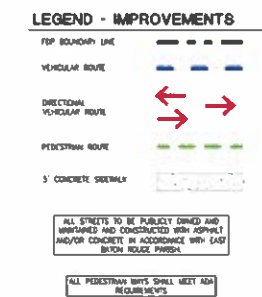


1 CIRCULATION PLAN  
C-2.2 SCALE: 1" = 300'





- NOTES:**
1. ALL ROADS/STREETS AND ONE-WAYS ARE TO BE PUBLIC AND SHALL BE CONSTRUCTED WITH ASPHALT AND/OR CONCRETE IN ACCORDANCE WITH CITY-PARISH STANDARDS.
  2. ALL STREETS AND SIDEWAYS ARE FOR PUBLIC USE.
  3. ALL SIDEWAYS TO BE A MINIMUM OF 5' WIDE 4" THICK CONCRETE.
  4. REFERENCE SHEETS 12 & 13 FOR ROADWAY RIGHT-OF-WAY AND TYPICAL CROSS SECTION.
  5. 20 PARKING SPACES @ 8' X 22' @ PARKING ANGLE.
  6. CONCRETE SIDEWALKS AND SIDEWALK CURBS AND CURBS TO BE USED TO SEPARATE PEDESTRIANS FROM VEHICULAR TRAFFIC.
  7. TRAFFIC VOLUME FOR PUBLIC ROADS INFORMATION TO BE LATER THAN 2,500 VPD.
  8. REFERENCE MAPS: (A) BOUNDARY AND TOPOGRAPHIC SURVEY OF TRACT 3-1-D-1-A SECTIONS 3 & 4, WARDROP @ SOUTH - RANGE 7 EAST, SPREADING LAND DISTRICT EAST BATON ROUGE PARISH, LOUISIANA, BY CORING L. CORING, DATED 06/27/2011. MEASUREMENTS ARE BASED ON REFERENCE MAP 5' (ABOVE).
  9. ALL ROAD LENGTHS ARE LESS THAN 1,500 FEET PER LOC SECTION 15.1.



ALL ROAD ARE 20' @ INTERSECTIONS UNLESS NOTED OTHERWISE. SEE LEGEND.

• 4'-6"  
• 6'-0"

PROPOSED SITE IS NOT LOCATED ON AN EXISTING MASS TRANSIT ROUTE. THE NEAREST BUS STOP IS LOCATED NORTHWEST OF THE SITE AT THE INTERSECTION OF AIRLINE HIGHWAY AND STAMBERG LANE, APPROXIMATELY 0.50 MILES AWAY.

THE STREETS THAT ARE ASSIGNED WITH MATERRA PHASE I ARE NOT INCLUDED IN THE OTHER PLAN.

REVISION	BY

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DDG  
DUPLANTIS DESIGN GROUP

PROPOSED IMPROVEMENTS FOR CONFORMANCE WITH THE 2011 ADA STANDARDS FOR ACCESSIBLE DESIGN AND CONSTRUCTION OF PUBLIC BUILDINGS AND PUBLIC ACCOMMODATIONS

PRELIMINARY

9/27/2021

TRACT X-1-D-1-A  
BEING A PORTION OF THE EOLA  
ACCESSION TRACT  
LOCATED IN SECTIONS 3 & 49,  
T-18-S, R-2-E  
GREENSBURG LAND DISTRICT  
EAST BATON ROUGE PARISH,  
LOUISIANA

MATERRA - PHASE I  
BEING PART OF WOMAN'S HOSPITAL PUD (PUD-4-08)  
BATON ROUGE, LOUISIANA 70817  
EAST BATON ROUGE PARISH  
MATERRA DEVELOPMENT COMPANY, LLC  
402 N. 4TH STREET  
BATON ROUGE, LOUISIANA 70802

DRAWN CDB
CHECKED DMA
ISSUED DATE 8/27/2021
ISSUED FOR FDP
PROJECT NO. 21-241
FILE 21-241 CIRCULATION PLAN
SHEET 7

**TABLE OF PARKING SPACES PHASE II**

USE	FORMULA	NUMBER OF LOTS	NUMBER OF SPACES REQUIRED	TOTAL NUMBER OF SPACES PROPOSED
RESIDENTIAL	2 SPACES/LOT	82	164	210
HANDICAP SPACES	N/A	N/A	N/A	N/A
BICYCLE PARKING	N/A	N/A	N/A	N/A
TOTALS		82	164	210

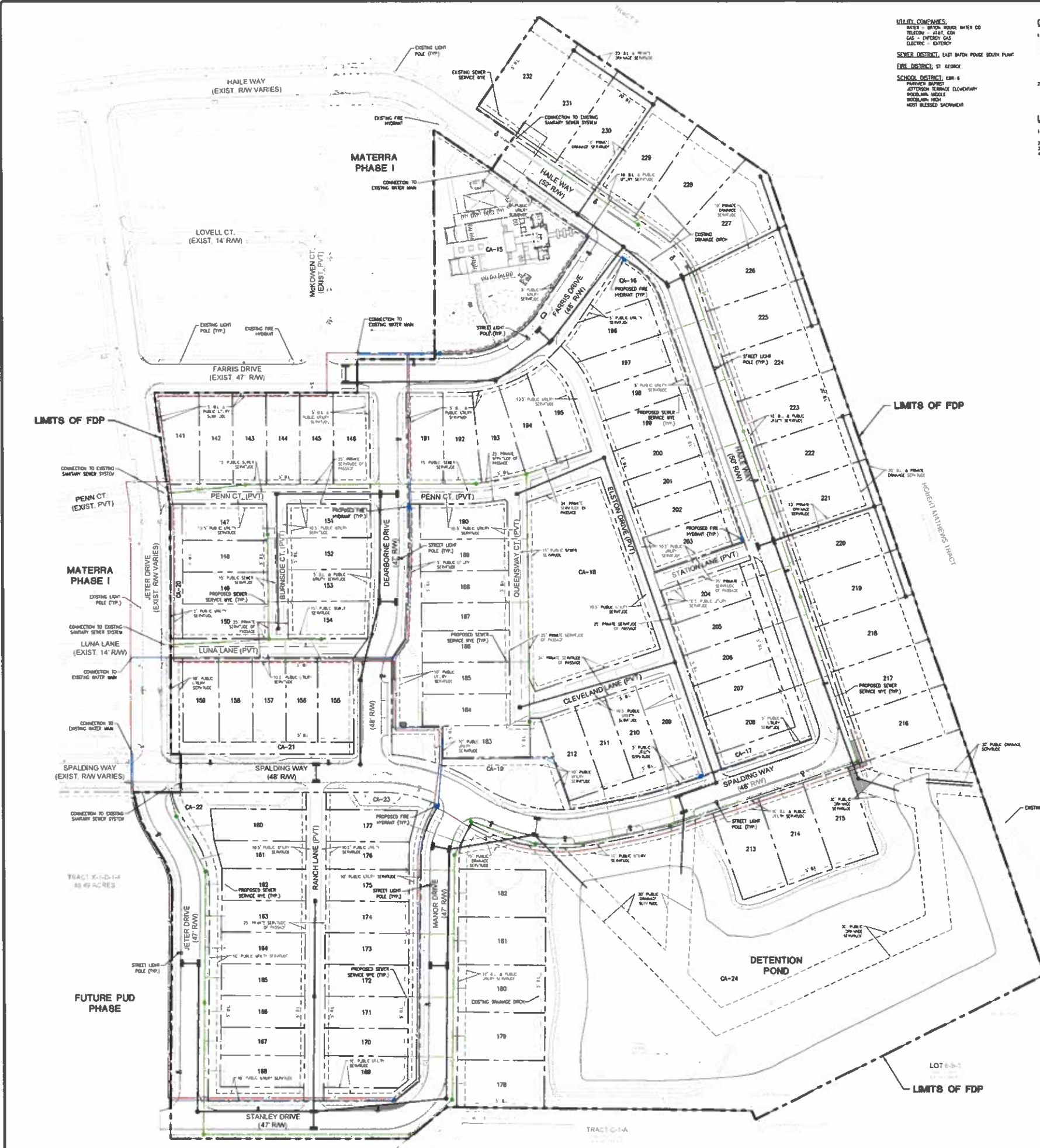
PARKING CALCULATION MEASUREMENTS:  
 REQUIRED PARKING PER LOT = 2  
 TOTAL RESIDENTIAL PARKING REQUIRED: 82 \* 2 = 164  
 PROPOSED RESIDENTIAL PARKING PER LOT = 2  
 TOTAL RESIDENTIAL PARKING PROPOSED: 82 \* 2 = 164 (RESIDENTIAL DESIGNATED PARKING) = 210

Not For Construction  
**CIRCULATION PLAN**



P:\DWG\21-241\21-241\_Circulation\21-241\_Circulation.dwg





**UTILITY COMPANIES:**  
 WATER - BRON ROUGE WATER CO  
 TELECOM - AT&T, COX  
 GAS - ENTROPY GAS ELECTRIC - ENTROPY  
**SEWER DISTRICT:** EAST BATON ROUGE SEWER PLANT  
**FIRE DISTRICT:** ST GEORGE  
**SCHOOL DISTRICT:** LHM 6  
 BRICKER STREET JEFFERSON TERRACE ELEMENTARY SCHOOL, MOBILE WOODLARK HIGH MOST BLESSED SHOWERS

- GENERAL NOTES:**
- STATEMENT OF JURISDICTIONS WITH UTILITY PROVIDERS.
  - WATER SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY BRON ROUGE WATER COMPANY.
  - ELECTRIC SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY ENTROPY.
  - GAS SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY ENTROPY.
  - SEWER SERVICE WILL BE INSTALLED BY THE DEVELOPER AND CONNECT TO THE EXISTING EAST BATON ROUGE SEWER TRANSMISSION NETWORK.
  - TELECOMMUNICATIONS SERVICE WILL BE INSTALLED AND PROVIDED BY AT&T AND COX.
  - STORMWATER COLLECTION SHALL BE COLLECTED SUB-SURFACE, DIVIDED THROUGH THE ON-SITE STORMWATER MANAGEMENT POND, AND THEN DISCHARGE TO AN EXISTING DRAINAGE DITCH.
  - REFERENCE MAPS (A) BOUNDARY AND DIMENSIONING SURVEY OF TRACT 21-1-D-1-A SECTIONS 5 & 49, BOUNDARY & SOUTH - RANGE 2 EAST (MOBILE LAND DISTRICT EAST BATON ROUGE PARISH, LOUISIANA, BY GEORGE L. CORNE, DATED 04/27/2021 BEARINGS ARE BASED ON REFERENCE MAP "X" (A-0404)

- LIGHTING NOTES:**
- THE PROPOSED DEVELOPMENT WILL COMPLY WITH ALL PROVISIONS OF THE ZONING ORDINANCE (SECTION 14.8 OF THE UNIFIED DEVELOPMENT CODE).
  - INSTALLS HEIGHT TO BE 16'
  - STREET LIGHTS TO BE DESIGNED AND INSTALLED BY ENTROPY ELECTRIC.
  - ANGLE OF SHINE 30°.



CONCEPTUAL LIGHT POLE

**Heritage Series LLX**  
 Decorative Pole Top  
 15' 150W HPS, 50' 175W HPS, 105' 175W HPS

**Features:**  
 • Available with or without poles  
 • Available with or without poles  
 • Free to use through outdoor use in areas of low humidity or high humidity, with low or high humidity  
 • Available in various colors and finishes  
 • All dimensions are approximate  
 • All dimensions are approximate  
 • All dimensions are approximate  
 • All dimensions are approximate

**Applications:**  
 • Walkways  
 • Pathways  
 • Parks

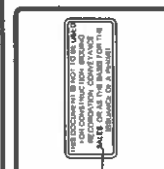
CONCEPTUAL FIXTURE

Not For Construction  
**UTILITY PLAN**



REVISION	BY

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TRACT X-1-D-1-A  
 BEING PART OF WOMAN'S HOSPITAL PUD  
 BEING PART OF WOMAN'S HOSPITAL PUD (PUD-4-08)  
 EAST BATON ROUGE PARISH  
 MATERRA DEVELOPMENT COMPANY, LLC  
 402 N. 4TH STREET  
 BATON ROUGE, LOUISIANA 70802

TRACT X-1-D-1-A  
 BEING PART OF WOMAN'S HOSPITAL PUD (PUD-4-08)  
 EAST BATON ROUGE PARISH  
 MATERRA DEVELOPMENT COMPANY, LLC  
 402 N. 4TH STREET  
 BATON ROUGE, LOUISIANA 70802

DRAWN	CDB
CHECKED	BMA
ISSUED DATE	8/27/2021
ISSUED FOR	FDP
PROJECT NO	21-241
FILE	21-241 UTILITY PLAN
SHEET	8

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**TABLE OF USE**

	LOW DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	HIGH DENSITY RESIDENTIAL	COMMERCIAL / OFFICE	PUBLIC AND SEMIPUBLIC	INDUSTRIAL	OPEN SPACE
TOTAL # OF UNITS	N/A	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL # OF LOTS	92	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL SQUARE FEET OF BUILDINGS	N/A	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL SQUARE FEET OF OPEN SPACE	15,02	N/A	N/A	N/A	N/A	N/A	7.44
PERCENTAGE OF SITE	50%	N/A	N/A	N/A	N/A	N/A	31%

**OPEN SPACE CALCULATIONS**

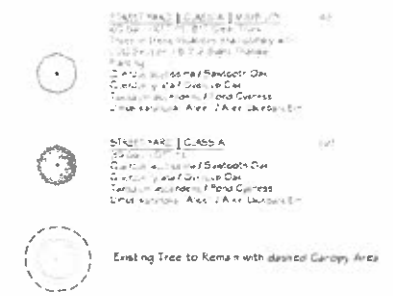
PROVIDED COMMON OPEN SPACE: 7.44 ACRES  
 PROVIDED GREEN OPEN SPACE: 4.70 ACRES

NOTES:  
 1. GREEN AND COMMON OPEN SPACE WITHIN VEHICLE USE AREAS OF ANY NONCONTIGUOUS OPEN AREA OF LESS THAN ONE THOUSAND (1000) SQUARE FEET IS NOT INCLUDED IN THE COMMON OPEN SPACE CALCULATIONS.

**STREET YARD LANDSCAPING**  
 THE STREET YARD LANDSCAPING COMPLIES WITH SECTION 18.5.4 OF THE BATON ROUGE UDC. CLASS A STREET TREES ARE SHOWN SPACED EVERY 60 LINEAR FEET. ALL STREET YARD TREES ARE LOCATED BETWEEN THE STREET AND THE SIDEWALK.

**SIGHT TRIANGLE LANDSCAPING**  
 TREES THAT FALL WITHIN A SIGHT TRIANGLE SHALL COMPLY WITH UDC SECTION 18.7.2. SIGHT TRIANGLE PLANTING REQUIREMENTS. THEY SHALL BE PLANTED AND MAINTAINED WITH A MINIMUM 8 FT CLEAR TRUNK.

**CONCEPT PLANT SCHEDULE**



**Existing Trees to Remain**

TREE #	DBH*	TYPE	LOCATION	CREDITS	CREDITS CLAIMED	NOTES
1	45	LIVE OAK	SPALDING WAY FRONTAGE	45	2	SAVE
2	45	LIVE OAK	SPALDING WAY FRONTAGE	45	2	SAVE
3	66	LIVE OAK	SPALDING WAY FRONTAGE	66	2	SAVE
4	33	LIVE OAK	SPALDING WAY FRONTAGE	33	2	SAVE
5	45	LIVE OAK	SPALDING WAY FRONTAGE	45	0	SAVE
6	50	LIVE OAK	LOT	0	0	SAVE
7	62	LIVE OAK	HALE WAY FRONTAGE	62	2	SAVE
8	41	OAK	HALE WAY FRONTAGE	41	2	SAVE
Total DBH: 387				Credits: 306	32	

\* DBH Assumed from Crown Diameter. To Be Field Verified

BATON ROUGE, LA CODE MATRIX FOR  
**Matria - Phase 2**  
 CHARACTER AREA: SUBURBAN

STREET YARD REQUIREMENTS	SECTION 18.5.4	PHASE 2
Frontage Distance: Hale Way	1,853 LF	
Class A Trees (12/40LF)	=	47 Trees Required
Frontage Distance: Farris Drive	990 LF	
Class A Trees (12/40LF)	=	25 Trees Required
Frontage Distance: DeARBorne Drive	841 LF	
Class A Trees (12/40LF)	=	22 Trees Required
Frontage Distance: Spalding Way	1,575 LF	
Class A Trees (12/40LF)	=	40 Trees Required
Frontage Distance: Jeter Drive	802 LF	
Class A Trees (12/40LF)	=	21 Trees Required
Frontage Distance: Manor Drive	712 LF	
Class A Trees (12/40LF)	=	18 Trees Required
Frontage Distance: Stanley Drive	249 LF	
Class A Trees (12/40LF)	=	7 Trees Required

\* Credits from existing trees to remain in the street frontage areas

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**DDG**  
 DUPLANTS DESIGN GROUP

STAMP

TRACT X-1-D-1-A  
 BEING A PORTION OF THE LOU  
 MCCALL ANDERSON TRACT  
 LOCATED IN SECTIONS 5 & 19,  
 T. 8 S., R. 2 E.,  
 GREENSBURG AND DISTRICT,  
 EAST BATON ROUGE PARISH,  
 LOUISIANA

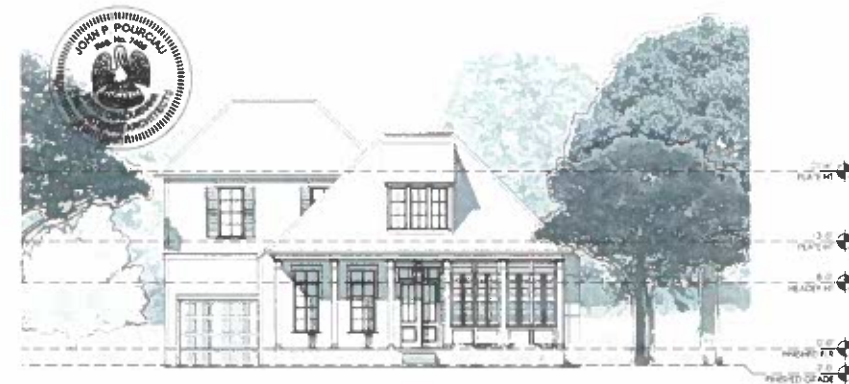
**MATERIA - PHASE 2**  
 BEING PART OF WOMAN'S HOSPITAL PUD (PUD-4-08)  
 BATON ROUGE, LOUISIANA 70817  
 EAST BATON ROUGE PARISH  
**MATERIA DEVELOPMENT COMPANY, LLC**  
 402 N. 4TH STREET  
 BATON ROUGE, LOUISIANA 70802

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 5/27/2021  
 ISSUED FOR  
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 PROJECT NO.  
 21-241  
 FILE  
 21-241 - Concept Landscape  
 Plan V2  
 SHEET  
**9**

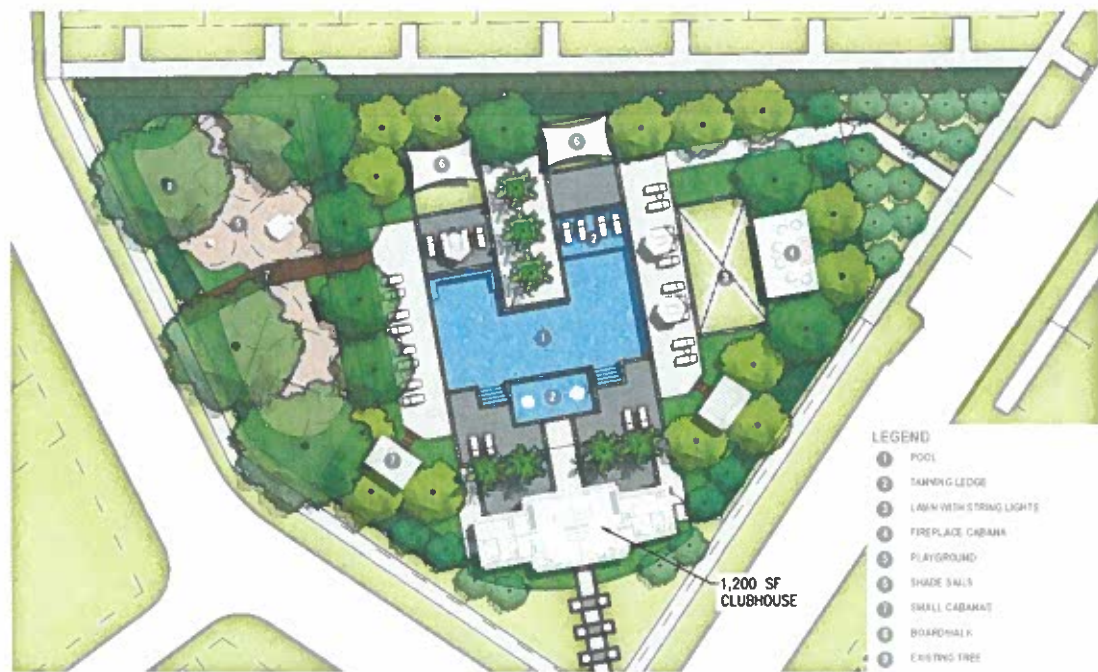
**CONCEPTUAL LANDSCAPE  
 PLANTING PLAN**

PROJECT: 21-0001-21-241 - 9 Concept Landscape Plan V2.rvt





FRONT-LOADED GARAGES OR CARPORTS FOR SINGLE FAMILY DEVELOPMENT SHALL BE AT LEAST 25 FEET FROM ANY ADJACENT PUBLIC RIGHT-OF-WAY OTHER THAN AN ALLEY



MATERRA POOL AND CLUBHOUSE

REICH

SCHEMATIC POOL AREA PLAN SCALE 1" = 20'-0"



MATERRA POOL AND CLUBHOUSE

REICH

POOL CLUBHOUSE MODEL SCALE N.T.S.

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TRACT X-1-D-1-A  
BEING A PORTION OF THE EOLA  
MCCALL ANDERSON TRACT  
LOCATED IN SECTIONS 5 & 49,  
T-8-S, R-2-E  
GREENSBURG LAND DISTRICT  
EAST BATON ROUGE PARISH,  
LOUISIANA

MATERRA - PHASE II  
BEING PART OF WOMAN'S HOSPITAL PUD (PUD-4-08)  
BATON ROUGE, LOUISIANA 70817  
EAST BATON ROUGE PARISH  
MATERRA DEVELOPMENT COMPANY, LLC  
402 N. 4TH STREET  
BATON ROUGE, LOUISIANA 70802

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ISSUED DATE	6/27/2021
ISSUED FOR	POP
PROJECT NO.	21-041
FILE	21-241 CONCEPTUAL BUILDING ELEVATIONS
SHEET	10

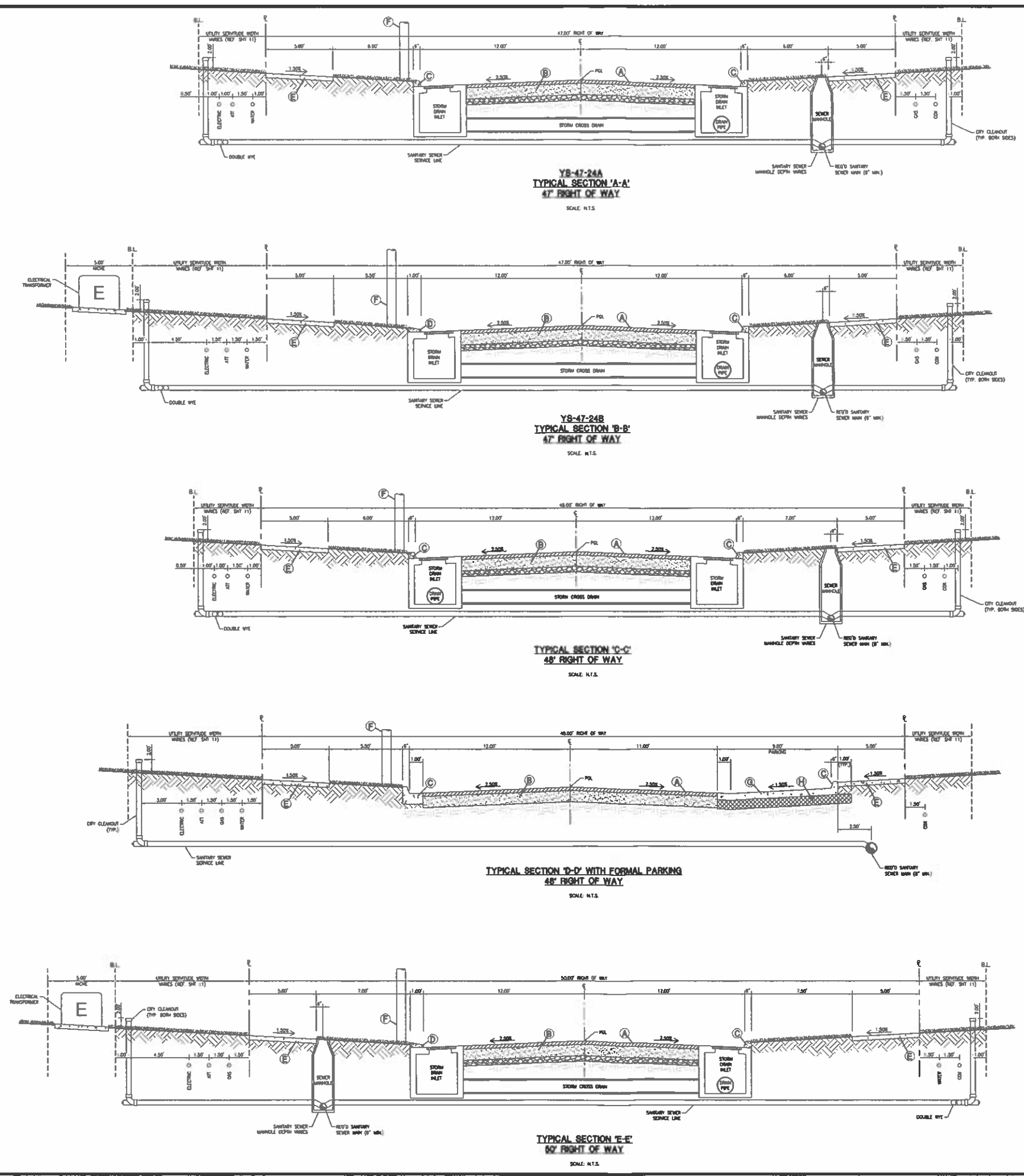
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**CONCEPTUAL BUILDING ELEVATIONS**

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**KEYNOTE LEGEND**

- (A) ASPHALTIC CONCRETE
- (B) SOL CEMENT BASE
- (C) CONCRETE CURB AND GUTTER (4" MINIMUM)
- (D) CONCRETE CURB AND GUTTER (4" MINIMUM)
- (E) 4" PORTLAND CEMENT CONCRETE, SEEDED
- (F) STREET LIGHTING STANDARDS AND FIXTURES
- (G) PORTLAND CEMENT CONCRETE FINISH
- (H) LIME TREATED BASE

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PROFESSIONAL ENGINEER  
STATE OF LOUISIANA  
No. 10000  
JAMES M. LINDSEY  
9/27/2021

TRACT X-1-D-1-A  
BEING A PORTION OF THE EOLA  
ACCESSION SECTION TRACT  
LOCATED IN SECTIONS 5 & 49,  
T-10R-S-10E-1  
GREENSBURG LAND DISTRICT  
EAST BATON ROUGE PARISH,  
LOUISIANA

MATERIA - PHASE II  
BEING PART OF WOMANS HOSPITAL PUD (PUD-4-08)  
BATON ROUGE, LOUISIANA 70817  
EAST BATON ROUGE PARISH

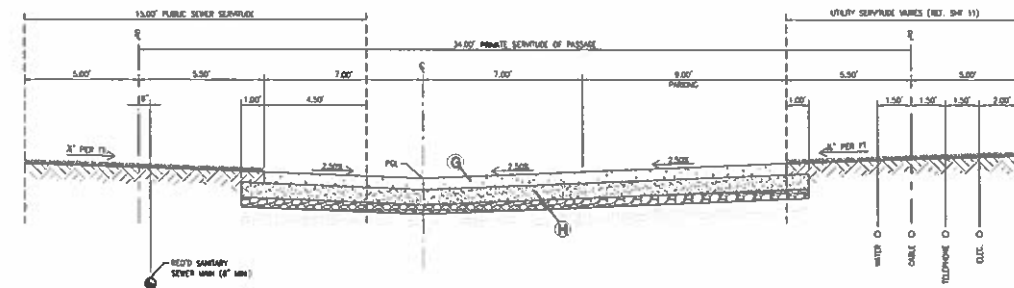
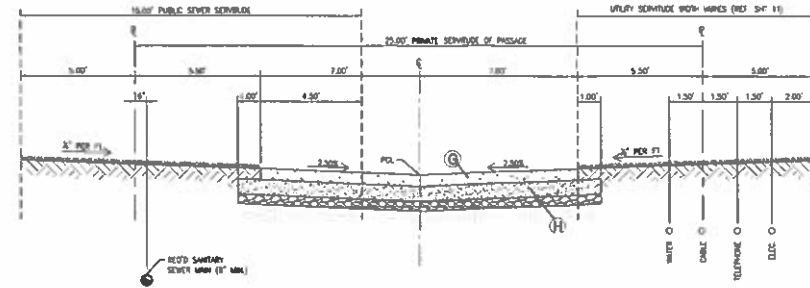
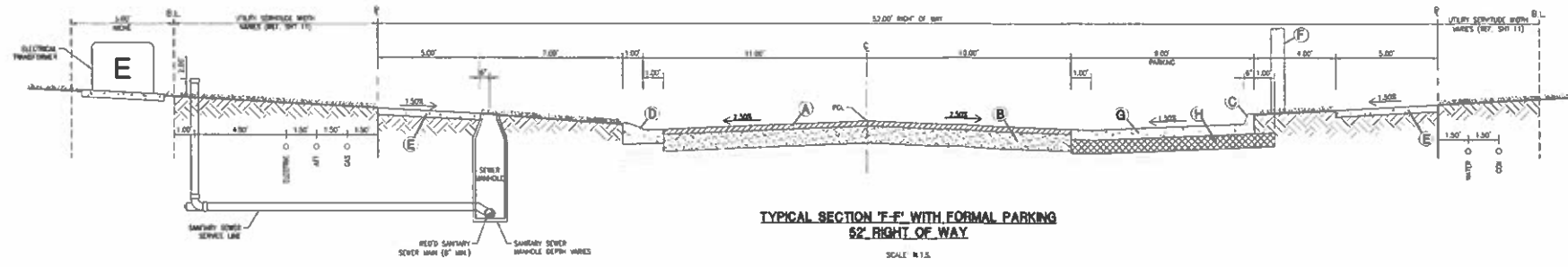
MATERIA DEVELOPMENT COMPANY, LLC  
402 N. 4TH STREET  
BATON ROUGE, LOUISIANA 70802

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ISSUED DATE	8/27/2021
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PROJECT NO.	21-241
FILE	21-241 TYP SECTIONS & DETAILS
SHEET	12

Not For Construction  
**TYPICAL SECTIONS  
& DETAILS**

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**KEYNOTE LEGEND**

- (A) ASPHALTIC CONCRETE
- (B) SOIL CEMENT BASE
- (C) CONCRETE CURB AND GUTTER (4" BARRIED)
- (D) CONCRETE CURB AND GUTTER (4" MOUNTABLE)
- (E) 4" PORTLAND CEMENT CONCRETE SIDEWALK
- (F) STREET LIGHTING STANDARDS AND FIXTURES
- (G) PORTLAND CEMENT CONCRETE PAVEMENT
- (H) LIME TREATED BASE

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PRELIMINARY  
9/27/2021

TRACT X-1-D-1-A  
BEING A PORTION OF THE EOLA  
MCCALL ANDERSON TRACT  
LOCATED IN SECTIONS 5 & 49,  
1-B-S, R-2-E,  
GREENSBURG LAND DISTRICT  
EAST BATON ROUGE PARISH,  
LOUISIANA

MATERRA - PHASE II  
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BATON ROUGE, LOUISIANA 70817  
EAST BATON ROUGE PARISH  
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402 N. 4TH STREET  
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DESIGN	CDM
CHECKED	BRM
ISSUED DATE	01/27/2021
ISSUED FOR	FDP
PROJECT NO	21-241
FILE	21-241 TYP SECTIONS & DETAILS
SHEET	13

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**TYPICAL SECTIONS  
& DETAILS**

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