

MIDWAY ISPUJ (ISPUJ 5-20)

INFILL SMALL PLANNED UNIT DEVELOPMENT

4109 GOVERNMENT STREET
CITY OF BATON ROUGE
EAST BATON ROUGE PARISH, LOUISIANA

SHEET INDEX

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LOT A-1
BEING A PORTION OF BERNARD TERRACE ADDITION
LOCATED IN SECTION 81, T-7-S, R-1-E,
GREENSBURG LAND DISTRICT,
EAST BATON ROUGE PARISH, LOUISIANA

FOR
ON-SITE DESIGN
COPC ID NUMBER:
920360504

- LEGEND**
- 1 BERNARD TERRACE ELEMENTARY
 - 2 WESTSIDE MIDDLE SCHOOL
 - 3 CATHOLIC HIGH SCHOOL
 - 4 BATON ROUGE WAGNET HIGH SCHOOL
 - 5 ST. JOSEPH'S ACADEMY
 - 6 BATON ROUGE COMMUNITY COLLEGE
 - 7 GRACE BAPTIST CHURCH
 - 8 HOLYSEE UNITED METHODIST CHURCH
 - 9 SACRED HEART OF JESUS CATHOLIC CHURCH
 - 10 U.S. POST OFFICE
 - 11 EAST BATON ROUGE PARISH SCHOOL BOARD
 - 12 CITY OF BATON ROUGE FIRE STATION #1
 - 13 BATON ROUGE GENERAL MEDICAL CENTER
 - 14 BREC NORTH STREET PARK
 - 15 BREC 48TH STREET PARK
 - 16 BREC KERRIN AVENUE PARK
 - 17 BREC WEBB MEMORIAL GOLF COURSE
 - 18 YALCA
 - 19 ALBERTSONS
 - 20 CARROLL HEIGHTS SHOPPING CENTER
 - 21 GOODWOOD VILLAGE SHOPPING CENTER
 - 22 OXEN MARKET

PLANNING SUMMARY

EXISTING ZONING: C1
EXISTING LAND USE: UNDEVELOPED, VACANT
FUTURE LAND USE: MIXED-USE
CHARACTER AREA: URBAN/WALKABLE
EXISTING ZONING OF ADJACING PARCELS: LCI, C1
AGE: 0.42 ACRES
NUMBER OF UNITS: 34
TOTAL BUILDING SQUARE FOOTAGE: 30,000 SF.
RESIDENTIAL DENSITY: 69.39 UNITS/ACRE
BUILDING HEIGHT: 67'-6" (MAX.)
NUMBER OF STORES: 4 (MAX.)
PROPOSED USE: HIGH DENSITY RESIDENTIAL



OWNER/ DEVELOPER:
MIDWAY30 LLC
7924 WRENWOOD BOULEVARD, SUITE A
BATON ROUGE, LOUISIANA 70809
CONTACT: MICHAEL HOSTRÖM
TELEPHONE: (225) 388-5282
EMAIL: MIKE@ONSTIEDD.COM

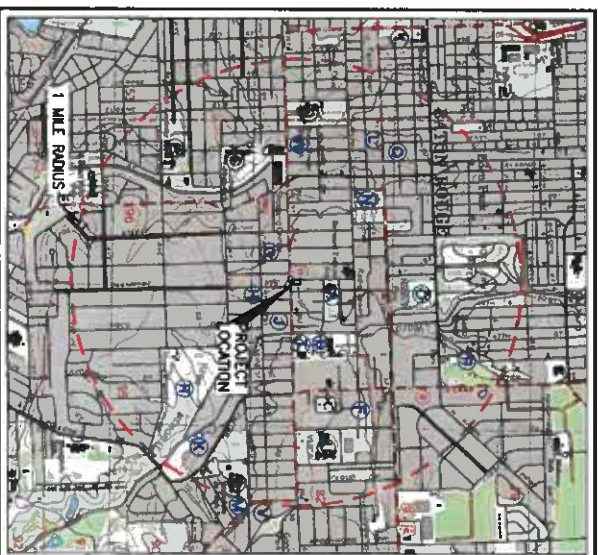
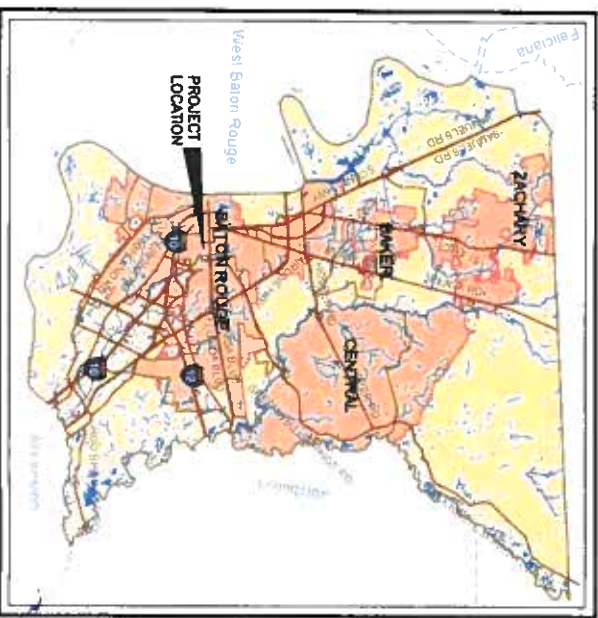
DESIGN PROFESSIONALS & CONSULTANTS LIST:

CIVIL ENGINEER
DUPLANTIS DESIGN GROUP, PC
8352 BLUEBONNET BOULEVARD
BATON ROUGE, LOUISIANA 70810
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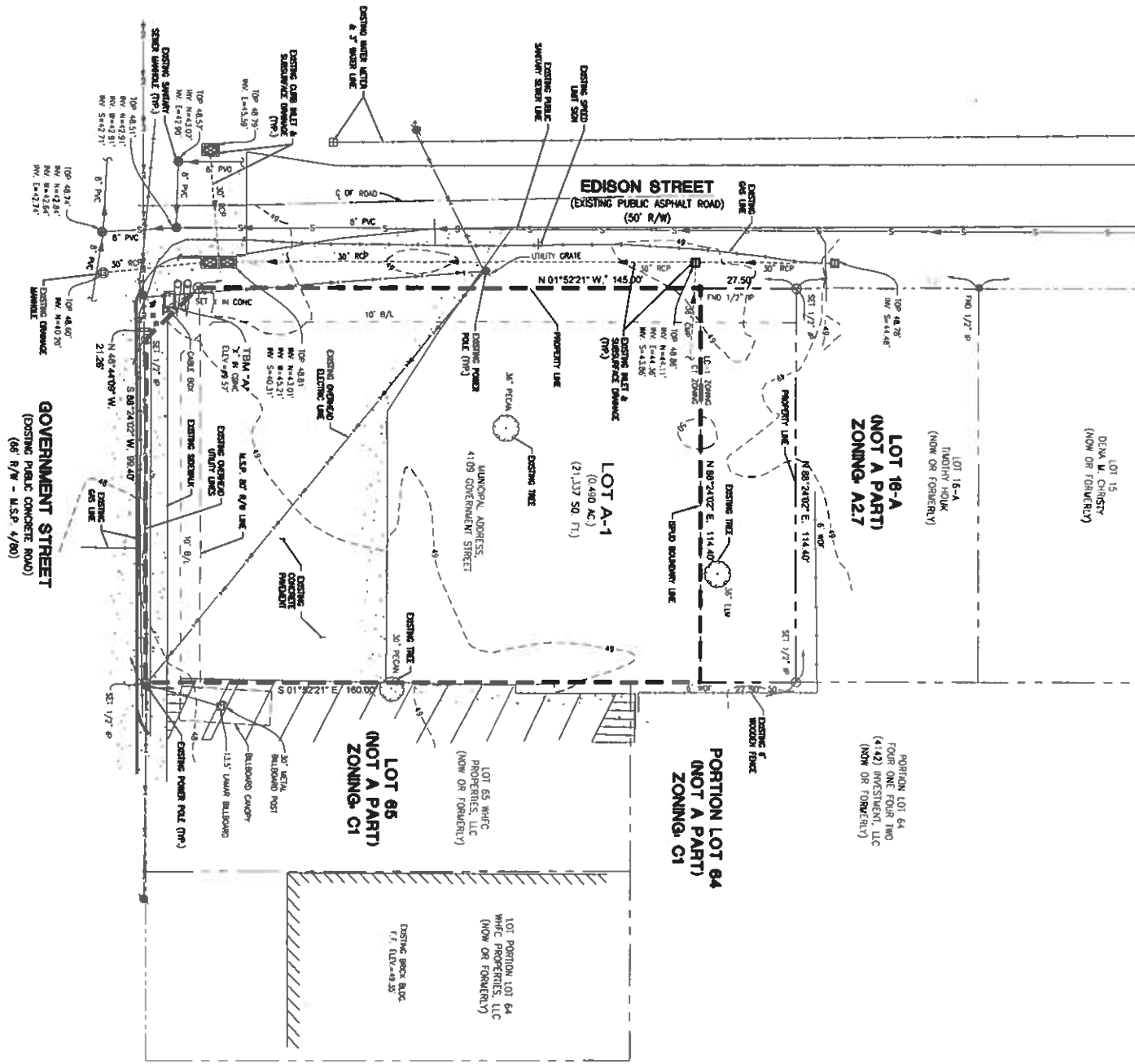
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TERRACE ADDITION
LOCATED IN SECTION 81, T-7-S,
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EAST BATON ROUGE PARISH, LOUISIANA

MIDWAY ISPUJ
INFILL SMALL PLANNED UNIT DEVELOPMENT
BATON ROUGE, LOUISIANA 70806
EAST BATON ROUGE PARISH

MIDWAY30 LLC
7924 WRENWOOD BLVD., SUITE A
BATON ROUGE, LOUISIANA 70809

DATE	BY	DESCRIPTION
09-01-20	MI	1 COVER SHEET

PC SET 9-1-2020



LEGEND

- ISUD Boundary Line
- - - - - Other Boundary Line
- - - - - Overhead Electric
- - - - - Overhead Gas, Tel. & Cable
- - - - - Underpass Sewer Line
- - - - - Underpass Storm Line
- - - - - Underpass Gas Line
- - - - - Underpass Water Line
- - - - - Fire Line
- - - - - Found Fire Pipe/Pool
- - - - - Set 1/2" Iron Pipe
- - - - - Power Pole
- - - - - Pole Located Transformer
- - - - - Gas Valve
- - - - - Sewer Manhole
- - - - - Drain Sift
- - - - - Catch Basin
- - - - - Drain Manhole
- - - - - Sign
- - - - - Water Meter
- - - - - Fire Hydrant
- - - - - Double Catch Basin
- - - - - Traffic Signal Pole
- - - - - Traffic Signal Box
- - - - - Right of Way
- - - - - Building Setback Line
- - - - - Property Line
- - - - - P.C.
- - - - - P.P.
- - - - - Wood Fence
- - - - - Retained Concrete Pipe
- - - - - Cast-in-place Concrete
- - - - - Concrete
- - - - - Form
- - - - - Iron Pipe
- - - - - Temporary Bench Mark
- - - - - Asphalt Pavement
- - - - - Concrete Pavement



AERIAL VIEW MAP
SCALE 1" = 400'

FLOOD ELEVATION DATA

1. FLOOD NOTE: IN ACCORDANCE WITH FEMA FLOOD INSURANCE RATE MAP PANEL NO. 220120002E FOR EAST BATON ROUGE PARISH, LOUISIANA, LOT 7924 WRENWOOD BLVD., SUITE A, THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "X" (AREAS OF EXCESS ANNUAL CHANCE FLOOD PLAIN). THE FLOOD ELEVATION DATA IS BASED ON THE ELEVATION OF BOUNDARY MARK TO ESTIMATE OF BOUNDARY POINT.

2. BASE FLOOD ELEVATION: 14.4 FT.

3. ANCHOR LINE FLOOD ELEVATION: 14.4 FT.

4. SECOND BOUNDARY: 14.4 FT.

THE SITE DOES NOT CONTAIN ANY
WELLS OR BOWLINGS

STREETS SHOWN TO THE
LEFT OF THE MAP ARE
INCLUDED IN THE RECORD

Not For Construction

EXISTING SITE CONDITIONS MAP



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EAST BATON ROUGE PARISH

MIDWAY30 LLC
7924 WRENWOOD BLVD., SUITE A
BATON ROUGE, LOUISIANA 70809

DRAWN	CSB/AVN
CHECKED	MLT
ISSUED DATE	6-1-2020
ISSUED FOR	REPLD
PROJECT NO.	19-117
FILE	19-117 & EXISTING SITE CONDITIONS MAP
SHEET	2

RGM Series Medium Glass Refractor LED Wallpack



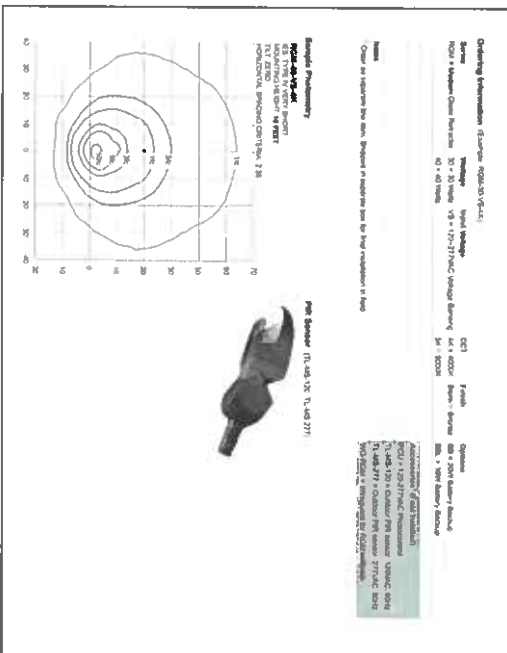
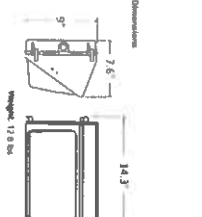
DESCRIPTION
The RGM Series Medium Glass Refractor LED Wallpack is a high performance, energy efficient lighting fixture designed for outdoor use. It features a medium glass refractor that provides a soft, diffused light output, making it ideal for illuminating walkways, stairs, and other outdoor areas. The fixture is constructed from durable materials and is designed to withstand harsh weather conditions.



OPERATIONAL
The RGM Series Medium Glass Refractor LED Wallpack is designed for long life and low maintenance. It features a high-quality LED light source that provides consistent performance over a long period of time. The fixture is also designed to be easy to install and maintain.

Model	Power	Beam Angle	Mounting Height
RGM-1	10W	120°	8'-10'
RGM-2	15W	120°	8'-10'
RGM-3	20W	120°	8'-10'

INSTALLATION
The RGM Series Medium Glass Refractor LED Wallpack is designed for easy installation. It features a simple mounting bracket that allows it to be attached to a variety of surfaces. The fixture is also designed to be weather-resistant and is suitable for outdoor use.



FILL CUTOFF WALL PACK LIGHTING DETAIL N.T.S.

PARKING CALCULATIONS

USE	FORMULA	REQUIRED	PROVIDED
RESIDENTIAL (ONE 1-1/2 CAR SPACES)	1 SPACE/1-1/2 CAR	34	39
HANDICAP SPACES	1-1/2 SPACES	1	2
COMPACT SPACES	ALLOWED MAX OF REQUIRED HANDICAP SPACES	1	1
BICYCLE PARKING	1 BICYCLE SPACE/20 VEHICULAR SPACES	2	2

RESIDENTIAL DENSITY CALCULATIONS

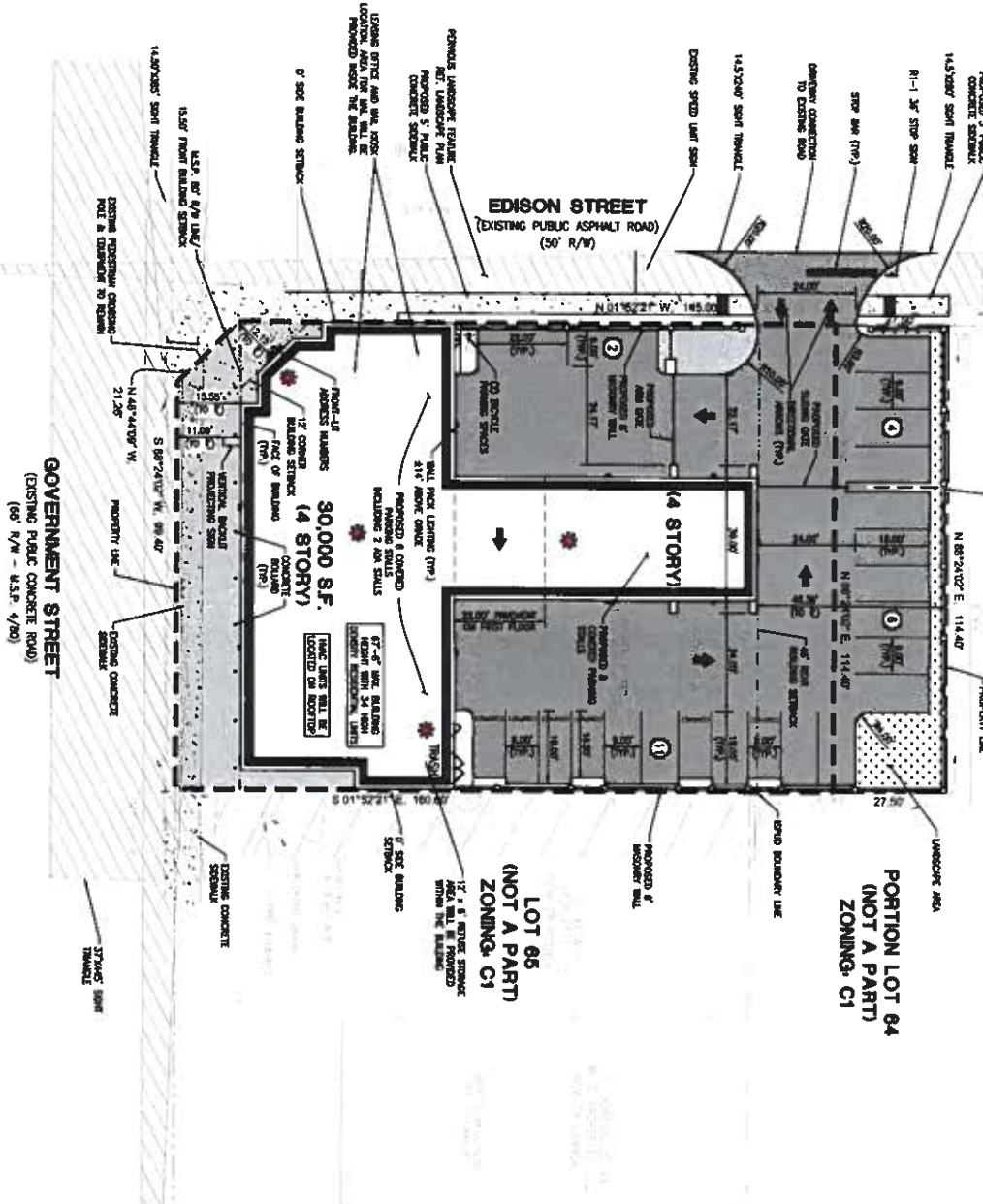
TOTAL ACRES (INCLUDE ADJACENT PROPOSED MARIAGE AREA NORTH OF THE DRIVE)	0.44 ACRES
TOTAL NEW DENSITY RESIDENTIAL UNITS 8430 UNITS PER ACRE	34 UNITS

LEGEND - IMPROVEMENTS

GRID BOUNDARY LINE	---
BUILDING	▬
PARKING SPACE COURT	⊙
BUILDING ACCESS POINT	⊕
BICYCLE PARKING	⊖
WALL MOUNT LIGHTING	⊙
WALKWAY WALL	⊕
DIRECTIONAL LIGHTING	⊖
CONCRETE SIDEWALK	▬
PROPOSED IMPROVEMENT	▬
EXISTING DRIVE SPACE	▬

LOT 18-A (NOT A PART) ZONING A27

PORTION LOT 84 (NOT A PART) ZONING C1

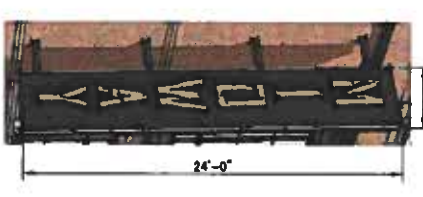


SITE LAYOUT NOTES

1. SITE AREA = 1/4 - 0.42 ACRES.
2. ALL NEW AND EXISTING UTILITIES SHOWN ON DRAWING.

BUILDING SETBACKS

FRONT	13.5'
REAR	4'
SIDE	0'
CORNER	12'



VERTICAL BACKLIT PROJECTING SIGN DETAIL N.T.S.

FRONT-LEFT ADDRESS NUMBER DETAIL N.T.S.

THE OWNER/DEVELOPER IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES FOR THE DEVELOPMENT. THE PROPOSED DEVELOPMENT WILL COMPLY WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.

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Not For Construction

DEVELOPMENT PLAN

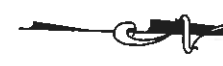


TABLE OF USE

LOW DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	HIGH DENSITY RESIDENTIAL	COMMERCIAL / OFFICE	PUBLIC AND SEMI-PUBLIC	INDUSTRIAL	OPEN SPACE
N/A	N/A	34	N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A	N/A	N/A	N/A
N/A	N/A	3000	N/A	N/A	N/A	N/A
N/A	N/A	0.27	N/A	N/A	N/A	0.85
N/A	N/A	0.00	N/A	N/A	N/A	1.25

STATEMENT OF OBJECTIVES

1. WHERE GRID DEVELOPMENT IS A GOAL OF DEVELOPMENT, THERE SHALL BE A MINIMUM OF 10% OF THE BUILDING AREA TO BE SET AS OPEN SPACE. THE OPEN SPACE SHALL BE SET AS OPEN SPACE AND SHALL BE MAINTAINED PERMANENTLY. THE OPEN SPACE SHALL BE MAINTAINED PERMANENTLY AND SHALL BE MAINTAINED PERMANENTLY.
2. ALL DEVELOPMENT AND UTILITIES WITHIN THE DEVELOPMENT SHALL BE FINANCED, OWNED, AND MAINTAINED BY THE DEVELOPER.
3. CONSTRUCTION OF NEW GRID DEVELOPMENT IS SET TO BEGIN IN SPRING OF 2020 AND IS EXPECTED TO BE COMPLETED IN 2021. THE DEVELOPMENT SHALL BE COMPLETED IN ONE PHASE.
4. THE DEVELOPMENT SHALL BE LOCATED WITHIN THE DEVELOPMENT.
5. THE DEVELOPMENT SHALL BE LOCATED WITHIN THE DEVELOPMENT.
6. THE DEVELOPMENT SHALL BE LOCATED WITHIN THE DEVELOPMENT.
7. THE DEVELOPMENT SHALL BE LOCATED WITHIN THE DEVELOPMENT.

REVISION	BY

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EAST BATON ROUGE PARISH**

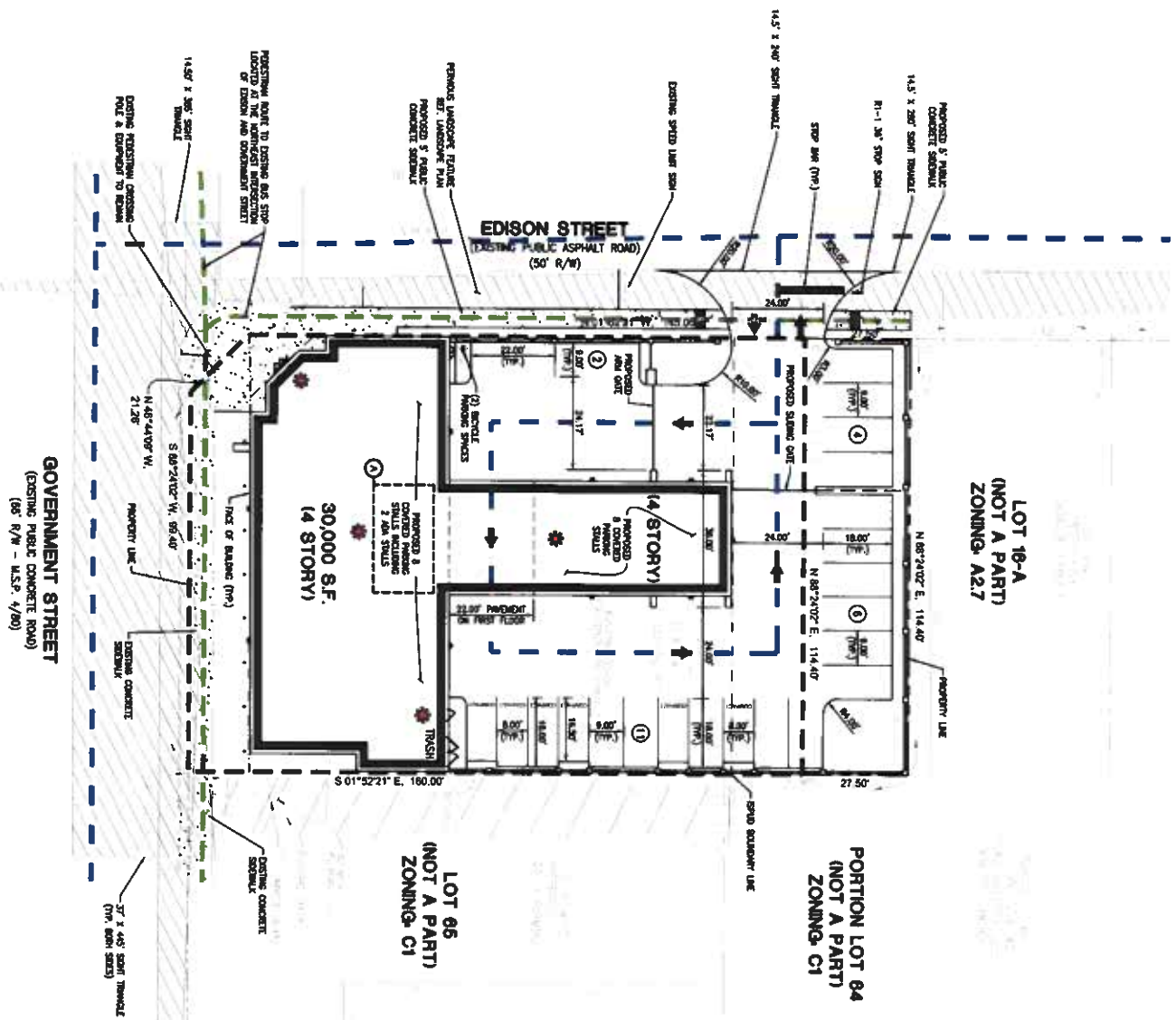
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PARKING CALCULATIONS			
LINE	FORMULA	REQUIRED	PROVIDED
RESIDENTIAL Park, 34 1-40 units	1 SMC/1-40 unit	34	30
MANUFACTURE SPACES	1-40 SPACES	1	2
COMPACT SPACES	ALLOWED MAX OF ROUNDED NUMBER SPACES		7
BICYCLE PARKING	1 BICYCLE SMC/20 WORKSPACE SPACES	2	2

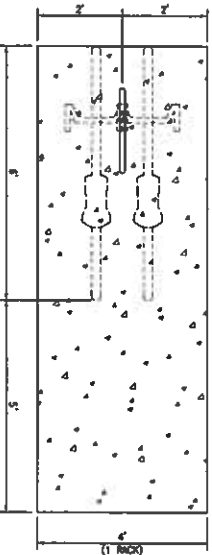
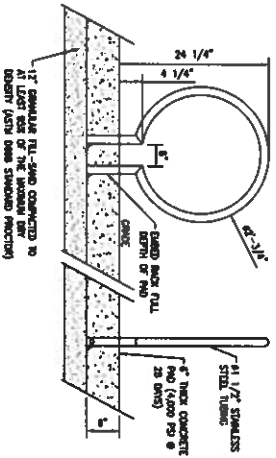
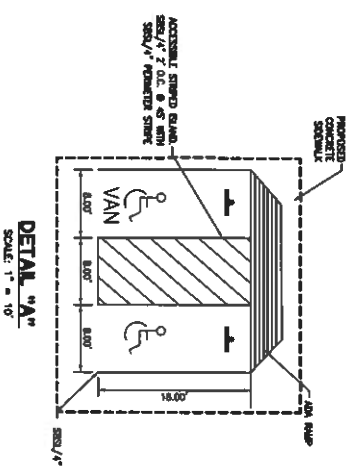
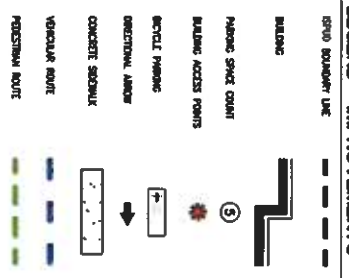


THE OWNER/ARCHITECT IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AGENCIES FOR THE DEVELOPMENT OF THE PROJECT. THE PROPOSED DEVELOPMENT WILL COMPLY WITH ALL REQUIREMENTS OF THE LATEST ORDINANCE SECTION 14.5 OF THE UNIFORM DEVELOPMENT CODE.

GENERAL NOTES:

1. OTHER THAN SIDEWALKS ADJACENT TO GOVERNMENT STREET, ALL PROPOSED SIDEWALKS AND PAVEMENT WAYS WITHIN THE STREETS AND PAVEMENT WAYS WITHIN THE SITE BOUNDARY ARE TO BE PRIMARILY OWNED AND MAINTAINED BY THE DEVELOPER.
2. EXISTING SIDEWALKS ALONG PORTION OF GOVD SHALL REMAIN OR BE REPAIRED AND REPLACED.
3. THE NEAREST FIRE STATION IS LOCATED AT THE INTERSECTION OF EDISON STREET AND GOVERNMENT STREET.
4. STREETS ADJACENT TO THE WORKING DEVELOPMENT ARE NOT INCLUDED IN THE WORKING PLAN.

LEGEND - IMPROVEMENTS



- NOTES:**
1. BICYCLE SPACES SHALL BE TWO (2) FEET WIDE BY SIX (6) FEET LONG.
 2. BICYCLE SPACES SHALL BE SPACED CLOSE ENOUGH TO A WALL OR OTHER OBSTRUCTION TO PREVENT THE BICYCLES FROM COLLIDING WITH EACH OTHER.
 3. AN ISLAND OR OTHER SPACE SHALL BE PROVIDED FOR BICYCLES TO DRIVE AND LAKE.
 4. THERE SHALL BE A MINIMUM OF FOUR (4) FEET SPACE BETWEEN RACKS.

BICYCLE RACK

Not For Construction

CIRCULATION PLAN



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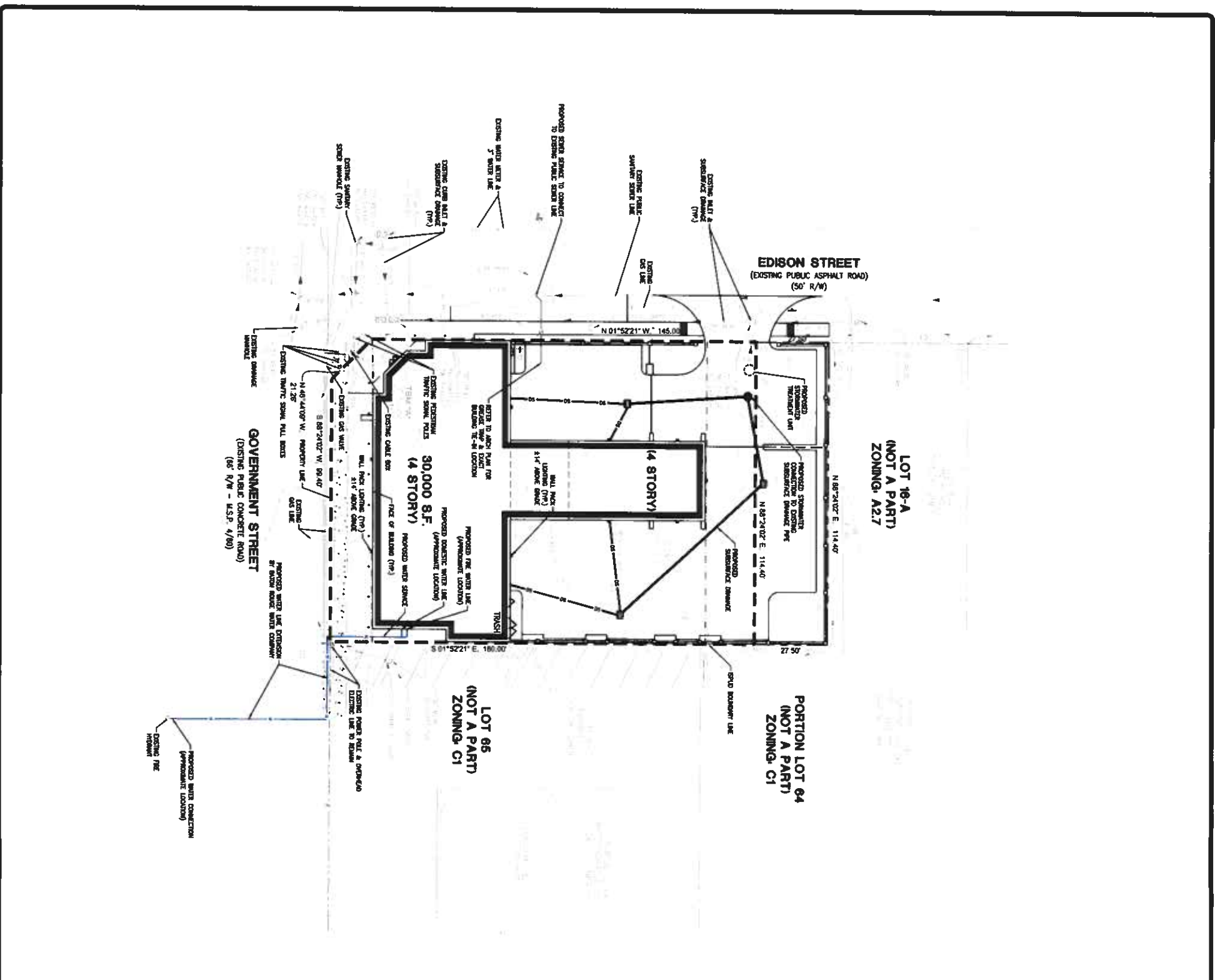
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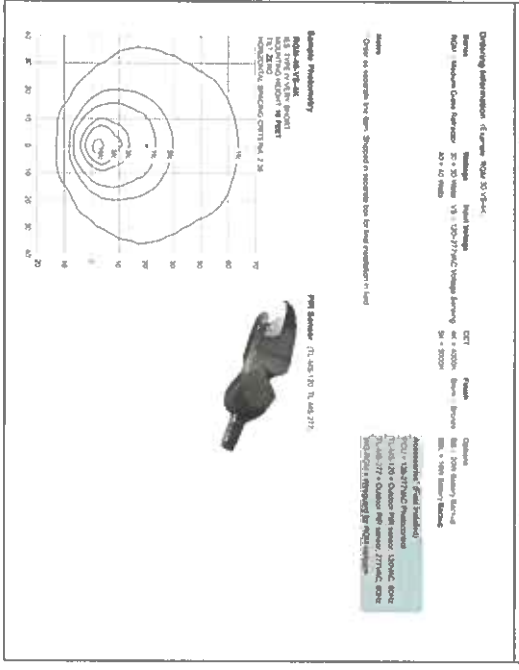
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PROJECT NO.	99-117
ISSUED FOR	ISPUD
RELEASER	9-17-2020
CHECKED	MAT
DATE	9-17-2020
DESIGNED	CON/AVN
DRAWN	CON/AVN
SHEET	4



- LIGHTING NOTES:**
1. THE PROPOSED DEVELOPMENT WILL COMPLY WITH ALL REQUIREMENTS OF THE CITY OF BATON ROUGE, LOUISIANA, AND THE STATE OF LOUISIANA.
 2. MINIMUM FOOTCANDLE LEVEL SHALL BE 1.0.
 3. MINIMUM MOUNTING HEIGHT SHALL BE 14'.
 4. MOUNTING HEIGHT SHALL BE 14'.
 5. MOUNTING HEIGHT SHALL BE 14'.

- GENERAL NOTES:**
1. EXISTING UTILITIES SHALL BE MAINTAINED AND NOT REMOVED UNLESS OTHERWISE NOTED.
 2. ALL UTILITIES SHALL BE MAINTAINED AND NOT REMOVED UNLESS OTHERWISE NOTED.
 3. ALL UTILITIES SHALL BE MAINTAINED AND NOT REMOVED UNLESS OTHERWISE NOTED.
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ELL. CUTOFF WALL PACK LIGHTING DETAIL
N.T.S.



RGM Series
Medium Gauss Retractor LED Wallpack

DESCRIPTION: The RGM Series is a medium Gauss retractor LED wallpack. It features a high-quality LED chip, a high-efficiency driver, and a high-quality lens. The fixture is designed for use in a variety of applications, including parking lots, walkways, and general outdoor lighting.

FEATURES:

- High-quality LED chip
- High-efficiency driver
- High-quality lens
- Medium Gauss retractor
- 5000K CCT
- 120-277VAC
- 100-150 lumens per watt
- 5-year warranty

Specifications:

Item	Value
Beam Spread	14.5'
Mounting Height	12.5'
Fixture Height	14.5'
Weight	12.5 lbs
Material	Aluminum
Finish	Black
Warranty	5 Years

Not For Construction
DRAINAGE & UTILITY PLAN



LEGEND - NEW IMPROVEMENTS

PROPOSED STORM SEWER	---
EXISTING STORM SEWER	---
PROPOSED SANITARY SEWER	---
EXISTING SANITARY SEWER	---
PROPOSED WATER	---
EXISTING WATER	---
PROPOSED GAS	---
EXISTING GAS	---
PROPOSED ELECTRIC	---
EXISTING ELECTRIC	---



DRAWN	DDG
CHECKED	DDG
DATE	08-01-20
PROJECT NO.	08-01-20
SHEET	5

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EAST BATON ROUGE PARISH

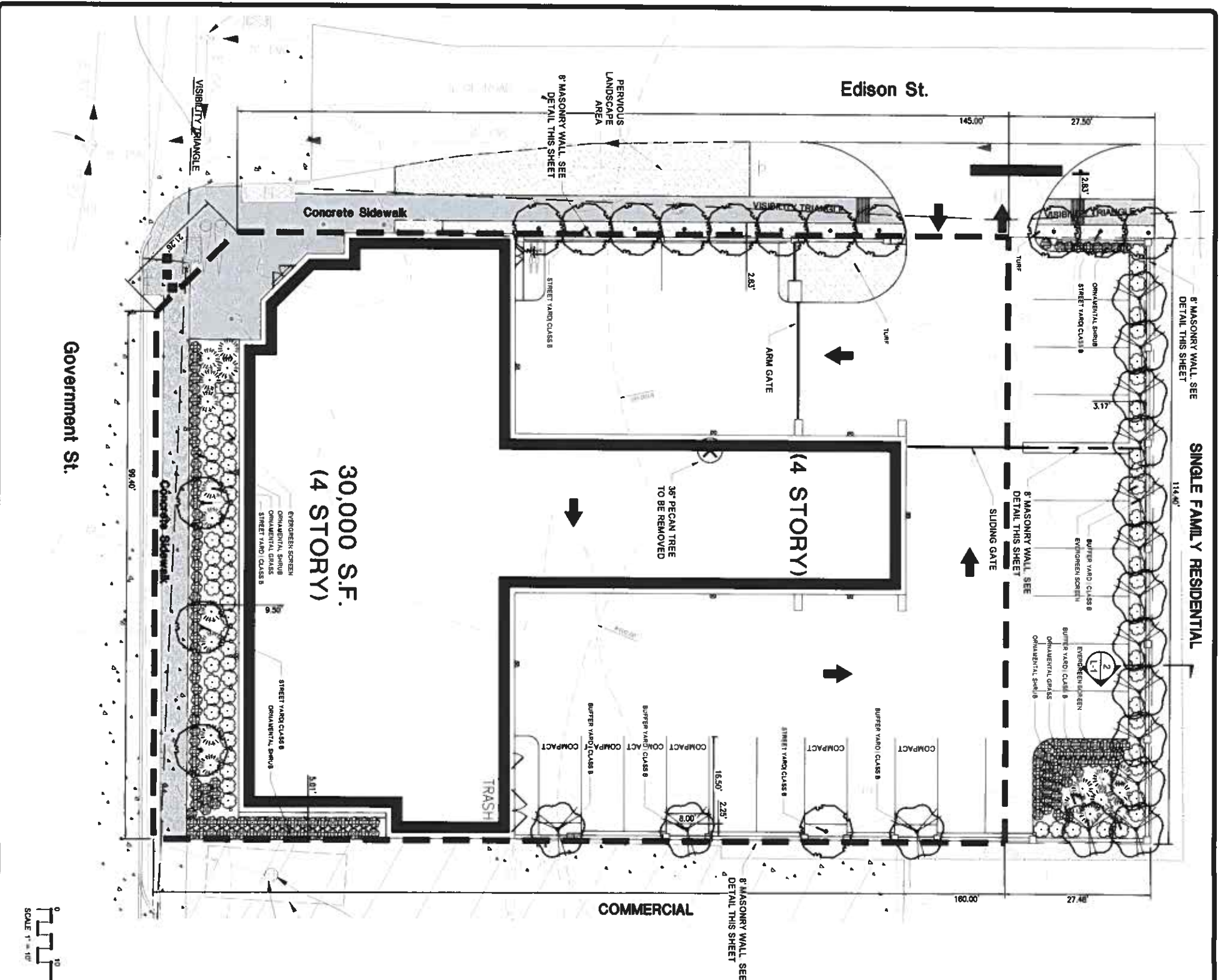
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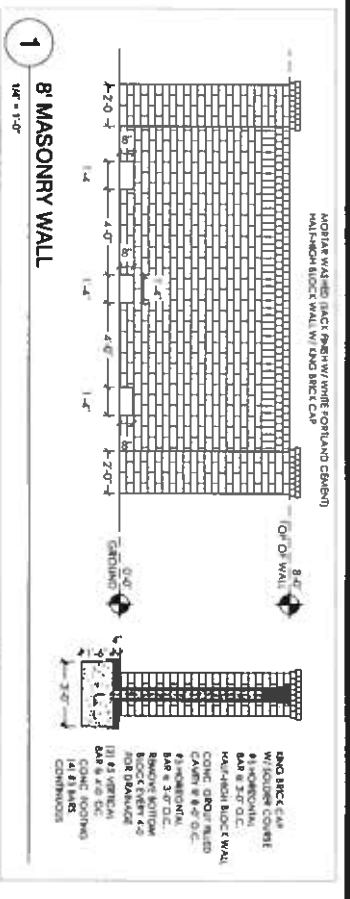
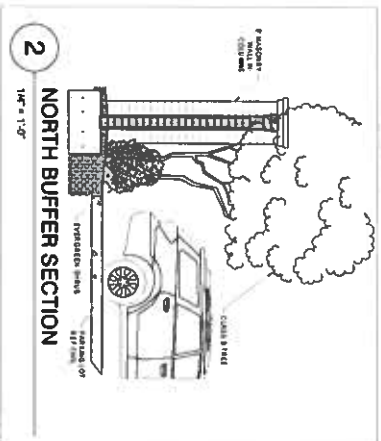


Not For Construction
LANDSCAPE PLAN



LEGEND - IMPROVEMENTS

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CONCEPT PLANT SCHEDULE

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STANDARD NOTES

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DESIGN DATE	08/08/2020
DESIGNER	DDG
PROJECT NO.	19-117
PROJECT NAME	MIDWAY ISUPUD
PROJECT LOCATION	LOT A-1
PROJECT SHEET	6

MIDWAY ISUPUD
INFILL SMALL PLANNED UNIT DEVELOPMENT
BATON ROUGE, LOUISIANA 70808
EAST BATON ROUGE PARISH
MIDWAY30 LLC
7924 WRENWOOD BLVD., SUITE A
BATON ROUGE, LOUISIANA 70809

LOT A-1
BEING A PORTION OF BERNARD TERRACE
LOCATED IN SECTION 81, 1-7-S, R-1-E,
GREENSBURG LAND DISTRICT,
EAST BATON ROUGE PARISH, LOUISIANA

DDG
DUPLANTIS DESIGN GROUP

8352 Bluebonnet Blvd.
Baton Rouge, La 70810
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Fax: 225-751-4495
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REVISION	BY



EDISON STREET ELEVATION ②



GOVERNMENT STREET ELEVATION ①

REVISION	BY

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Baton Rouge, La 70810
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LOT A-1
BEING A PORTION OF BERNARD
TERRACE ADDITION
LOCATED IN SECTION 81, T-7-S,
R-1-E,
GREENSBURG LAND DISTRICT,
EAST BATON ROUGE PARISH, LOUISIANA

MIDWAY ISUPD
INFILL SMALL PLANNED UNIT DEVELOPMENT
BATON ROUGE, LOUISIANA 70806
EAST BATON ROUGE PARISH
MIDWAY30 LLC
7924 WRENWOOD BLVD., SUITE A
BATON ROUGE, LOUISIANA 70809

DATE	DESCRIPTION
7/17/17	ARCHITECTURAL ELEVATIONS
7/17/17	7/17/17 ARCHITECTURAL ELEVATIONS
7/17/17	7/17/17 ARCHITECTURAL ELEVATIONS

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Not For Construction
**ARCHITECTURAL
ELEVATIONS**

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