

FINAL DEVELOPMENT PLAN FOR

NICHOLSON TOWNHOMES (PUD 2-00 BURBANK UNIVERSITY)

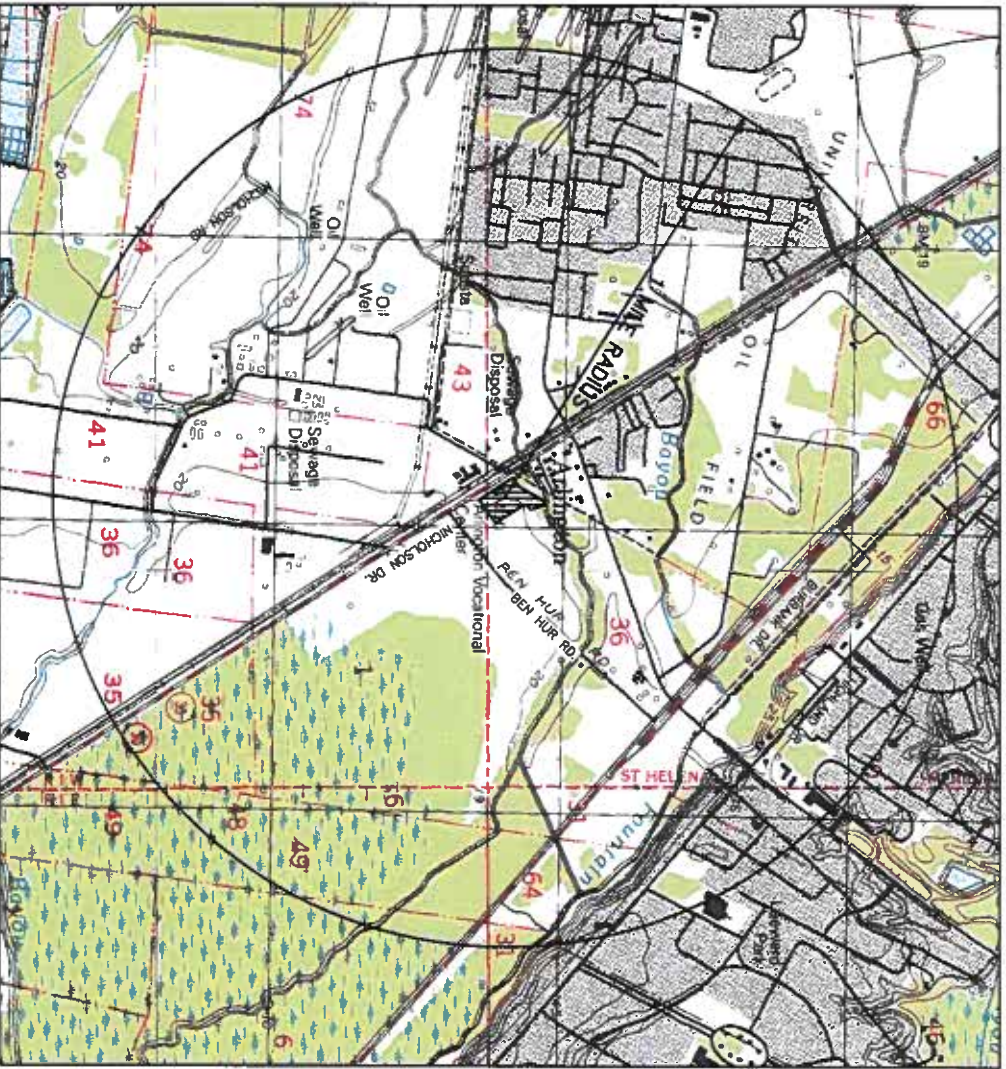
TRACT B-3-B-1-A-1

BEING A PORTION OF THE NELSON TRACT

LOCATED IN SECTION 36, TOWNSHIP 7 SOUTH, RANGE 1 WEST

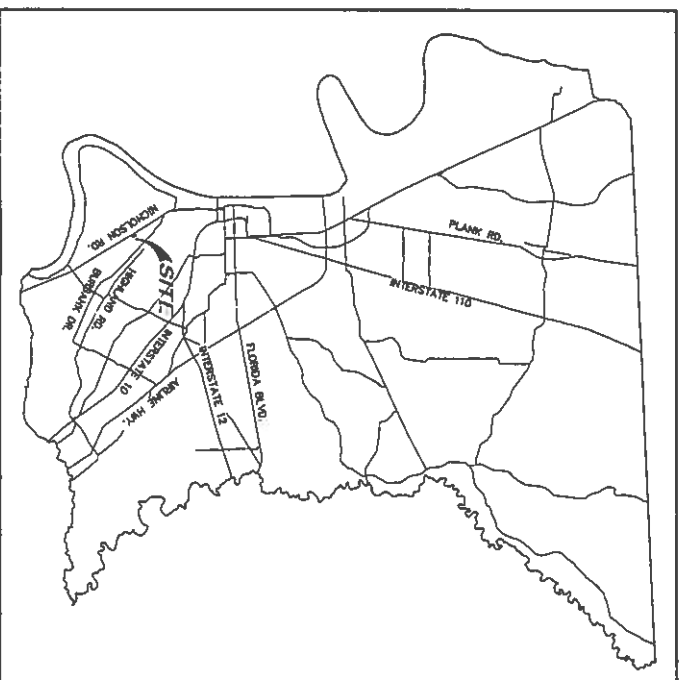
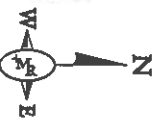
AND SECTION 1, TOWNSHIP 8 SOUTH, RANGE 1 WEST
BATON ROUGE, LA.

OCTOBER 2020



GENERAL LOCATION QUAD MAP

SCALE 1" = 1000'



PARISH MAP

SCALE 1" = 20,000'

PLANNING SUMMARY:

EXISTING ZONING: PUD
EXISTING LAND USE: UNDEVELOPED
FUTURE LAND USE: UDR
CHARACTER AREA: URBAN/WALKABLE
EXISTING ZONING (ADJACENT PARCELS): PUD
LOT & BLOCK MAP NO.: 57
PROPERTY INFO: NELSON TRACT
AGE/AGE: 4/25
OF UNITS: 44
OF UNITS/ACRE: 10.35 UNITS/ACRE (ADR)
MINOR BLOCK HEIGHT: 35' (2.5 STORIES)
TOTAL FIRST FLOOR BLDG SQ. FOOTAGE: 56,892
LOT SIZE: 3,000 SQ. FT.
PROPOSED USE: SEMI-DETACHED MEDIUM DENSITY HOMES
SITE LOCATED ON MAJOR PROJECT ROAD

LEGAL DESCRIPTION:

TRACT B-3-B-1-A-1 BEING A PORTION OF THE NELSON TRACT, LOCATED IN SECTION 36 AND SECTION 1 TOWNSHIP 8 SOUTH, RANGE 1 WEST

CPIC LOT ID #: 1320570103

INDEX TO SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS
3	APPROVED CONCEPT PLAN
4	FINAL DEVELOPMENT PLAN
5	LAND USE PLAN
6	CIRCULATION PLAN
7	UTILITY SERVICE PLAN
8	BUILDING ELEVATIONS
9	LANDSCAPE PLAN
10	PRELIMINARY PLAT

CONSULTANTS/CONTACTS

CIVIL ENGINEER:
MR. ENGINEERING & SURVEYING, LLC
MICKY L. ROBERTSON, P.E./P.L.S.
9345 INTERLINE AVENUE
BATON ROUGE, LA 70809
PH: 225.490.9592
FAX: 225.490.9592
EMAIL: MR@MRENGINEERING.COM

LAND SURVEYOR:
MR. ENGINEERING & SURVEYING, LLC
MICKY L. ROBERTSON, P.E./P.L.S.
9345 INTERLINE AVENUE
BATON ROUGE, LA 70809
PH: 225.490.9592
FAX: 225.490.9592
EMAIL: MR@MRENGINEERING.COM

LANDSCAPE ARCHITECT:
MR. ENGINEERING & SURVEYING, LLC
JON PULLIAM, A.S.A.
9345 INTERLINE AVENUE
BATON ROUGE, LA 70809
PH: 225.490.9592
FAX: 225.490.9592
EMAIL: MR@MRENGINEERING.COM

UTILITIES/CONTACTS

WATER SERVICE
BATON ROUGE WATER COMPANY
P.O. BOX 96016
BATON ROUGE, LA 70896-9016
225.231.0804
MARGIE SWANSON

SEWER SERVICE
CITY OF BATON ROUGE - SEWER OPERATIONS
1100 LAUREL
BATON ROUGE, LA 70801
225.389.3154

ELECTRICAL SERVICE
EMERY ELECTRIC
BATON ROUGE, LOUISIANA 70895
225.368.5150
ARON LOOKE

TELEPHONE SERVICE
AT&T
5550 S. SHERWOOD FOREST BLVD.
225.237.5014
DENROCK RODRIGUE

GAS SERVICE
ENTREPRENEUR SOUTHERN FRANCHISE
P.O. BOX 2431
BATON ROUGE, LA 70821
225.354.3087
ED RHEAMS

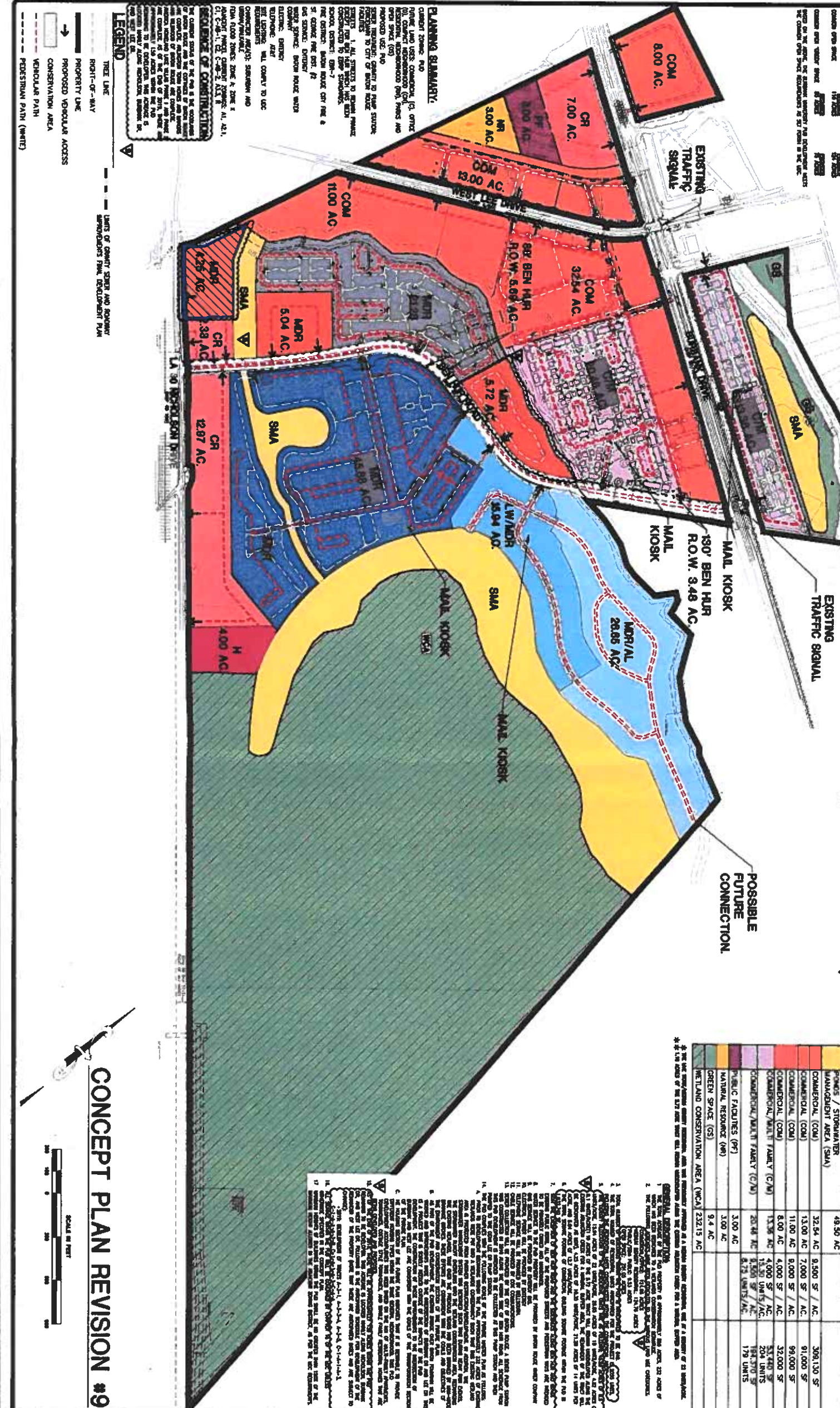
CABLE SERVICE
COM CABLE
5014 CANAL BLVD.
BATON ROUGE, LA 70806
225.237.5014
LATONVIA HUNT

STATEMENT OF OBJECTIVES:

NICHOLSON TOWNHOMES IS BEING DEVELOPED ALONG NICHOLSON DR. IN THE BURBANK UNIVERSITY PUD, TO THE SOUTHWEST CORNER OF THE PARCEL. THE SEWER AND WATER MAINS ARE TO BE INSTALLED AND THE PROJECT WILL BE 429 ACRES WITH 44 UNITS AT A DENSITY OF 10.35 UNITS/ACRE. ALL PAYMENT WILL BE PRIVATELY OWNED AND MAINTAINED. CONSTRUCTION WILL BEGIN IN MARCH 2021 AND BE COMPLETED IN MARCH 2022.

<p>NICHOLSON TOWNHOMES NICHOLSON DR. (LA HWY 30) BATON ROUGE, LOUISIANA EAST BATON ROUGE PARISH</p> <p>TITLE SHEET</p>		<p>MR ENGINEERING & SURVEYING, LLC 9345 Interline Avenue, Baton Rouge, LA 70809 225.490.9592</p>																	
<table border="1" style="width: 100%;"> <tr> <td>DESIGNED</td> <td>OMS</td> </tr> <tr> <td>CHECKED</td> <td>OMS</td> </tr> <tr> <td>DATE</td> <td>10/2020</td> </tr> <tr> <td>SHEET</td> <td>1 OF 10</td> </tr> </table>	DESIGNED	OMS	CHECKED	OMS	DATE	10/2020	SHEET	1 OF 10		<table border="1" style="width: 100%;"> <tr> <td>REVISION DATE</td> <td>REVISION DESCRIPTION</td> <td>BY</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	REVISION DATE	REVISION DESCRIPTION	BY						
DESIGNED	OMS																		
CHECKED	OMS																		
DATE	10/2020																		
SHEET	1 OF 10																		
REVISION DATE	REVISION DESCRIPTION	BY																	

CONCEPT PLAN REVISION #9



CONCEPT PLAN REVISION #9

- LEGEND: TREE LINE, RIGHT-OF-WAY, PROPOSED VEHICULAR ACCESS, CONSERVATION AREA, VEHICULAR PATH, PEDESTRIAN PATH

- PLANNING SUMMARY: CLUSTER ZONING AND CONCEPT PLAN...

CONCEPT PLAN REVISION #9

CONCEPT PLAN REVISION #9

CONCEPT PLAN REVISION #9

CONCEPT PLAN REVISION #9

PREVIOUSLY APPROVED PUD USAGE CHART

Table with 4 columns: Residential, Commercial/Office, Industrial, Other Space. Rows include Low Density Residential, Medium Density Residential, High Density Residential, etc.

USAGE LEGEND: Table with 4 columns: Use, Area, Density, Total Area. Rows include Commercial/Retail, Commercial/Office, Residential, etc.

CONCEPT PLAN REVISION #9

CONCEPT PLAN REVISION #9

CONCEPT PLAN REVISION #9

CONCEPT PLAN REVISION #9

CONCEPT PLAN REVISION #9

CONCEPT PLAN REVISION #9

CONCEPT PLAN REVISION #9

CONCEPT PLAN REVISION #9

ARLINGTON CREEK SOUTH PUD CONCEPT BATON ROUGE, LOUISIANA UNIVERSITY PUD, LLC NEW ORLEANS, LOUISIANA

DESIGNED JOB CHECKED DNS, DATE 10/2020, SHEET 3 OF 10

NICHOLSON TOWNHOMES NICHOLSON DR. (LA HWY 30) BATON ROUGE, LOUISIANA EAST BATON ROUGE PARISH APPROVED CONCEPT PLAN

DDG WWW.DDGC.COM

MR ENGINEERING & SURVEYING, LLC 9345 Interline Avenue, Baton Rouge, LA 70809 225.490.9592

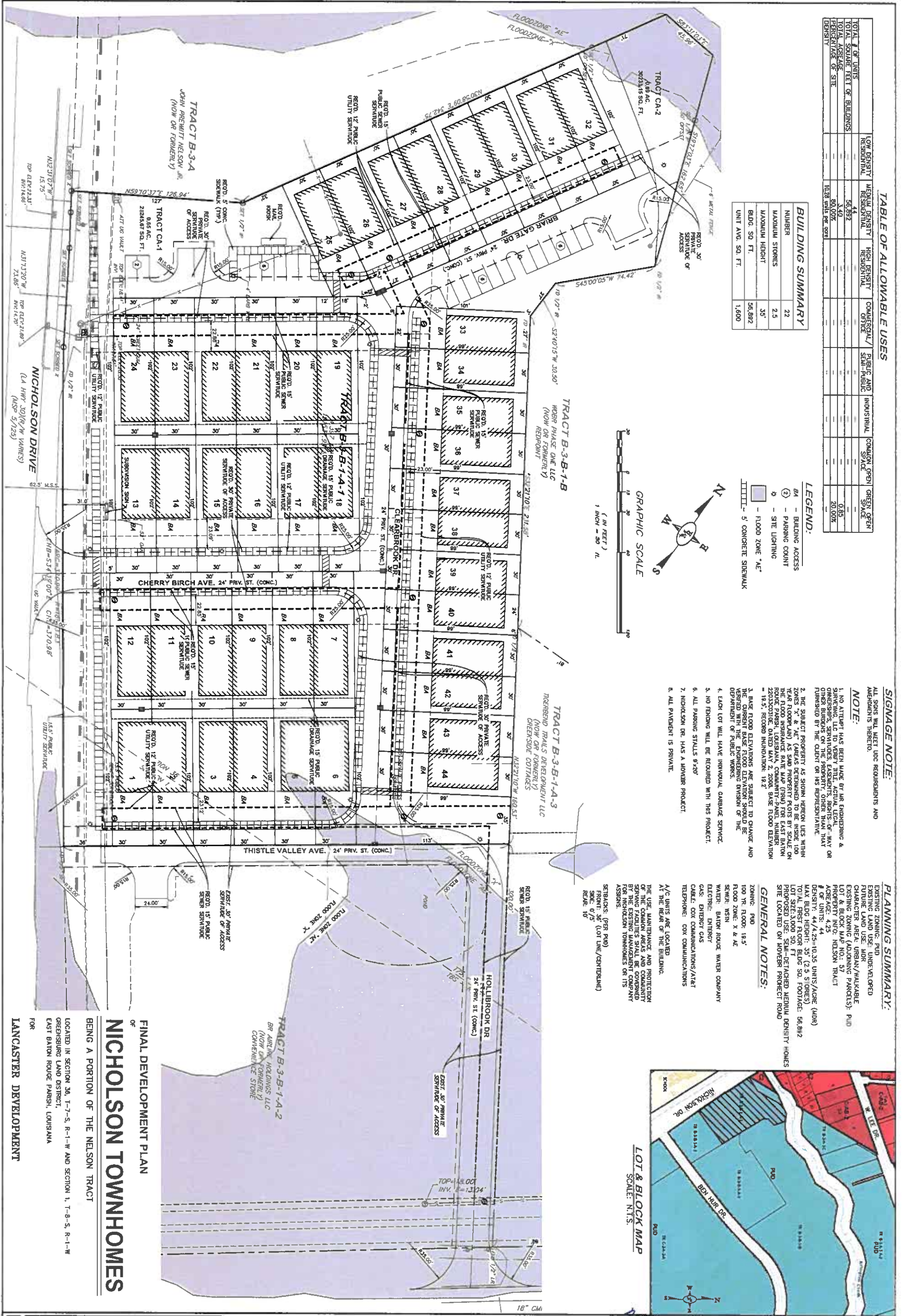


TABLE OF ALLOWABLE USES

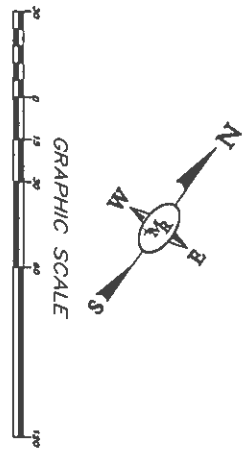
LOW DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	HIGH DENSITY RESIDENTIAL	COMMERCIAL/ OFFICE	PUBLIC AND PUBLIC	INDUSTRIAL	CONCRETE GREEN SPACE	GREEN SPACE
0.65	0.85	0.85	0.85	0.85	0.85	0.85	0.85
0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85
10.28 units per acre	10.28 units per acre	10.28 units per acre	10.28 units per acre	10.28 units per acre	10.28 units per acre	10.28 units per acre	10.28 units per acre

BUILDING SUMMARY

NUMBER	22
MAXIMUM STORES	2.5
MAXIMUM HEIGHT	35'
BLDG SQ. FT.	56,892
UNIT AVG. SQ. FT.	1,600

LEGEND:

- BA - BUILDING ACCESS
- (2) - PARKING COUNT
- ⊙ - SITE LIGHTING
- FLOOD ZONE "AE"
- CONCRETE SIDEWALK



SIGNAGE NOTE:

ALL SIGNS WILL MEET UDC REQUIREMENTS AND REQUIREMENTS THEREOF.

PLANNING SUMMARY:

EXISTING ZONING: PUD
 EXISTING LAND USE: UNDEVELOPED
 FUTURE LAND USE: MDR
 CHARACTER AREA: URBAN/WALKABLE
 EXISTING ZONING (ADJOINING PARCELS): PUD
 LOT & BLOCK MAP NO.: 57
 PROPERTY INFO: NELSON TRACT
 ACREAGE: 4.25
 DENSITY: 44-45-10-35 UNITS/ACRE (MOR)
 MAX BLDG HEIGHT: 35' (2.5 STORIES)
 TOTAL FIRST FLOOR BLDG SQ. FOOTAGE: 56,892
 PROPOSED USE: SEMI-DETACHED MEDIUM DENSITY HOMES
 SITE LOCATED ON MOVER'S PROJECT ROAD

- ### NOTE:
- NO ATTEMPT HAS BEEN MADE BY MR. ENGINEERING & SURVEYING, LLC TO VERIFY TITLE, ACTUAL LEGAL OR OTHER BOUNDARIES, PROPERTY INTERESTS, OR OTHER MATTERS WHICH MAY BE NECESSARY TO THE PROJECT AS REPRESENTED BY THE CLIENT OR HIS REPRESENTATIVE.
 - THE SUBJECT PROPERTY AS SHOWN HEREON LIES WITHIN ZONES "X" & "AE" (AREAS DETERMINED TO BE INSIDE 100 YEAR FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP OF THE PARISH OF EAST BAYOU, LOUISIANA, COMMUNITY-PANEL NUMBER 2203330301E, DATED MAY 2, 2008. BASE FLOOD ELEVATION = 19.5'. RECORD INUNDATION: 19.2'
 - BASE FLOOD ELEVATIONS ARE SUBJECT TO CHANGE AND THE CURRENT BASE FLOOD ELEVATION SHOULD BE VERIFIED WITH THE ENGINEERING DIVISION OF THE DEPARTMENT OF PUBLIC WORKS.
 - EACH LOT WILL HAVE INDIVIDUAL GARAGE SERVICE.
 - NO FENCING WILL BE REQUIRED WITH THIS PROJECT.
 - ALL PARKING STALLS 9'-2"0"
 - NICHOLSON DR. HAS A MOVER'S PROJECT
 - ALL PAVEMENT IS PRIVATE

GENERAL NOTES:

ZONING: PUD
 100 YR. FLOOD: 19.5'
 FLOOD ZONE: X & AE
 SEWER: W/STH
 WATER: BAYOU ROUGE WATER COMPANY
 ELECTRIC: EXTENT
 GAS: BAYOU GAS
 CABLE: COX COMMUNICATIONS/AT&T
 TELEPHONE: COX COMMUNICATIONS
 A/C UNITS ARE LOCATED AT THE REAR OF THE BUILDING.
 THE USE, MAINTENANCE AND PROTECTION OF THE COMMON AREAS AND COMMUNITY SERVING FACILITIES SHALL BE COVERED BY THE HOUSING TOWNHOMES OR ITS ASSOCIATIONS.
 SEWERAGE: (PER PUD) FRONT: 36" (LOT LINE/CENTRELINE) REAR: 18"

LOT & BLOCK MAP

SCALE: N.T.S.

FINAL DEVELOPMENT PLAN OF NICHOLSON TOWNHOMES

BEING A PORTION OF THE NELSON TRACT
 FOR
LANCASTER DEVELOPMENT

TRACT B-3-B-1-A-2
 BR AIRLINE HOLDINGS LLC
 (NOW OR FORMERLY)
 CONVENIENCE STORE

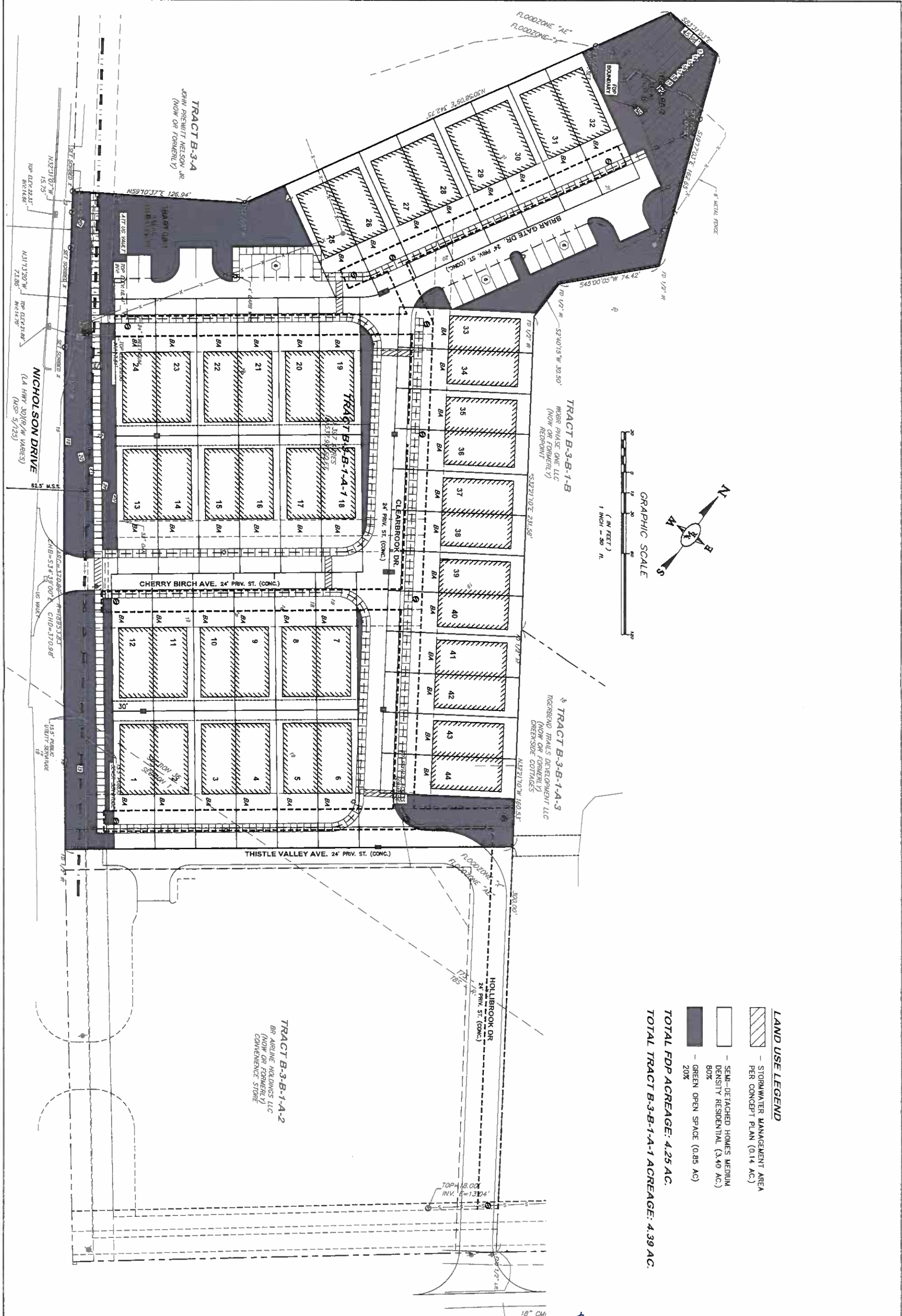
DESIGNED	06/08	CMS
CHECKED	06/08	CMS
DATE	10/2020	04 OF 10
SHEET	4	

NICHOLSON TOWNHOMES
 NICHOLSON DR. (LA HWY 30)
 BATON ROUGE, LOUISIANA
 EAST BATON ROUGE PARISH
 FINAL DEVELOPMENT PLAN

Louisiana 811
 LA ONE CALL - CALL BEFORE YOU DIG
 PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL LOUISIANA ONE CALL (811 OR 1-800-272-3829) AND CITY ENGINEER'S OFFICE TO HAVE UTILITIES LOCATED PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF THE UTILITIES SHOWN ON THESE PLANS. CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES FOR ALL AREAS OF CONSTRUCTION.



MR ENGINEERING & SURVEYING, LLC
 9345 Interline Avenue, Baton Rouge, LA 70809 225.490.9582



LAND USE LEGEND

-  - STORMWATER MANAGEMENT AREA PER CONCEPT PLAN (0.14 AC.)
-  - SEMI-DETACHED HOMES MEDIUM DENSITY RESIDENTIAL (3.40 AC.) BOX
-  - GREEN OPEN SPACE (0.85 AC.) 20%

TOTAL FDP ACREAGE: 4.25 AC.
TOTAL TRACT B-3-B-1-A-1 ACREAGE: 4.39 AC.

DESIGNED	JDB
CHECKED	CMS
DATE	10/2020
SHEET	5 OF 10

REVISION DATE	REVISION DESCRIPTION	BY

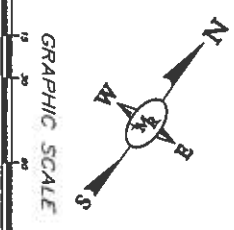
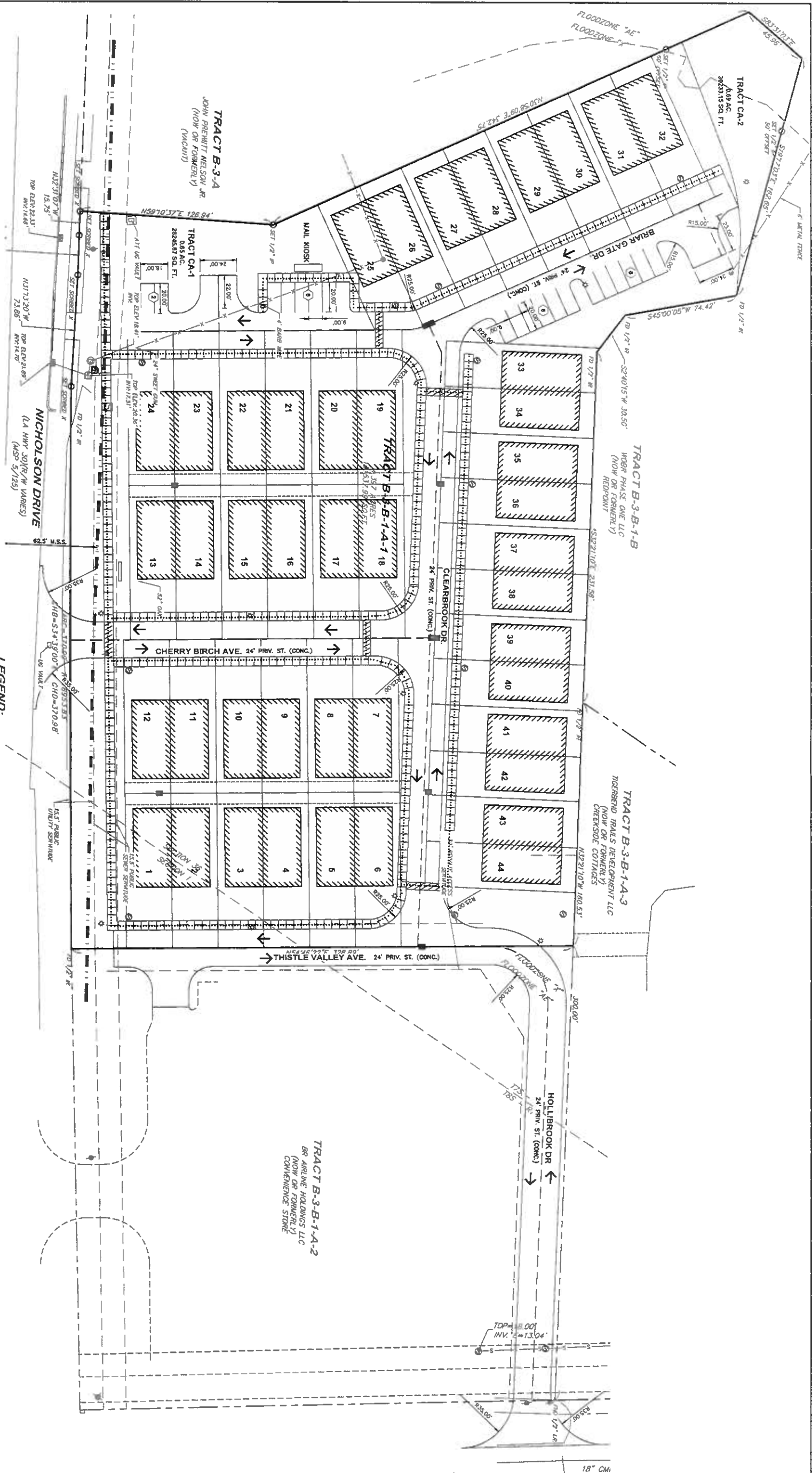
SHEET NUMBER 5

NICHOLSON TOWNHOMES
 NICHOLSON DR. (LA HWY 30)
 BATON ROUGE, LOUISIANA
 EAST BATON ROUGE PARISH

LAND USE PLAN



MR MR ENGINEERING & SURVEYING, LLC
 9345 Interline Avenue, Baton Rouge, LA 70809 225.490.9592



LEGEND:

- VEHICULAR CIRCULATION
- PEDESTRIAN CIRCULATION
- ← VEHICULAR FLOW ARROWS
- ▬ CONCRETE SIDEWALK
- ▨ REED, CROSSWALK

NOTES:

1. ALL SIDEWALKS AND ROWWAYS ARE PRIVATE
2. THE SITE IS ON THE LSU TIGER TRAILS TRANSIT SYSTEM. THE SITE IS ON THE BROWNSBORO HUR LINE. THERE IS AN EXISTING STATION 0.5 MILES NORTHWEST OF THE SITE AT REPOINT BATON ROUTE.
3. THIS SITE IS NOT ON A CATS SERVICE LINE.

PARKING REQUIREMENTS:

SINGLE FAMILY UNIT (2 SPACES PER UNIT) X 44 UNITS = 88 SPACES

TOTAL REQUIRED SPACES = 88 SPACES

TOTAL REQUIRED H/C SPACES = 0 SPACES

PROVIDED PARKING:

NEW STANDARD 8'X20' STALL = 20 SPACES

HANDICAP PARKING STALL = 0 SPACES

GARAGE PARKING = 88 SPACES

TOTAL PROVIDED SPACES = 108 SPACES

<p>SHEET NUMBER 6</p>	<p>DESIGNED CHECKED JDB CMS</p>	<p>DATE SHEET 10/2020 6 OF 10</p>	<p>NICHOLSON TOWNHOMES NICHOLSON DR. (LA HWY 30) BATON ROUGE, LOUISIANA EAST BATON ROUGE PARISH CIRCULATION PLAN</p>		<p>MR ENGINEERING & SURVEYING, LLC 9345 Interline Avenue, Baton Rouge, LA 70809 225.490.9592</p>
----------------------------------	---	---	--	--	---

UTILITIES/CONTACTS

WATER SERVICE
 BATON ROUGE WATER COMPANY
 P.O. BOX 8606
 BATON ROUGE, LA 70898-9016
 (225) 281-1000
 MARGE SWANSON

SEWER SERVICE
 CITY OF BATON ROUGE - SEWER OPERATIONS
 231 FLORIDA ST. - SUITE 407
 BATON ROUGE, LA 70801
 (225) 388-3154

ELECTRICAL SERVICE
 ENTECH
 1000 N. WOODLAND AVE.
 BATON ROUGE, LA 70806
 (225) 254-3066
 KERR KEES

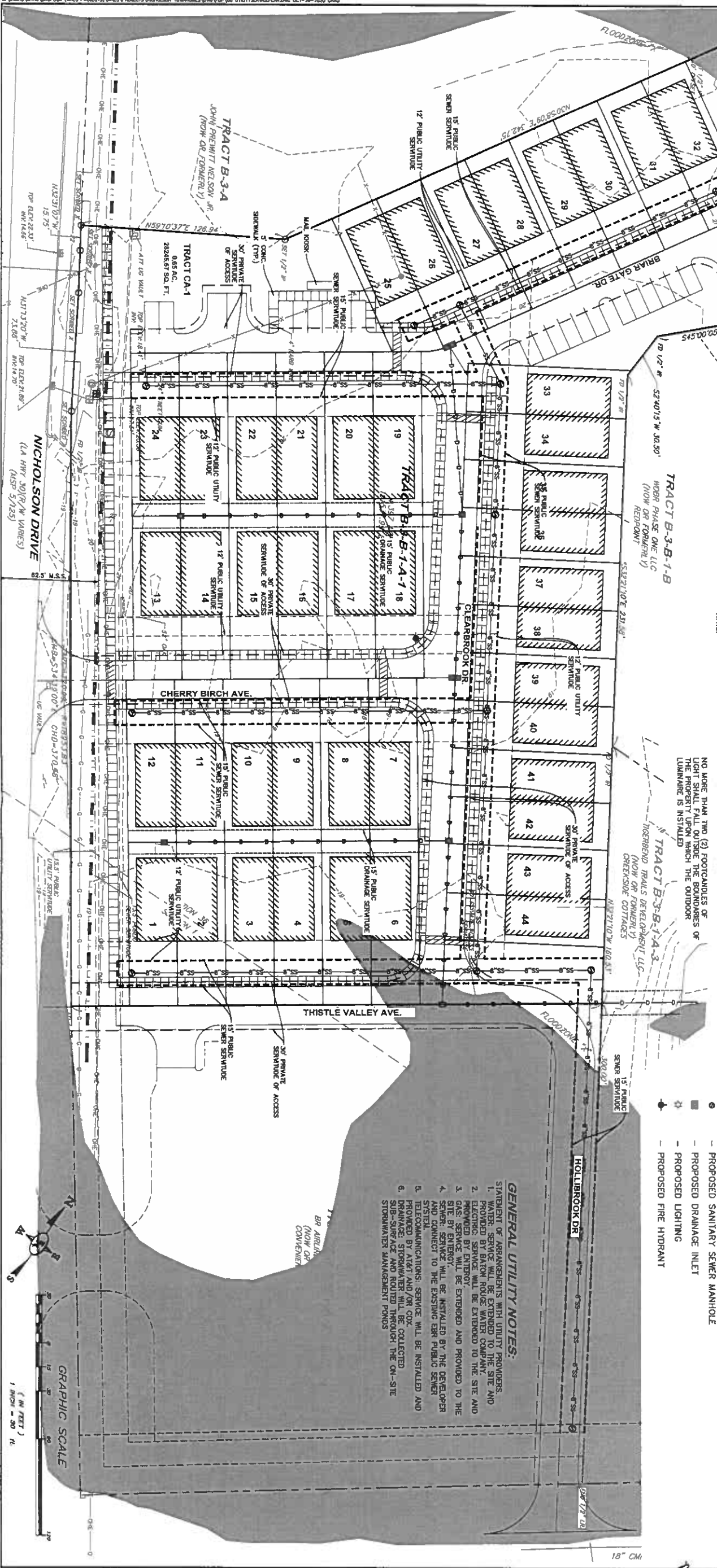
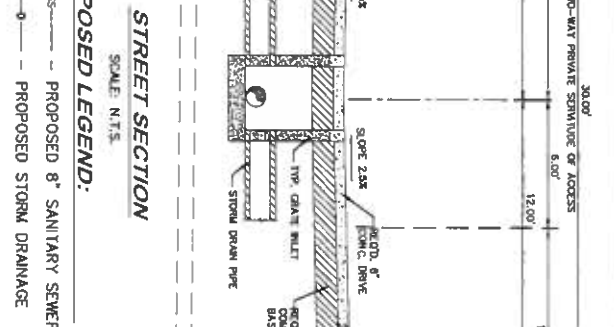
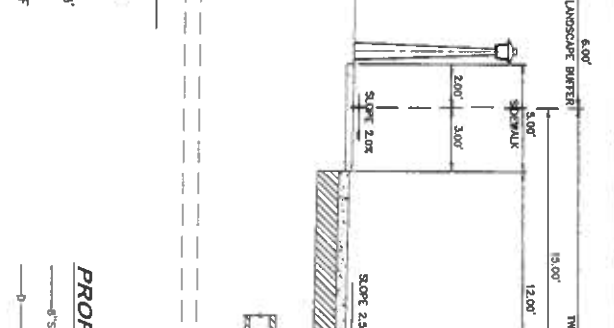
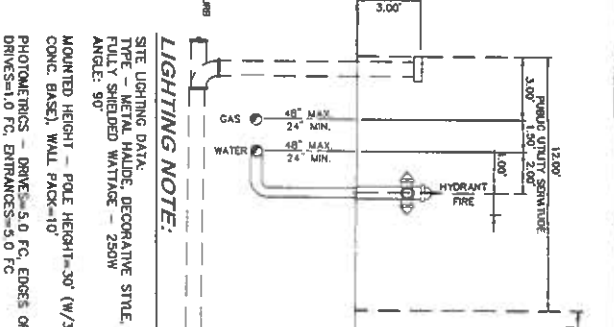
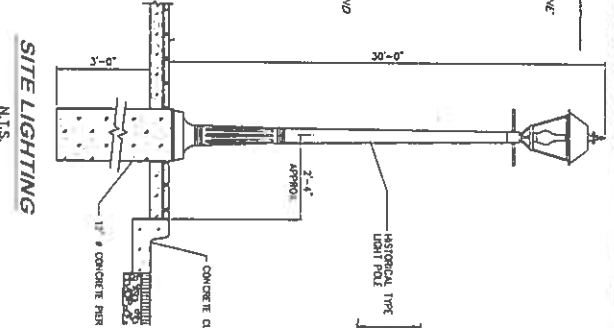
TELEPHONE SERVICE
 BELLSOUTH TELECOMMUNICATIONS, INC.
 5550 S. SHERWOOD FOREST BLVD. - ROOM 121
 BATON ROUGE, LA 70805
 (225) 291-1851
 PAUL MATSON

GAS SERVICE
 ENBERG SOUTHERN FRANCHISE
 P.O. BOX 2431
 BATON ROUGE, LA 70821
 (225) 351-3130
 MIKE CREEL

CABLE SERVICE
 COX CABLE
 1000 N. WOODLAND AVE.
 BATON ROUGE, LA 70806
 (225) 930-2207
 CEM RABALAIS

EXISTING LEGEND:

- ADJACENT PROPERTY LINE
- X- FENCE
- S- SEWER LINE
- D- DRAINAGE LINE
- C- CULVERT
- E- OVERHEAD ELECTRIC
- R- ROAD CENTERLINE
- T- TOP BANK OF DITCH
- D- DITCH CENTERLINE
- B- BUILDING SETBACK
- P- POND
- C- CONTOUR LINE
- O- PROPERTY CORNER FOUND
- X- PROPERTY CORNER SET
- D- DRIVE INLET SQUARE
- H- FIRE HYDRANT
- V- WATER VALVE
- M- SEWER MANHOLE
- T- TELEPHONE PEDESTAL
- P- POWER POLE



GENERAL UTILITY NOTES:

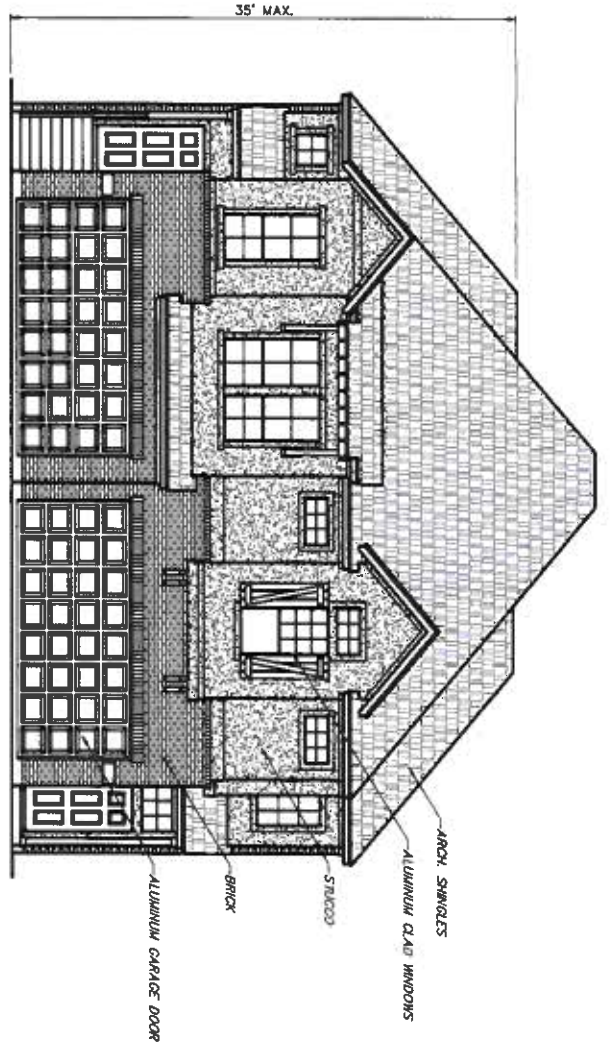
- STATEMENT OF ARRANGEMENTS WITH UTILITY PROVIDERS.
- PROVIDED BY BATON ROUGE WATER COMPANY.
- PROVIDED BY ENTECH.
- GAS SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY ENTECH.
- SEWER SERVICE WILL BE EXTENDED AND PROVIDED TO THE SITE BY ENTECH.
- TELECOMMUNICATIONS SERVICE WILL BE INSTALLED AND PROVIDED BY AT&T AND/OR COX.
- DRAINAGE/STORMWATER WILL BE COLLECTED AND SUB-SURFACE AND ROUTED THROUGH THE ON-SITE STORMWATER MANAGEMENT PONDS.



DESIGNED	JOB	CMS
CHECKED	JOB	CMS
DATE SHEET	10/2020	7 OF 10

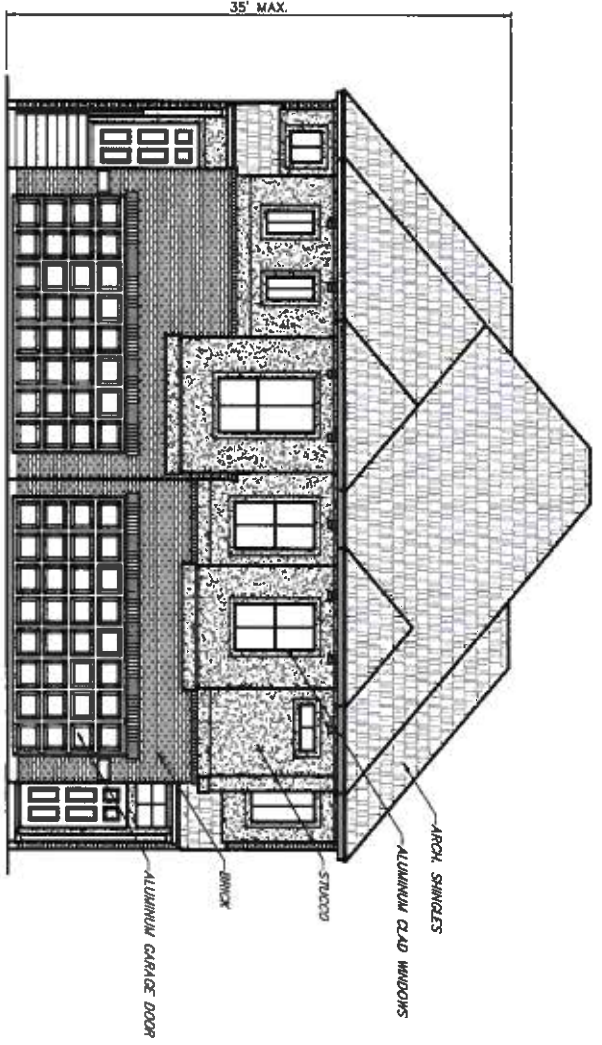
NICHOLSON TOWNHOMES
 NICHOLSON DR. (LA HWY 30)
 BATON ROUGE, LOUISIANA
 EAST BATON ROUGE PARISH
UTILITY SERVICE PLAN

MR ENGINEERING & SURVEYING, LLC
 9345 Interline Avenue, Baton Rouge, LA 70809 225.490.9592



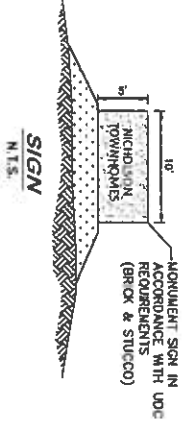
ADDISON
Elevation C

BAYLEN
Elevation A

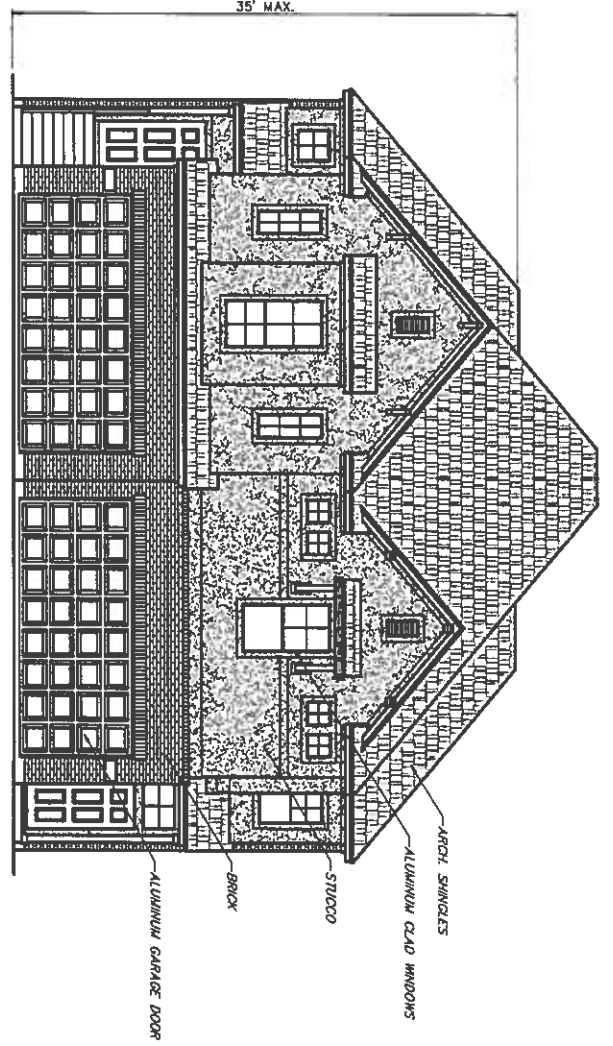


ADDISON
Elevation I

BAYLEN
Elevation C

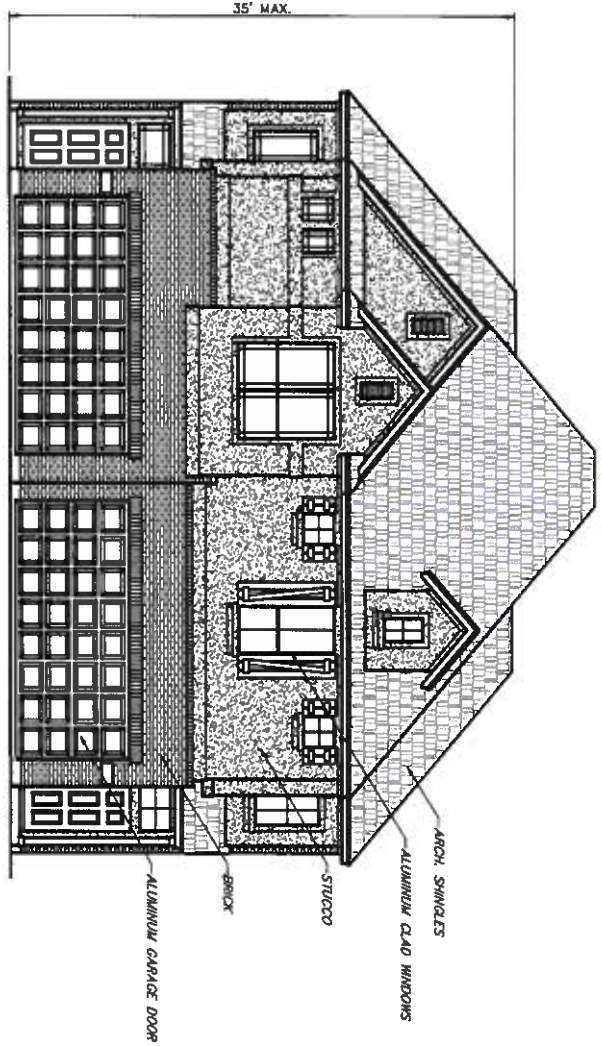


NOTE:
THIS SEAL IS FOR PRELIMINARY BUILDING ELEVATIONS ONLY AND IS NOT FOR PERMITTING OR CONSTRUCTION. SCALED PLANS FOR PERMITTING OR CONSTRUCTION SHALL BE PROVIDED BY THE ARCHITECT AT THE APPROPRIATE TIME.



ADDISON
Elevation F

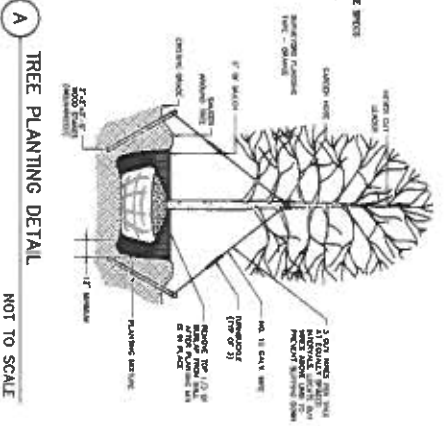
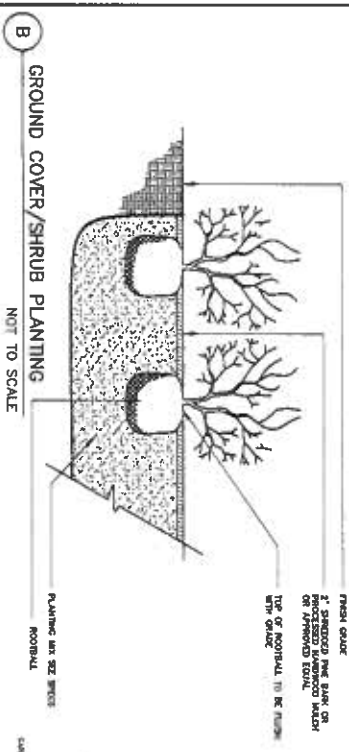
BAYLEN
Elevation B



BAYLEN
Elevation D

BAYLEN
Elevation E

<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:10%;">DESIGNED</td> <td style="width:10%;">JDB</td> </tr> <tr> <td>CHECKED</td> <td>CMS</td> </tr> <tr> <td>DATE</td> <td>10/2020</td> </tr> <tr> <td>SHEET</td> <td>8 OF 10</td> </tr> </table>	DESIGNED	JDB	CHECKED	CMS	DATE	10/2020	SHEET	8 OF 10	<p>NICHOLSON TOWNHOMES NICHOLSON DR. (LA HWY 30) BATON ROUGE, LOUISIANA EAST BATON ROUGE PARISH</p> <p>BLDG ELEVATIONS</p>		<p>MR MR ENGINEERING & SURVEYING, LLC 9345 Interline Avenue, Baton Rouge, LA 70809 225.490.9592</p>							
DESIGNED	JDB																	
CHECKED	CMS																	
DATE	10/2020																	
SHEET	8 OF 10																	
<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:10%;">REVISION DATE</th> <th style="width:10%;">REVISION DESCRIPTION</th> <th style="width:10%;">BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	REVISION DATE	REVISION DESCRIPTION	BY															
REVISION DATE	REVISION DESCRIPTION	BY																

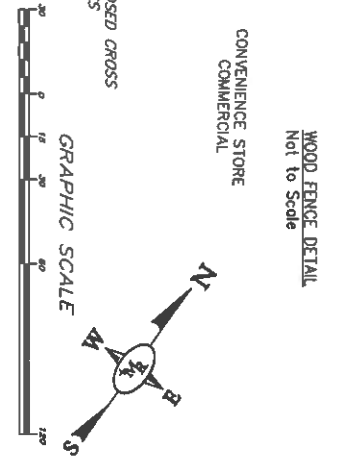
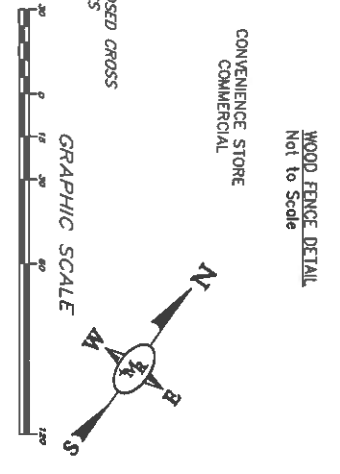
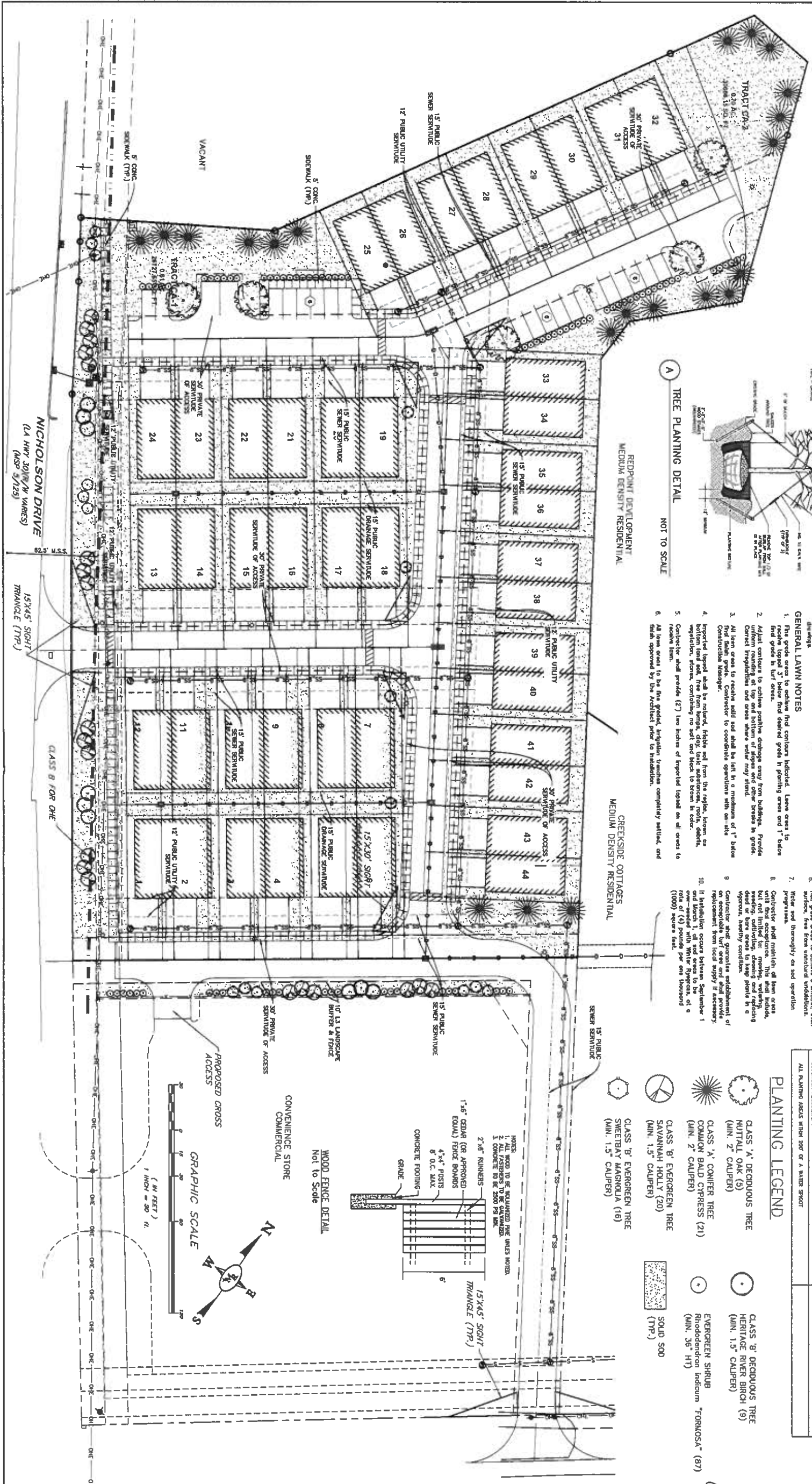
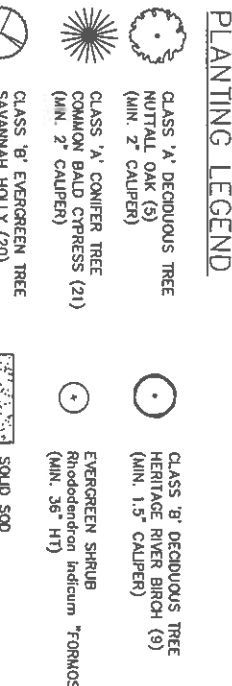


- GENERAL NOTES**
- Any modifications to planting layout, plant materials, etc. shall be approved by the Landscape Architect prior to execution.
 - If any existing trees are over 12" in diameter and in an area where no structures are proposed, the trees must be noted as "retained", "removed", or "relocated".
 - Contractor shall verify all existing underground utilities and notify Architect of any conflicts. Contractor shall excavate conditions when working in the vicinity of underground utilities.
 - Contractor is responsible for obtaining all required landscape and irrigation permits.
 - Contractor to provide a minimum 2% slope away from all structures.
 - All planting beds and lawn areas to be supported by steel edging. No steel to be installed adjacent to sidewalk or curb.
 - All landscape areas to be maintained per city's landscape code.
 - All lawn areas to be Solid Sod Certified, unless otherwise noted on the drawings.

- SOLID SOD NOTES**
- Plan grade areas to achieve final contours 3" below final desired grade in planting areas and 1" below final grade in turf areas.
 - Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
 - All lawn areas to be seeded with a minimum of 1" before final grade is established. Contractor to coordinate operations with on-site Construction Manager.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.

- GENERAL LAWN NOTES**
- Plan grade areas to achieve final contours 3" below final desired grade in planting areas and 1" below final grade in turf areas.
 - Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
 - All lawn areas to be seeded with a minimum of 1" before final grade is established. Contractor to coordinate operations with on-site Construction Manager.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.
 - Contractor shall provide 100 lbs of fertilizer per 1000 sq ft of lawn area. Fertilizer to be applied in two equal applications, one at the time of seeding and one 4-6 weeks later.

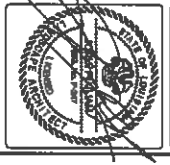
LANDSCAPE REQUIREMENTS	CHARACTER: URBAN/WALKABLE
SHRUBBED PLANTING REQUIREMENT	PROPOSED SHRUBBED PLANTINGS
1 CLASS 'A' TREE PER 40 LF OR 1 CLASS 'B' TREE PER 20 LF	40 LF TOTAL ADJACENT PROPOSED DRIVE
1 CLASS 'B' TREE PER 20 LF	28 CLASS 'B' TREES PROPOSED UTILITY LINES
ONE DECIDUOUS RECOMMENDATION	PROPOSED ONE DECIDUOUS
AT LEAST ONE OF AREA SHALL BE LANDSCAPED AREA	4.38 AC. - DECIDUOUS SITE AREA
PARKING AREA PLANTING REQUIREMENT	20.00 AC. - OPEN DECK/PARKING
ALL PARKING SPACES SHALL BE MINIMUM 100 LF OR A CLASS 'A' TREE, 3" BELOW FINAL DESIRED GRADE IN A ROW.	DEVELOPMENT INCLUDES 20 PUBLIC PARKING SPACES
RECOMMENDED PLANTING REQUIREMENT	PROPOSED RECOMMENDED PLANTINGS
EVERGREEN TREE	EVERGREEN TREE (MIN. 36" HT)
CLASS 'A' DECIDUOUS TREE	HERITAGE RIVER BIRCH (9)
CLASS 'B' DECIDUOUS TREE	HERITAGE RIVER BIRCH (9)
CLASS 'A' CONIFER TREE	COMMON BALD CYPRESS (21)
CLASS 'B' CONIFER TREE	COMMON BALD CYPRESS (21)
CLASS 'A' EVERGREEN TREE	SAVANNAH HOLLY (20)
CLASS 'B' EVERGREEN TREE	SAVANNAH HOLLY (20)
CLASS 'A' EVERGREEN TREE	SWEETBAY MAGNOLIA (16)
CLASS 'B' EVERGREEN TREE	SWEETBAY MAGNOLIA (16)
CLASS 'A' EVERGREEN TREE	EVERGREEN SHRUB
CLASS 'B' EVERGREEN TREE	Rhododendron indicum "FORNKOSSA" (87)
CLASS 'A' EVERGREEN TREE	SOLID SOD
CLASS 'B' EVERGREEN TREE	SOLID SOD



DESIGNED	J.P. CMS
CHECKED	J.P. CMS
DATE	10/2020
SHEET	X OF 10

NICHOLSON TOWNHOMES
 NICHOLSON DR. (LA HWY 30)
 BATON ROUGE, LOUISIANA
 EAST BATON ROUGE PARISH
LANDSCAPE PLAN

Louisiana 811
 LA ONE CALL - CALL BEFORE YOU DIG.
 PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL LOUISIANA ONE CALL (811 OR 1-800-973-3200) AND CITY PARISH DEPARTMENT OF PUBLIC WORKS TO HAVE UTILITIES LOCATED PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES OF THE CITY/STATE. SHOW ON THESE PLANS. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ALL AREAS OF CONSTRUCTION.



MR ENGINEERING & SURVEYING, LLC
 9345 Interline Avenue, Baton Rouge, LA 70809 225.490.9592

REVISION DATE	REVISION DESCRIPTION	BY

