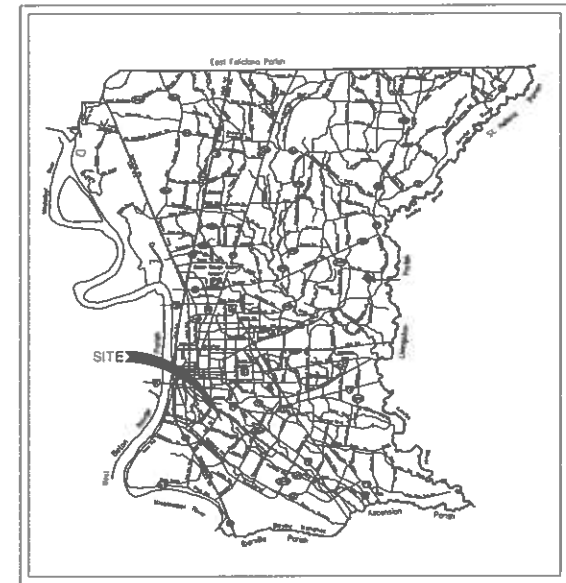


T.N.D. FINAL DEVELOPMENT PLAN

FOR

ROUZAN

TRADITIONAL NEIGHBORHOOD DEVELOPMENT PHASE 1D EAST BATON ROUGE PARISH, LOUISIANA



EAST BATON ROUGE PARISH MAP:
SCALE: 1" = 20,000'

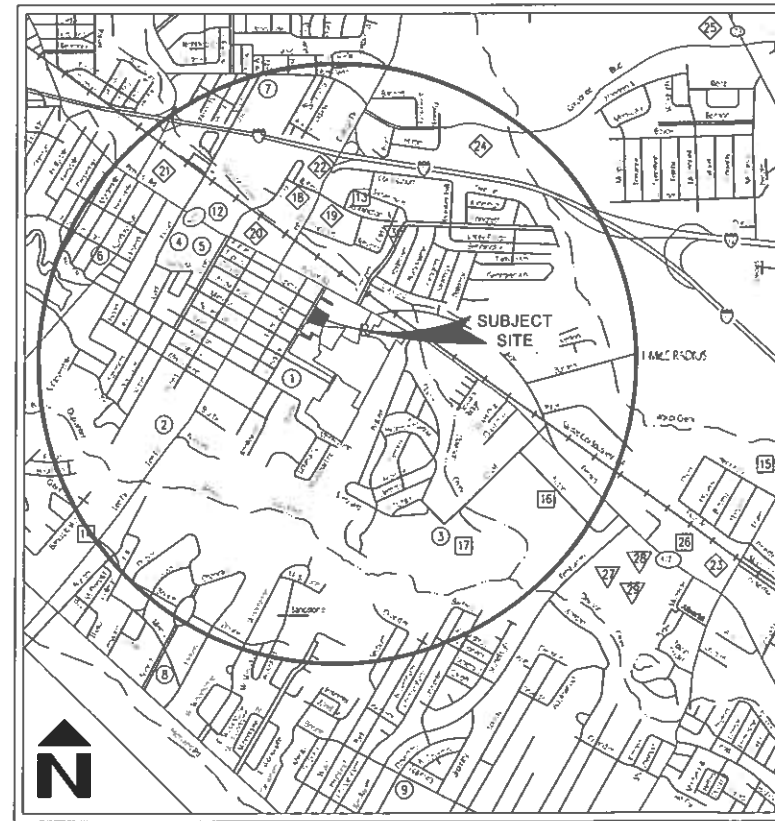
LEGAL DESCRIPTION OF SITE:
PORTION OF TRACTS RZ-3-C 9.83 +/- ACRES, RZ-3-E 4.54 +/- ACRES, AND RZ-3-B 4.16 +/- ACRES OF RICHLAND PLANTATION LOCATED IN SECTION 84, TOWNSHIP 7 SOUTH, RANGE 1 EAST, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, STATE OF LOUISIANA.

PARCEL IDENTIFICATION NUMBERS:
TRACTS - RZ-3-C: 1430521260, RZ-3-E: 1430521259, AND RZ-3-B: 1430521258

REGISTERED PROFESSIONAL:
THIS PLAN/DOCUMENT HAS BEEN PREPARED FOR CITY/PARISH PLANNING AND/OR ZONING PURPOSES ONLY. THE USE OF THIS PLAN/DOCUMENT FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF ANY PERMIT IS STRICTLY PROHIBITED. THIS PLAN/DOCUMENT HAS BEEN PREPARED BY THE REGISTERED ENGINEER, SURVEYOR, AND/OR LANDSCAPE ARCHITECT NOTED HEREON AND SIGNATURE OF SAID REGISTERED PROFESSIONAL DOES NOT DEEM THE PLAN/DOCUMENT AN OFFICIAL ENGINEERING, SURVEYING, OR LANDSCAPING PLAN/DOCUMENT.

INDEX TO DRAWINGS:

SHEET	DESCRIPTION
1.0	TITLE SHEET
2.0	EXISTING SITE CONDITIONS MAP
3.0	OVERALL PROPERTY MAP
4.0	APPROVED CONCEPT PLAN
5.0	FINAL DEVELOPMENT PLAN
5.1	FINAL DEVELOPMENT PLAN
6.0	CIRCULATION PLAN
6.1	CIRCULATION PLAN
7.0	UTILITY SERVICE PLAN
7.1	UTILITY SERVICE PLAN
8.0	LANDSCAPE PLAN
8.1	LANDSCAPE PLAN
9.0	PHASE PLAN
10.0	PRELIMINARY FLAT
10.1	PRELIMINARY FLAT
11	ARCHITECTURAL ELEVATIONS



GENERAL LOCATION MAP:
SCALE: 1" = 2,000'

- SCHOOLS:**
- GLASCOFF MIDDLE SCHOOL
 - ROBERT E. LEE HIGH SCHOOL
 - CHRISTIAN LIFE ACADEMY
 - SOUTHDOVNS ELEMENTARY
 - ST ALDOYUS CATHOLIC SCHOOL
 - TRINITY EPISCOPAL DAY SCHOOL
 - VALLEY PARK MIDDLE SCHOOL
 - HIGHLAND ELEMENTARY SCHOOL
 - KENLWORTH JUNIOR HIGH SCHOOL
 - MAGNOLIA WOODS ELEMENTARY SCHOOL
 - SILVERSIDE ELEMENTARY SCHOOL
- FIRE STATIONS:**
- BATON ROUGE FIRE DEPT. NO. 9
- OTHER FACILITIES:**
- BENNINGTON POST OFFICE
 - ST JAMES PLACE NURSING HOME
 - OUR LADY OF THE LAKE REGIONAL MEDICAL CENTER
 - PENNINGTON BIOMEDICAL RESEARCH CENTER
 - LOUISIANA DEPARTMENT OF WILDLIFE AND FISHERIES
 - BATON ROUGE MEDICAL CLINIC
- PARKS:**
- BREC - OLYMPIA STADIUM & PARK
 - BREC - YELDORWE
 - BREC - PERKINS ROAD PARK
 - BREC - CONGRESS PARK

- SHOPPING AREAS:**
- WALMART SHOPPING CENTER
 - VILLAGE SQUARE SHOPPING CENTER
 - SOUTHDOVNS CENTER
 - ACADIAN - PERKINS PLAZA
 - ALBERTSON'S GROCERY STORE
 - ALBERTSON'S SHOPPING CENTER
 - OTIPLACE PLANNED UNIT DEVELOPMENT
 - TOWNE CENTER PLANNED UNIT DEVELOPMENT

LANDSCAPE ARCHITECT / LAND PLANNER	LANDSCAPE ARCHITECT
SWA GROUP 570 GLENNEYRE STREET LAGUNA BEACH, CALIFORNIA 92651-2453 CONTACT: ANDREW WATKINS, AIA LEED PHONE: 949.290.6857 OFFICE: 949.497.5471 EMAIL: ANAWATKINS@SWAGROUP.COM	SJB GROUP, L.L.C. P.O. BOX 1751 BATON ROUGE, LOUISIANA 70821 CONTACT: STEVEN J. LUMPKIN, PLS, ASLA, PMP PHONE: 225.769.3400 FAX: 225.769.3596 EMAIL: STEVEN.LUMPKIN@SJBGROUP.COM
CIVIL ENGINEER / LAND SURVEYOR	OWNER/DEVELOPER
SJB GROUP, L.L.C. P.O. BOX 1751 BATON ROUGE, LOUISIANA 70821 CONTACT: COREY BLANCHARD, PE PHONE: 225.769.3400 FAX: 225.769.3596 EMAIL: COREY.BLANCHARD@SJBGROUP.COM	ENGQUIST-ROUZAN COMMERCIAL DEVELOPMENT, L.L.C. 402 N. 4TH STREET BATON ROUGE, LA 70802 CONTACT: TONY TRAGESPACK PHONE: 225-706-4080 EMAIL: T.andy@fishmanhagood.com
ARCHITECT	
RHA 3337 MICHELSON DRIVE, SUITE 1100 IRVINE, CA 92612 CONTACT: BRIAN MCCLUSKEY PHONE: 949.655.1550 EMAIL: BMCLUSKEY@ROBERTHDEY.COM	

STATEMENT OF OBJECTIVES:

ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) HAS AN OVERALL PROJECT AREA OF 117.81 ACRES WITH THE FINAL DEVELOPMENT PLAN FOR PHASE 1D CONTAINING 3.45 ACRES OF THE TOTAL 24.27 ACRES OF PHASE 1 (PHASE 1D ONLY) WHICH IS A PORTION OF TRACTS RZ-3-C, RZ-3-E, AND RZ-3-B. THE NUMBER OF ACRES DEVOTED TO THE VARIOUS CATEGORIES OF LAND USE SHOWN ON THE FINAL DEVELOPMENT PLAN FOR PHASE 1D IS AS FOLLOWS: MEDIUM DENSITY RESIDENTIAL - 2.60 ACRES (75%) AND OPEN SPACE - 0.85 ACRES (25%). THE USES PROPOSED FOR PHASE 1D TOUZAAN TND WILL COMPLY WITH THE ZONING CLASSES APPROVED WITHIN THE CONCEPT PLAN FOR ROUZAN TND.

ROUZAN TND FINAL DEVELOPMENT PLAN FOR PHASE 1D WILL CONSIST OF SEVENTEEN (17) RESIDENTIAL UNITS (17 RLU). THE RESIDENTIAL BREAKDOWN IS 17 LOW DENSITY RESIDENTIAL UNITS PHASE 1D WILL CONTAIN ZERO (0) SQUARE FEET OF OFFICE/COMMERCIAL/OTHER USAGE. THE TYPE OF USES TO BE CONSTRUCTED AS APPROVED ARE RESIDENTIAL.

THE SEQUENCING OF THE CONSTRUCTION IS AN ANTICIPATED START CONSISTING OF CLEARING AND EARTHWORKS OF PHASE 1D WITHIN THE FIRST QUARTER OF 2019 WITH THE COMPLETION OF PHASE 1D INFRASTRUCTURE BY THE FOURTH QUARTER OF 2019.

THE STREETS/PATHS/PEDESTRIAN WAYS LOCATED WITHIN THE MEDIUM DENSITY RESIDENTIAL AREAS SHOWN ON THE FINAL DEVELOPMENT PLAN FOR PHASE 1D ARE PROPOSED TO BE DEDICATED TO THE PUBLIC FOR OWNERSHIP AND MAINTENANCE. A SMALLER PORTION OF STREETS, ALLEYS, AND PEDESTRIAN WALKWAYS WITHIN THE TND WILL BE DESIGNATED AS PRIVATE ON FINAL DEVELOPMENT PLAN AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE ROUZAN PROPERTY OWNERS ASSOCIATION.

THE METHOD OF GOVERNING THE USE, MAINTENANCE, AND CONTINUED PROTECTION OF THE COMMON AREA AND COMMUNITY SERVING FACILITIES WILL BE ESTABLISHED BY THE ROUZAN COMMUNITY OPERATING AGREEMENT WHICH HAS BEEN OR WILL BE RECORDED WITH THE OFFICE OF THE CLERK OF COURT OF EAST BATON ROUGE PARISH, STATE OF LOUISIANA (THE "COMMUNITY OPERATING AGREEMENT").

SEPARATE DECLARATIONS FOR THE RESIDENTIAL PROPERTY WITHIN ROUZAN (THE RESIDENTIAL DECLARATION) AND THE BUSINESS DISTRICT WITHIN ROUZAN (THE NON-RESIDENTIAL DECLARATION) HAS BEEN OR WILL BE RECORDED TO CREATE A RESIDENTIAL OWNERS ASSOCIATION (THE NEIGHBORHOOD ASSOCIATION) TO REGULATE AND MAINTAIN THE RESIDENTIAL PORTIONS OF ROUZAN AND CREATE A BUSINESS OWNERS ASSOCIATION (THE BUSINESS ASSOCIATION) TO REGULATE AND MAINTAIN THE COMMERCIAL PORTIONS OF ROUZAN. THE NEEDS OF ROUZAN WILL BE MET PRIMARILY BY THESE TWO SEPARATE ENTITIES.

UNDER THE TERMS OF THE RESIDENTIAL DECLARATION, THE NEIGHBORHOOD ASSOCIATION MAINTAINS ALL OF THE NEIGHBORHOOD ASSOCIATION COMMON AREAS, OR NEIGHBORHOOD COMMONS, INCLUDING OPEN SPACE, ALLEYS, PARKS, AND RECREATIONAL FACILITIES. THE NEIGHBORHOOD ASSOCIATION ALSO HELPS PRESERVE THE NEIGHBORHOOD HARMONY BY FACILITATING NEIGHBORHOOD DISCUSSION, STIMULATING AN UNDERSTANDING OF THE NEIGHBORHOOD GOALS AND ENFORCING THE COVENANTS WHEN NECESSARY.

THE BUSINESS ASSOCIATION MEETS THE SPECIAL NEEDS OF THE COMMERCIAL PROPERTIES WITHIN ROUZAN AS PROVIDED BY THE ROUZAN NON-RESIDENTIAL DECLARATION. THE BUSINESS ASSOCIATION PROVIDES COMMERCIAL-TYPE MAINTENANCE AND SERVICES APPROPRIATE TO THE BUSINESS INCLUDING MAINTAINING ALL OF THE BUSINESS COMMON AREAS OR BUSINESS COMMONS WHICH INCLUDE OPEN SPACES, ALLEYS, PARKS, AND RECREATIONAL FACILITIES. THE BUSINESS ASSOCIATION MAY ALSO FUNCTION AS A MERCHANTS ASSOCIATION FOR ADVERTISING AND BUSINESS DEVELOPMENT. TOGETHER, THE NEIGHBORHOOD COMMONS AND THE BUSINESS COMMONS SHALL CONSTITUTE THE ROUZAN COMMONS.

PRELIMINARY THE ACCURACY OF THIS PLAN IS NOT GUARANTEED BY ANY AGENCY OR AUTHORITY.
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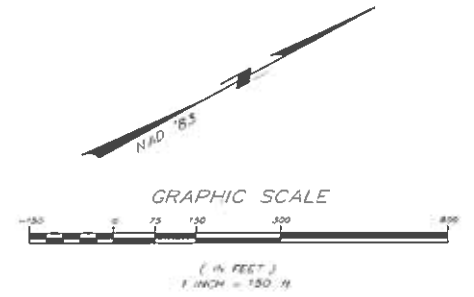
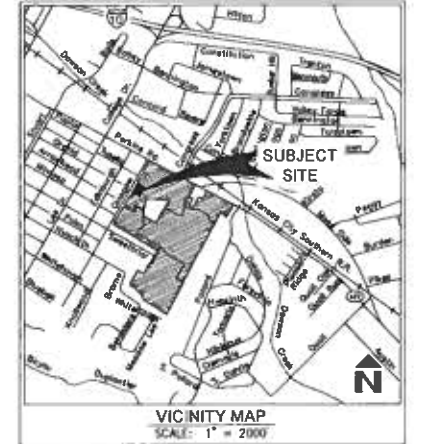


SHEET NUMBER	1.0
PARISH/COUNTY	EAST BATON ROUGE
CITY	BATON ROUGE
PROJECT	11-409-B
ROUZAN	
TRADITIONAL NEIGHBORHOOD DEVELOPMENT PLAN	
PHASE 1D - FINAL DEVELOPMENT PLAN	
TITLE SHEET	
REVISION	DATE

RECEIVED APR 29 2019 (P.C. SET)

LEGEND

---○---	EXISTING SANITARY SEWER NETWORK (OUTSIDE ROUZAN TND)
---○---	EXISTING DRAINAGE NETWORK (OUTSIDE ROUZAN TND)
---G---	EXISTING GAS PIPELINE (OUTSIDE ROUZAN TND)
---W---	EXISTING WATER PIPELINE (OUTSIDE ROUZAN TND)
---○---	EXISTING SANITARY SEWER NETWORK (INSIDE PLANS 1, PHASE 1 & ROUZAN TND)
---○---	EXISTING DRAINAGE NETWORK (INSIDE PLANS 1, PHASE 1 & ROUZAN TND)
---G---	EXISTING GAS PIPELINE (INSIDE PLANS 1, PHASE 1 & ROUZAN TND)
---W---	EXISTING WATER PIPELINE (INSIDE PLANS 1, PHASE 1 & ROUZAN TND)
---	EXISTING RIGHT-OF-WAY (INSIDE PLANS 1, PHASE 1 & ROUZAN TND)
---OE---	EXISTING OVERHEAD POWER LINES
---FO---	EXISTING FIBER OPTIC CABLE
○	EXISTING POWER POLE
◆	EXISTING FIRE HYDRANT



WATER SURFACE/FLOOD DATA:

FLOOD ZONE:	X & AE	NORTH WATERSHED	SOUTH WATERSHED
100-YEAR BASE FLOOD ELEV:	26.0 FT. NGVD	25.0 FT. NGVD	
INUNDATION ELEVATION:	23.6 FT. NGVD	23.7 FT. NGVD	
10-YEAR DESIGN WATER SURFACE:	23.1 FT. NGVD	25.0 FT. NGVD	
SOURCE STREAM:	DANSON CREEK	BAYOU D'EAUVERTE	
DATUM:	1983 NGVD	1983 NGVD	

PRELIMINARY



Louis Blaud
2/28/19

REGISTERED PROFESSIONAL:
THIS PLAN/DOCUMENT HAS BEEN PREPARED FOR CITY/PARISH PLANNING AND/OR ZONING PURPOSES ONLY. THE USE OF THIS PLAN/DOCUMENT FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF ANY PERMIT IS STRICTLY PROHIBITED. THIS PLAN/DOCUMENT HAS BEEN PREPARED BY THE REGISTERED ENGINEER, SURVEYOR, AND/OR LANDSCAPE ARCHITECT NOTED HEREON AND SIGNATURE OF SAID REGISTERED PROFESSIONAL DOES NOT DENY THE PLAN/DOCUMENT AN OFFICIAL ENGINEERING, SURVEYING, OR LANDSCAPING PLAN/DOCUMENT.

PROPERTY DIMENSIONS:
FOR CLARITY PURPOSES DIMENSIONS OF THE SUBJECT PROPERTY AND ALL TRACTS THAT FORM THE ROUZAN TND PROPERTY ARE NOT SHOWN HEREON. FOR DIMENSIONS OF THE SUBJECT PROPERTY (PHASE 1-D) AND EXISTING TRACT DESIGNATIONS REFER TO THE SUBJECT PROPERTY MAP.

EXISTING SERVICED:
FOR CLARITY PURPOSES ALL SERVICEDS WITHIN PHASE 1-D ARE NOT LABELED BUT ARE SHOWN HEREON. THOSE SERVICEDS NOT LABELED HEREON ARE SHOWN ON THE PRELIMINARY PLAN FOR PHASE 1-D.

GENERAL SOIL TYPES:
ACCORDING TO THE SOIL SURVEY FOR EAST BATON ROUGE PARISH, LOUISIANA, PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, IN COOPERATION WITH LOUISIANA AGRICULTURE EXPERIMENT STATION, ISSUED IN SEPTEMBER, 1984, THE PREDOMINANT SOIL TYPES OF THE SUBJECT PROPERTY IS OLIVER-LORING-TERRACE ESCARPMENTS ASSOCIATION AND OLIVER-CAULOU-LORING ASSOCIATION. THE OLIVER-LORING-TERRACE ESCARPMENTS ASSOCIATION IS DESCRIBED AS LEVEL TO GENTLY SLOPING, SOMEWHAT POORLY DRAINED AND MODERATELY WELL DRAINED, LOAMY SOILS AND STEEP ESCARPMENTS. THE OLIVER-CAULOU-LORING ASSOCIATION IS DESCRIBED AS DOMINANTLY LEVEL, POORLY DRAINED TO MODERATELY WELL DRAINED, LOAMY SOILS ON BROAD FLATS AND A SLIGHT DEPRESSIONS.

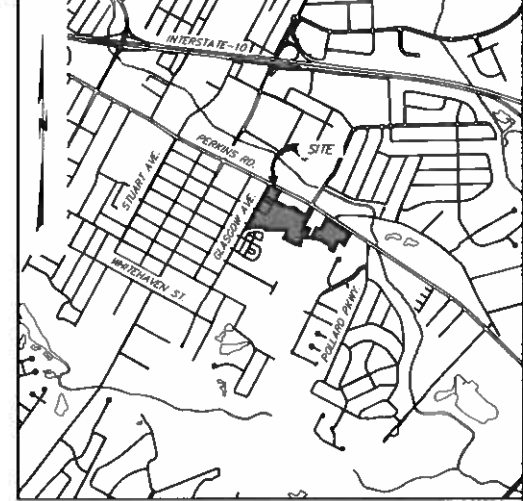
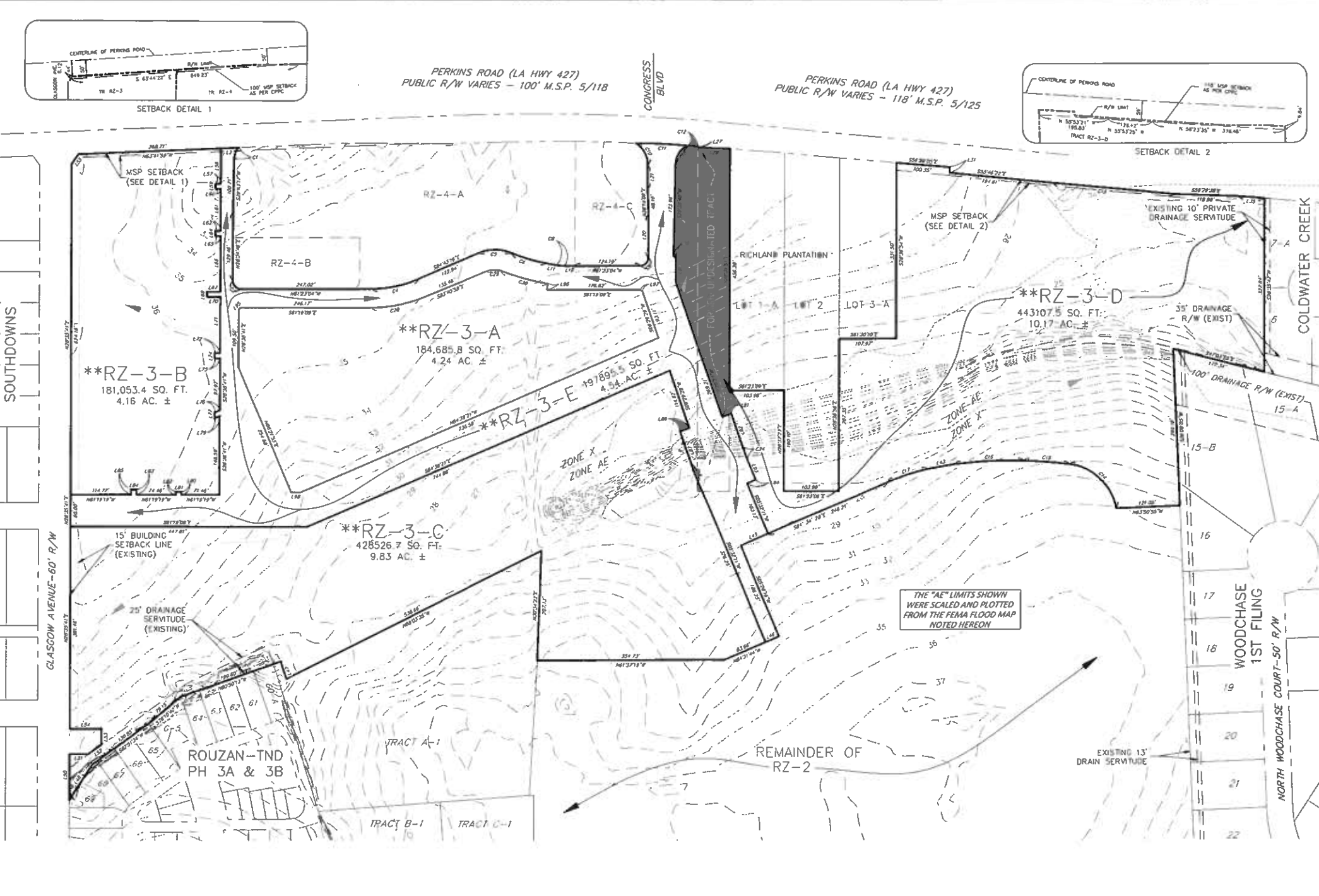
SHEET NUMBER	2.0
PARISH/COUNTY	EAST BATON ROUGE
CITY	BATON ROUGE
PROJECT	11409.8
ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT PHASE 1D - FINAL DEVELOPMENT PLAN	
EXISTING SITE CONDITIONS MAP	
STB GROUP, LLC CITY & SUBURBAN DESIGN	
DESIGNED	MA
CHECKED	CB
DRAWN	MA
DATE	2-28-19
SHEET	2 OF 16

ABUTTING PROPERTY OWNERS	
LOT 15-A	BRYAN D. ANDRES
LOT 15-B	PETER S. MCNAMIGOT
LOT 15	RALPH F. DUPONT, JR.
LOT 17	JOHN W. EYRE
LOT 18	LYNNA EDWARDS
LOT 19	V. BILLA PATRICK, III
LOT 20	JOHN R. DUNLEAVEN
LOT 21	FRANÇOISE GARDINER
LOT 22	ANDREW HAYES
ABUTTING PROPERTY OWNERS	
RICHLAND PLANTATION PROPERTY	
UNDESIGNATED LOT - UNKNOWN OWNER	
LOT 3-A	SAIS ASSOCIATES
LOT 3	SAISSET LAND COMPANY
LOT 3-A	ANTHONY J. LAURITA
ABUTTING PROPERTY OWNERS	
WOODCHASE CREEK RESUBDIVISION	
LOT 6	MADEIRA S. PAVEL, JR.
LOT 7-A	ADRIANO A. KHAN
ABUTTING PROPERTY OWNERS	
MIDDLE SCHOOL: GLASGOW MIDDLE	
LOT 1	BOBBY D. WELCH
LOT 2	THOMAS H. ROUSAN
LOT 3	VILLAGE CENTER PARTNERS
LOT 4	VILLAGE CENTER PARTNERS
LOT 5	VILLAGE CENTER PARTNERS
ABUTTING PROPERTY OWNERS	
ROUZAN TND PH 3A & 3B	
LOT 60-A	JOHN S. BETH LAURETTI
LOT 61-63	LEVIN CONSTRUCTION
LOT 64	SHERMAN SPELL
LOT 65	JEANNE DANVISON
LOT 66-68	SPM CONSTRUCTION
LOT 69	UNKNOWN OWNER

RZ-3 BOUNDARY	
1	181,053.4 SQ. FT. 4.16 AC. ±
2	184,685.8 SQ. FT. 4.24 AC. ±
3	428,526.7 SQ. FT. 9.83 AC. ±
4	443,107.5 SQ. FT. 10.17 AC. ±

Floral Line Table	
1	181,053.4 SQ. FT. 4.16 AC. ±
2	184,685.8 SQ. FT. 4.24 AC. ±
3	428,526.7 SQ. FT. 9.83 AC. ±
4	443,107.5 SQ. FT. 10.17 AC. ±

Curve Table	
1	181,053.4 SQ. FT. 4.16 AC. ±
2	184,685.8 SQ. FT. 4.24 AC. ±
3	428,526.7 SQ. FT. 9.83 AC. ±
4	443,107.5 SQ. FT. 10.17 AC. ±



MAP SHOWING RESUBDIVISION
OF
TRACT RZ-3 &
A FORMER UNDESIGNATED TRACT
FORMERLY A PORTION OF
THE RALPH M. FORD PROPERTY
INTO
TRACTS RZ-3-A, RZ-3-B, RZ-3-C,
RZ-3-D & RZ-3-E
LOCATED IN SECTION 94, TOWNSHIP 7 SOUTH, RANGE 1 EAST
GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH
FOR
ENGQUIST-ROUZAN COMMERCIAL, L.L.C.

GRAPHIC SCALE
1 INCH = 100 FT

LEGEND
EXISTING PROPERTY LINE
EXISTING RIGHT OF WAY LINE
INDIVIDUAL LOT LINE
SERVITUDE LINE
FOUND 1/2" IRON PIPE/ROD
SET 1/2" IRON ROD W/ CAP
SPECIAL FLOOD HAZARD AREA

GENERAL NOTES:
CADA, COX COMMUNICATIONS
ACREAGE: 32.95 ACRES
FIRE DISTRICT: BATON ROUGE FIRE DISTRICT
CHARACTER AREA: SUBURBAN
STREETS: EXISTING
FLOOD ZONES: "X" & "AE"
ZONING: TND
COMPREHENSIVE LAND USE: NEIGHBORHOOD CENTER
BASE FLOOD ELEVATION: 26 FT. M.S.L. (1988)
SEWER: EXISTING CONNECTION TO M.S.T.D.
WINDUPTION ELEVATION: 23.3 FT. M.S.L.
WATER: BATON ROUGE WATER CO.
SOURCE STREAM: DAWSON CREEK
ELECTRICITY: ENTERY
GAS: ENTERY
TELEPHONE: A1&T
EXISTING LAND USE: UNDEVELOPED

SEWAGE DISPOSAL:
NO PERSON SHALL PROVIDE A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE DISPOSAL HAS BEEN APPROVED BY THE HEALTH UNIT OF EAST BATON ROUGE PARISH.

BASIS FOR BEARING:
BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, LOUISIANA SOUTH ZONE (NAD 83).

CERTIFICATION:
THIS IS TO CERTIFY THAT THIS MAP IS MADE IN ACCORDANCE WITH LOUISIANA REVISED STATUTES 33:5051 ET SEQ. AND TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND AND IS MADE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS FOR A CLASS "C" SURVEY AS ESTABLISHED BY THE LOUISIANA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

SCHOOL DISTRICTS:
ELEMENTARY SCHOOL: SOUTHDOWNS ELEMENTARY
MIDDLE SCHOOL: GLASGOW MIDDLE
HIGH SCHOOL: ROBERT E. LEE HIGH

FLOOD INFORMATION:
THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONES "X" AND "AE" ACCORDING TO THE H.L.D. F.F.R.M. OF EAST BATON ROUGE PARISH, LOUISIANA, COMMUNITY # 220008, MAP #2003002456, DATED MAY 2, 2008. THE BASE FLOOD ELEVATION = 26 FT. M.S.L. (1988) (DAIUM).

DRAINAGE LAYOUT STATEMENT:
AS PART OF THE CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO COMPLY WITH STORM WATER MANAGEMENT AND DRAINAGE REQUIREMENTS SET FORTH IN SECTION 15.13 OF THE UNITED DEVELOPMENT CODE, LATEST REVISION.

NOTES:
1) NO ATTEMPT HAS BEEN MADE BY S&B GROUP, L.L.C. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS-OF-WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES, OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT OR HIS REPRESENTATIVE.
2) THE CITY OF BATON ROUGE/PARISH OF EAST BATON ROUGE DOES NOT ENFORCE PRIVATE DEED AND/OR SUBDIVISION RESTRICTIONS, HOWEVER, THE APPROVAL OF THIS PLAT DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR/BUILDER FROM COMPLYING WITH ANY SUCH RESTRICTIONS THAT MAY BE ATTACHED TO THE PROPERTY ON THIS PLAT.
3) THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND CITY/PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY. IN PARTICULAR, NO TILING OF THE PROPERTY SHALL BE CONVEYED UNLESS ALL APPLICABLE PROVISIONS OF CHAPTER 15 OF THE UNITED DEVELOPMENT CODE ARE ADDRESSED.
4) ALL BUILDING LINES AND SERVITUDES SHOWN HEREON ARE IN ACCORDANCE WITH THE REFERENCE MAPS LISTED HEREON.
5) THE BASE FLOOD ELEVATION SHOWN HEREON IS SUBJECT TO CHANGE. THE CURRENT BASE FLOOD ELEVATION SHOULD BE VERIFIED WITH THE ENGINEERING DIVISION OF THE EAST BATON ROUGE CITY/PARISH DEPARTMENT OF PUBLIC WORKS.
6) THE SEPARATING ALONG PERKINS ROAD WAS DETERMINED BY THE PLANNING COMMISSION AND/OR D.P.W. (SEE REFERENCE MAP 1)
7) CONTOURS COMPILED FROM REFERENCE MAP 1.

REFERENCE MAPS:
1) MAP SHOWING EXCHANGE OF PROPERTY OF TRACTS F-1-A-1-A-1-A-1-A-1-A, F-1-B-1-A, BLOCKS G, CI, C2, B1 AND B2, THE REMAINDER OF TRACT M-30, G-1, ALL FORMERLY PORTIONS OF THE RALPH M. FORD PROPERTY INTO TRACTS RZ-1, RZ-2, RZ-3, AND RZ-4, LOCATED IN SECTION 94, TOWNSHIP 7 SOUTH, RANGE 1 EAST, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LA, FOR 2590 ASSOCIATES, L.L.C., 2252 GLASGOW AVENUE, BATON ROUGE, LA 70808 & GLASGOW PARTNERS, L.L.C., 2252 GLASGOW AVENUE, BATON ROUGE, LA 70808, BY S&B GROUP, L.L.C., DATED JANUARY 19, 2018.
2) MAP SHOWING PROPOSED RESUBDIVISION OF TRACT RZ-4 FORMERLY A PORTION OF THE RALPH M. FORD PROPERTY INTO TRACTS RE-4-A, RE-4-B & RE-4-C LOCATED IN SECTION 94, TOWNSHIP 7 SOUTH, RANGE 1 EAST, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH FOR VILLAGE CENTER PARTNERS, L.L.C., 2252 GLASGOW AVENUE, BATON ROUGE, LA, BY S&B GROUP, L.L.C. (LA. REG. NO. 454) DATED JULY 3, 2018.
3) FINAL PLAT OF ROUZAN TND, A TRADITIONAL NEIGHBORHOOD DEVELOPMENT, PHASE 3A (MUSOSA DISTRICT) BEING A SUBDIVISION OF TRACT M-30, RICHLAND PLANTATION, LOCATED IN SECTION 94, TOWNSHIP 7 SOUTH, RANGE 1 EAST, GREENSBURG LAND DISTRICT, EAST BATON ROUGE, LOUISIANA FOR 2590 ASSOCIATES, L.L.C.; BY BENCHMARK GROUP, L.L.C., DATED, JUNE 27, 2011.
4) REVISED FINAL PLAT OF ROUZAN TND, A TRADITIONAL NEIGHBORHOOD DEVELOPMENT, PHASE 3B & 3C, BEING A SUBDIVISION OF TRACT M-30, RALPH M. FORD PROPERTY, RICHLAND PLANTATION, LOCATED IN SECTION 94, TOWNSHIP 7 SOUTH, RANGE 1 EAST, GREENSBURG LAND DISTRICT, EAST BATON ROUGE, LOUISIANA FOR 2590 ASSOCIATES, L.L.C.; BY BENCHMARK GROUP, L.L.C., DATED MAY 16, 2013.
5) MAP SHOWING SUBDIVISION OF TRACTS F-1-A-1-A-1-A-1-A-1-A-1-A AND BLOCK B1, B2, CI, C2 & C3 OF THE RALPH M. FORD PROPERTY, RICHLAND PLANTATION, LOCATED IN SECTION 94, TOWNSHIP 7 SOUTH, RANGE 1 EAST, GREENSBURG LAND DISTRICT, EAST BATON ROUGE, LOUISIANA FOR 2590 ASSOCIATES, L.L.C.; BY BENCHMARK GROUP, L.L.C. DATED SEPTEMBER 2, 2015.

****NOTE:****
NO BUILDING PERMITS SHALL BE ISSUED FOR THESE LOTS UNLESS THE FOLLOWING REQUIREMENTS HAVE BEEN COMPLETED: (1) SANITARY SEWER PLANS SHALL BE DESIGNED BY A QUALIFIED REGISTERED PROFESSIONAL; (2) PLANS SHALL BE REVIEWED AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS; (3) THE REQUIRED SANITARY SEWER IMPROVEMENTS SHALL BE CONSTRUCTED BY THE OWNER/CONTRACTOR; (4) THE DEPARTMENT OF PUBLIC WORKS SHALL INSPECT AND APPROVE THE SANITARY SEWER IMPROVEMENTS; (5) A REVISION TO THIS PLAT REMOVING THIS STIPULATION SHALL BE SUBMITTED TO THE PLANNING COMMISSION AND THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL; AND (6) THE REVISED PLAT SHALL BE RECORDED IN THE CLERK OF COURT CONVEYANCE RECORDS AND THE REQUIRED CERTIFIED COPIES SUBMITTED TO THE PLANNING COMMISSION.

CPCC PROPERTY IDENTIFICATION #S:
RZ-3-A: 1430521259
RZ-3-B: 1430521260
RZ-3-C: 1430521261
RZ-3-D: 1430521262
RZ-4-A: 1430521255
RZ-4-B: 1430521256
RZ-4-C: 1430521257
UNDESIGNATED TRACT: 1430520899

PRELIMINARY

THE PRESENCE OF THIS PLAT IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

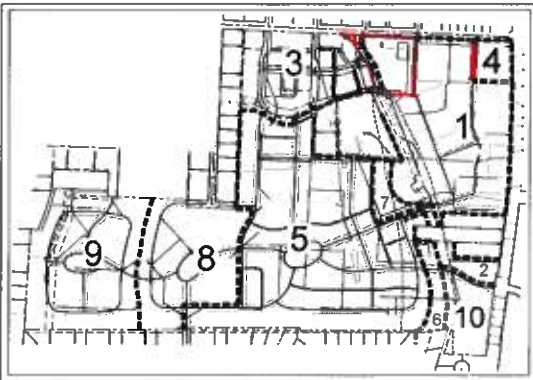
Carl A. Janovick
Professional Engineer
Professional Land Surveyor

SJB GROUP, LLC
QUALITY BY DESIGN
P.O. Box 1751 • BATON ROUGE, LA 70801 • (225) 789-3400 • FAX (225) 789-5598

CAD ORIGINAL
DO NOT COPY THIS DRAWING ALL REVISIONS MUST BE MADE TO THE CAD FILE ONLY

DRAWN BY: TVJ/TF
CHECKED BY: CAJ
SCALE: 1"=100'
DATE: 09/26/2018

PLANNING COMMISSION: N/A
FIELD BOOK: 00-01
SHEET: 3 OF 16
SHEET NO.: 3.0



PHASE PLAN:
SCALE: N.T.S.

GRAPHIC SCALE
1 INCH = 200 FT.

PROJECT SEQUENCING / TIME SCHEDULE OF CONSTRUCTION:

REFER TO THE PHASING PLAN OF THE CONCEPT PLAN FOR THE PROPOSED SEQUENCE OF CONSTRUCTION PHASES. PROPOSED PHASING IS SUBJECT TO MODIFICATIONS DUE TO CHANGED ECONOMIC, SOCIAL, MARKET OR DEMOGRAPHIC CONDITIONS. THE FOLLOWING IS THE PRELIMINARY TIME SCHEDULE OF CONSTRUCTION:

START	COMPLETION	36 MONTHS
PHASE 1	2019	36 MONTHS
PHASE 2	2020	12 MONTHS
PHASE 3	COMPLETED	
PHASE 4	2019	12 MONTHS
PHASE 5	2019	12 MONTHS
PHASE 6	2020	12 MONTHS
PHASE 7	2020	12 MONTHS
PHASE 8	2020	12 MONTHS
PHASE 9	2022	12 MONTHS
PHASE 10	2020	12 MONTHS

TND PERMISSIBLE USES:

(EXISTING UDC ZONING CLASSES):

NEIGHBORHOOD CENTER:
A1, A2, A2.1, A2.5, A2.6, A2.7, A3.1, A3.2, A3.3, NO, GDL, GDM, NC, NC-AB, LC1, LC2, LC3, C-AB-1, HCL1, HCL2

MIXED RESIDENTIAL:
A1, A2, A2.1, A2.5, A2.6, A2.7, A3.1, A3.2, A3.3, NO, NC

NEIGHBORHOOD EDGE:
A1, A2

EXCLUSIONS:
SERVICE STATIONS SELLING GASOLINE
BAR ROOMS ONLY

T.N.D. NOTES:

- 1) CONDITIONS, COVENANTS, AND RESTRICTIONS FOR ALL THE PROPERTY WITHIN A TND DISTRICT SHALL BE FILED IN THE PARISH RECORDS BY THE OWNER BEFORE A LOT IS SOLD AND/OR A BUILDING PERMIT IS ISSUED.
- 2) IN ADDITION TO OTHER TERMS AND CONDITIONS ACCEPTABLE TO THE APPLICANT, THE CONDITIONS, COVENANTS, AND RESTRICTIONS MUST CREATE ONE (1) OR MORE PROPERTY OWNERS ASSOCIATION WITH MANDATORY MEMBERSHIP FOR EACH PROPERTY OWNER, COVERED BY ARTICLES OF INCORPORATION AND BYLAWS, WHICH SHALL:
 - a) BE ORGANIZED BY THE APPLICANT AND OPERATED WITH A FINANCIAL SUBSIDY FROM THE APPLICANT BEFORE THE SALE OF ANY LOTS WITHIN THE TND.
 - b) PROVIDE FOR THE CONDITIONS AND TIMING OF TRANSFERRING CONTROL OF THE ASSOCIATION FROM THE APPLICANT TO THE PROPERTY OWNERS.
 - c) BE RESPONSIBLE FOR MAINTENANCE OF INSURANCE AND TAXES ON ALL COMMON OPEN SPACE, ENFORCEABLE BY LIENS PLACED ON THE ASSOCIATION BY THE PARISH, AS PROVIDED IN THE ASSOCIATION BYLAWS.
 - d) AT ALL TIMES, CAUSE ALL OWNERS TO HAVE ACCESS TO THE COMMON OPEN SPACE WITHIN THE TND.
 - e) ESTABLISH ARCHITECTURAL STANDARDS THAT ARE IN CONFORMITY WITH THE REQUIREMENTS OF THIS ORDINANCE WHICH SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE BOARD OF DIRECTORS OF THE ASSOCIATION OR THE ARCHITECTURAL CONTROL COMMITTEE, AS DESCRIBED BELOW.
 - f) CREATE AN ARCHITECTURAL CONTROL COMMITTEE TO REVIEW DEVELOPMENT FOR COMPLIANCE WITH THE DESIGN STANDARDS TO ISSUE CERTIFICATES OF APPROVAL AND TO REVIEW AND APPROVE THE DEVELOPER'S ARCHITECT DESIGNER AND/OR OTHER PROFESSIONALS CONTRIBUTING TO THE DEVELOPMENT.
 - g) PROVIDE FOR OWNERSHIP, DEVELOPMENT, MANAGEMENT AND MAINTENANCE OF PRIVATE OPEN SPACE (EXCEPT PLAZAS OWNED BY INDIVIDUAL PROPERTY OWNERS), COMMUNITY PARKING FACILITIES, COMMUNITY MEETING HALL, AND OTHER COMMON AREAS.
 - h) PROVIDE FOR A MAINTENANCE PROGRAM FOR ALL PROPERTY WITHIN THE TND, INCLUDING LANDSCAPING AND TREES WITHIN THE STREETScape.
 - i) REQUIRE THE COLLECTION OF ASSESSMENTS FROM MEMBERS BY AN AMOUNT SUFFICIENT TO PAY FOR ITS FUNCTIONS, AND TO BE EFFECTIVE FOR A TERM OF NOT LESS THAN FIFTY (50) YEARS.
- 3) DISABLED ACCESSIBILITY: SIDEWALKS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.

REQUIREMENTS FOR MIXED RESIDENTIAL USED & MIXED USE AREAS:
SINGLE-FAMILY DETACHED DWELLINGS SHALL ACCOUNT FOR AT LEAST FIFTY (50%) PERCENT OF THE TOTAL NUMBER OF RESIDENTIAL UNITS WITHIN THE TND DISTRICT. TWO-FAMILY UNITS, TOWNHOMES, AND MULTI-FAMILY UNITS SHALL COMPREHEND LESS THAN FIFTY (50%) PERCENT OF UNITS WITHIN THE TND DISTRICT.
IN AREAS DEVOTED TO MIXED RESIDENTIAL USES, THE NUMBER OF SINGLE-FAMILY ATTACHED AND DETACHED UNITS PERMITTED SHALL BE 5-8 DWELLING UNITS PER NET ACRE, THE NUMBER OF MULTI-FAMILY UNITS SHALL BE 8-40 DWELLING UNITS PER NET ACRE. THE NUMBER OF SECONDARY DWELLING UNITS SHALL NOT BE MORE THAN 20% OF THE TOTAL NUMBER OF SINGLE-FAMILY ATTACHED AND DETACHED UNITS IN MIXED-USE AREAS. THE NUMBER OF SINGLE-FAMILY ATTACHED AND DETACHED UNITS SHALL ALLOW 5-8 DWELLING UNITS PER NET ACRE PLUS AN ADDITIONAL NUMBER OF UNITS NOT TO EXCEED TEN (10%) PERCENT, THE NUMBER OF MULTI-FAMILY DWELLING UNITS SHALL BE 8-40 DWELLING UNITS PER NET ACRE PLUS AN ADDITIONAL NUMBER OF UNITS NOT TO EXCEED TEN (10%) PERCENT, THE NUMBER OF MULTI-FAMILY NON-RESIDENTIAL DEVELOPMENT USES, INCLUDING OFF-STREET PARKING AREAS, SHALL NOT EXCEED TWENTY-FIVE (25%) OF THE TND.

CENTRALIZED MAIL KIOSK:

FINAL LOCATION(S) OF CENTRALIZED MAIL KIOSK(S) WILL BE DETERMINED AT THE FINAL DEVELOPMENT PLAN PHASE AND AFTER COLLABORATION WITH THE UNITED STATES POST MASTER. PRELIMINARY LOCATION(S) ARE INDICATED HEREON AS (M).

CONNECTIVITY:

THOROUGHFARES AND UTILITIES WITHIN ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) WILL CONNECT TO EXISTING THOROUGHFARES AND UTILITIES, OR DEAD-END AS STUBS INTENDED FOR CONNECTION TO FUTURE THOROUGHFARES, UNLESS OTHERWISE PROHIBITED BY TOPOGRAPHY, ENVIRONMENTAL CONSTRAINTS OR OTHER CONSIDERATIONS.

MIXED USE AREA(S):

ALL RESIDENTS SHALL BE WITHIN APPROXIMATELY 1/4 MILE DISTANCE FROM EXISTING OR PROPOSED COMMERCIAL, CIVIC, AND OR OPEN SPACE. NINETY (90%) PERCENT OF THE LOTS WITHIN AREAS DEVOTED TO MIXED RESIDENTIAL USES SHALL BE WITHIN APPROXIMATELY 1/4 MILE OF COMMON OPEN SPACE AREAS.

PARKLAND AREAS:

TWENTY-FIVE (25%) PERCENT OF THE COMMON OPEN SPACE SHOWN HEREON WITHIN ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) WILL BE DEDICATED AS PARKLAND.

STREET OWNERSHIP AND MAINTENANCE:

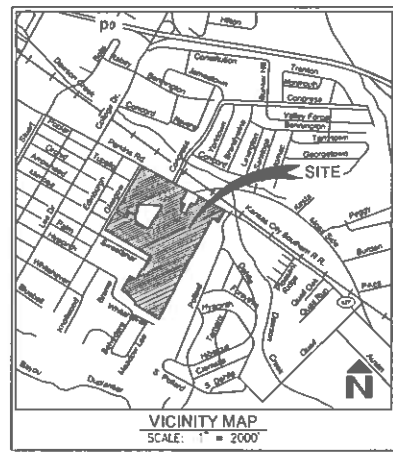
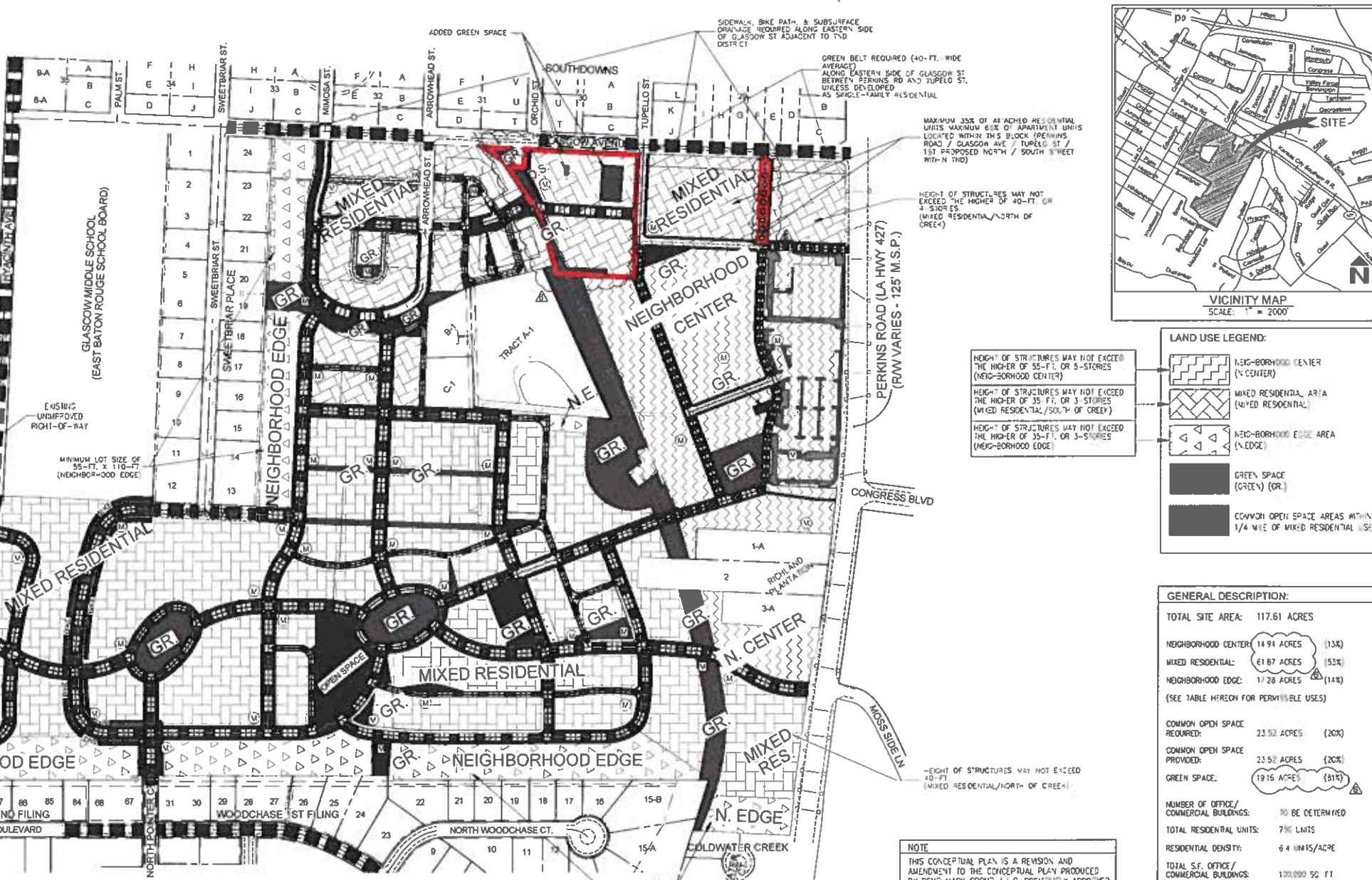
ALL STREETS, ALLEYS, AND PEDESTRIAN WAYS LOCATED WITHIN ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) AND DESIGNATED AS PUBLIC ON FINAL DEVELOPMENT PLANS SHALL BE DEDICATED FOR PUBLIC USE AFTER A ONE (1) YEAR MAINTENANCE PERIOD UPON COMPLETION OF CONSTRUCTION. ALL PUBLIC STREETS AND ALLEYS SHALL BE OWNED AND MAINTAINED BY THE EAST BATON ROUGE CITY/PARISH DEPARTMENT OF PUBLIC WORKS. A SMALLER PORTION OF STREETS, ALLEYS, AND PEDESTRIAN WAYS WITHIN THE TND WILL BE DESIGNATED AS PRIVATE ON FINAL DEVELOPMENT PLANS AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE ROUZAN PROPERTY OWNERS ASSOCIATION.

UTILITY FACILITY PROVISIONS:

PRELIMINARY PLANNING WITH THE APPROPRIATE UTILITY AGENCIES SERVING ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) INDICATES THAT ALL UTILITY AGENCIES (PRIVATE AND PUBLIC) HAVE EXISTING FACILITIES ON ADJACENT, OR IN PROXIMITY OF THE SUBJECT SITE THAT ARE CAPABLE OF SERVING THE DEVELOPMENT. THOSE UTILITY AGENCIES INCLUDE BATON ROUGE WATER COMPANY (WATER SUPPLY), ENTERGY CORP. (ELECTRICITY AND GAS), AT & T (TELEPHONE, CO-COMMUNICATIONS (CATV)), EAST BATON ROUGE CITY/PARISH DEPT. OF PUBLIC WORKS (SEWER AND DRAINAGE). UPON APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR EACH PHASE, THE OWNER/DEVELOPER WILL CONTRACT WITH THE APPROPRIATE UTILITY AGENCIES TO EXTEND AND/OR CONNECT EXISTING FACILITIES TO ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) TO PROVIDE ADEQUATE SERVICES WITHIN THE DEVELOPMENT.

EAST BATON ROUGE MASTER PLAN:

ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) IS A TRADITIONAL NEIGHBORHOOD DEVELOPMENT THAT INCORPORATES THE CONCEPTS AND DESIGN STANDARDS OF SMART GROWTH WITHIN A TRADITIONAL NEIGHBORHOOD DEVELOPMENT. ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) IS A DESTINATION DEVELOPMENT IN THAT THE DESIGN WILL ENCOURAGE MORE PEDESTRIAN AND BICYCLE TRAFFIC WITHIN THE DEVELOPMENT AND DE-EMPHASIZE THE TYPICAL VEHICULAR TRAFFIC PATTERNS OF TYPICAL SUBURBAN DEVELOPMENTS. INCORPORATING THE VARIOUS LAND USES (RESIDENTIAL, COMMERCIAL, PUBLIC) WITHIN ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) FOLLOWS THE GOALS OF SMART GROWTH DEVELOPMENT. THE STREET DESIGN IS THAT OF TRADITIONAL NEIGHBORHOOD DEVELOPMENTS AND PROVIDES A TRAFFIC CALMING WHEN COMPARED TO TYPICAL STREET DEVELOPMENTS. THE CONNECTIVITY OF STREETS WITHIN ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) TO THE EXISTING STREET NETWORK ADJACENT TO THE SUBJECT PROPERTY IS IN COMPLIANCE WITH THE GOALS AND PURPOSES OF DEVELOPMENT FOR EAST BATON ROUGE PARISH.



LAND USE LEGEND:

- NEIGHBORHOOD CENTER (N CENTER)
- MIXED RESIDENTIAL AREA (MIXED RESIDENTIAL)
- NEIGHBORHOOD EDGE AREA (N EDGE)
- GREEN SPACE (GREEN) (GR)
- COMMON OPEN SPACE AREAS WITHIN 1/4 MILE OF MIXED RESIDENTIAL USES

HEIGHT OF STRUCTURES MAY NOT EXCEED THE HIGHER OF 35-FT. OR 3-STORIES (MIXED RESIDENTIAL/SOUTH OF CREEK)

HEIGHT OF STRUCTURES MAY NOT EXCEED THE HIGHER OF 35-FT. OR 3-STORIES (NEIGHBORHOOD EDGE)

HEIGHT OF STRUCTURES MAY NOT EXCEED THE HIGHER OF 35-FT. OR 3-STORIES (NEIGHBORHOOD CENTER)

GENERAL DESCRIPTION:

TOTAL SITE AREA:	117.61 ACRES
NEIGHBORHOOD CENTER:	14.94 ACRES (13%)
MIXED RESIDENTIAL:	61.67 ACRES (53%)
NEIGHBORHOOD EDGE:	17.28 ACRES (15%)
(SEE TABLE HEREON FOR PERMISSIBLE USES)	
COMMON OPEN SPACE REQUIRED:	23.52 ACRES (20%)
COMMON OPEN SPACE PROVIDED:	23.52 ACRES (20%)
GREEN SPACE:	19.16 ACRES (16%)
NUMBER OF OFFICE/COMMERCIAL BUILDINGS:	TO BE DETERMINED
TOTAL RESIDENTIAL UNITS:	796 UNITS
RESIDENTIAL DENSITY:	6.4 UNITS/ACRE
TOTAL S.F. OFFICE/COMMERCIAL BUILDINGS:	1,000,000 SQ. FT.

NOTE
THIS CONCEPTUAL PLAN IS A REVISION AND AMENDMENT TO THE CONCEPTUAL PLAN PRODUCED BY BENCH-MARK GROUP, L.L.C. PREVIOUSLY APPROVED BY THE METRO COUNCIL ON 05/14/2014 AND MOST RECENTLY REVISED BY S-B GROUP, L.L.C. AND APPROVED BY PLANNING STAFF ON 11/5/2016.

NOTE
CIRC USE ALLOWED TO BE INCLUDED UNDER NEIGHBORHOOD CENTER PER UDC 8.217.B.3

CONCEPTUAL LAND USE DENSITY:

	ACREAGE	L.D.R. UNITS	L.D.R. DENSITY (UNITS/AC.)	M.D.R. UNITS	M.D.R. DENSITY (UNITS/AC.)	H.D.R. UNITS	H.D.R. DENSITY (UNITS/AC.)	COM./OFF. (\$0 /1. AC)
NEIGHBORHOOD CENTER:	14.94 AC.	0-	0-	225	15.0	0-	0-	100,000
MIXED RESIDENTIAL (LOW DENSITY)	3.41 AC.	17	5.0	0-	0-	0-	0-	0-
MIXED RESIDENTIAL (MEDIUM DENSITY)	58.46 AC.	0-	0-	402	6.9	0-	0-	0-
NEIGHBORHOOD EDGE:	17.28 AC.	105	6.1	0-	N/A	0-	N/A	0-
COMMON OPEN SPACE:	23.52 AC.	N/A	N/A	N/A	N/A	N/A	N/A	N/A
T.N.D. TOTALS:	117.61 AC.	105	0.9	644	5.5	0-	0-	100,000

LOW DENSITY RESIDENTIAL (L.D.R.) (LESS THAN 8 UNITS/ACRE)
MEDIUM DENSITY RESIDENTIAL (M.D.R.) (8 - 17 UNITS/ACRE)
HIGH DENSITY RESIDENTIAL (H.D.R.) (GREATER THAN 17 UNITS/ACRE)
COMMERCIAL/OFFICE (COM./OFF.) 50 FT. x 100 FT. FOOTPRINT ONLY

ALLOWABLE RESIDENTIAL UNITS:
SINGLE-FAMILY: 378 UNITS
TWO-FAMILY: 4 UNITS
CONDO: 77 UNITS
MULTI-FAMILY: 193 UNITS

PRELIMINARY
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION.
REVISED BY: [Signature]



Corey Blanchard
3/31/19

SHEET NUMBER **4.0**

PARISH/COUNTY EAST BATON ROUGE
CITY BATON ROUGE
PROJECT 11-1093.5

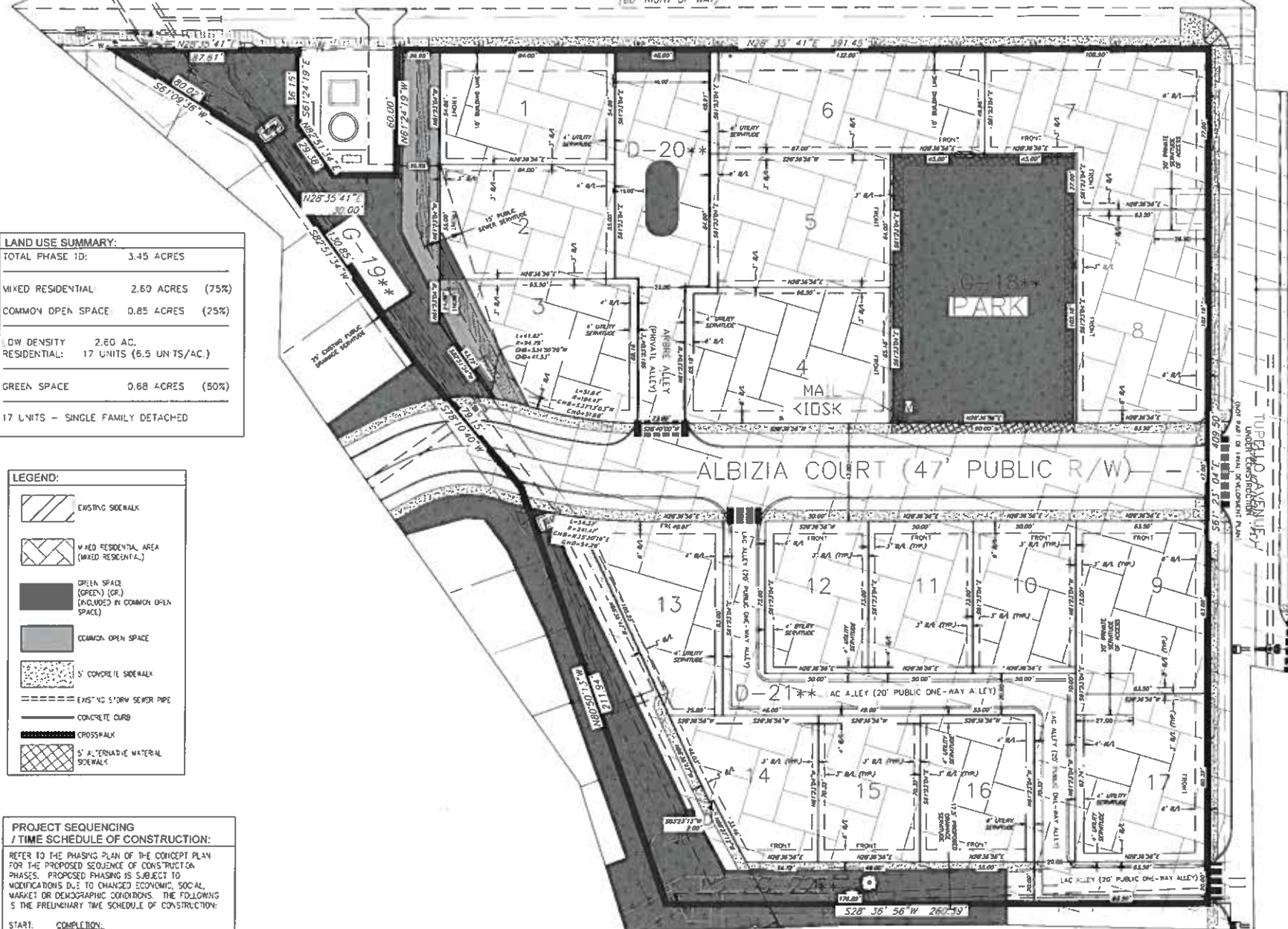
ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT
PHASE 1D - FINAL DEVELOPMENT PLAN

APPROVED CONCEPT PLAN

SIB GROUP, LLC
C O R P O R A T I O N
S U B S I D I A R Y O F S I B G R O U P I N C O R P O R A T E D
200 PINE LAKE DRIVE, SUITE 300, BATON ROUGE, LOUISIANA 70802-4728
713.333.9900

NO.	DESCRIPTION	DATE	SHEET
4	REVISED PER SITE ADJUSTMENTS	11/7/18	4 OF 16
5	REVISED LAND USE, UTILITY LINES FOR REALITY AND UPDATED CALCULATIONS	11/21/18	4 OF 16
6	EXTENDED ROUZAN SQUARE TO CLAUDE AVE. AND LAND USE CHANGES/UPDATED SHEETS	01-31-19	4 OF 16

GLASGOW AVENUE 60' PUBLIC R/W (EXISTING)
(60' RIGHT OF WAY)



LAND USE SUMMARY:

TOTAL PHASE 1D:	3.45 ACRES
MIXED RESIDENTIAL:	2.60 ACRES (75%)
COMMON OPEN SPACE:	0.85 ACRES (25%)
LOW DENSITY RESIDENTIAL:	2.60 AC. (6.5 UNITS/AC.)
GREEN SPACE:	0.68 ACRES (50%)
17 UNITS - SINGLE FAMILY DETACHED	

LEGEND:

[Symbol]	EXISTING SIDEWALK
[Symbol]	MIXED RESIDENTIAL AREA (MIXED RESIDENTIAL)
[Symbol]	OPEN SPACE (GREEN) OR (ENCLOSED IN COMMON OPEN SPACE)
[Symbol]	COMMON OPEN SPACE
[Symbol]	5' CONCRETE SIDEWALK
[Symbol]	EXISTING 8" DRAIN SEWER PIPE
[Symbol]	CONCRETE CURB
[Symbol]	CROSSWALK
[Symbol]	5' ALTERNATIVE MATERIAL SIDEWALK

PROJECT SEQUENCING / TIME SCHEDULE OF CONSTRUCTION:

REFER TO THE PHASING PLAN OF THE CONCEPT PLAN FOR THE PROPOSED SEQUENCE OF CONSTRUCTION PHASES. PROPOSED PHASING IS SUBJECT TO MODIFICATIONS DUE TO CHANGED ECONOMIC, SOCIAL, MARKET OR DEMOGRAPHIC CONDITIONS. THE FOLLOWING IS THE PRELIMINARY TIME SCHEDULE OF CONSTRUCTION:

START	COMPLETION	36 MONTHS
PHASE 1	2019	12 MONTHS
PHASE 2	2020	12 MONTHS
PHASE 3	COMPLETED	
PHASE 4	2019	12 MONTHS
PHASE 5	2019	12 MONTHS
PHASE 6	2020	12 MONTHS
PHASE 7	2020	12 MONTHS
PHASE 8	2020	12 MONTHS
PHASE 9	2022	12 MONTHS
PHASE 10	2020	12 MONTHS

STATEMENT OF OBJECTIVES:

ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) HAS AN OVERALL PROJECT AREA OF 117.61 ACRES WITH THE FINAL DEVELOPMENT PLAN FOR PHASE 1D CONTAINING 3.45 ACRES OF THE TOTAL 24.27 ACRES OF PHASE 1 (PHASE 1D ONLY) WHICH IS A PORTION OF TRACTS R2-3-C, R2-3-E, AND R2-3-B. THE NUMBER OF ACRES DEVOTED TO THE VARIOUS CATEGORIES OF LAND USE SHOWN ON THE FINAL DEVELOPMENT PLAN FOR PHASE 1D IS AS FOLLOWS: MIXED RESIDENTIAL - 2.63 ACRES (75%) AND OPEN SPACE - 0.85 ACRES (25%). THE USES PROPOSED FOR PHASE 1D WILL COMPLY WITH THE ZONING CLASSES APPROVED UNDER THE CONCEPT PLAN FOR ROUZAN TND.

ROUZAN TND FINAL DEVELOPMENT PLAN FOR PHASE 1D WILL CONSIST OF SEVENTEEN (17) RESIDENTIAL UNITS (17 LOTS). THE RESIDENTIAL BREAKDOWN IS 17 LOW DENSITY RESIDENTIAL UNITS. PHASE 1D WILL CONTAIN ZERO (0) SQUARE FEET OF OFFICE/COMMERCIAL/INDUSTRY. THE TYPE OF USES TO BE CONSTRUCTED AS DETERMINED BY THE PERSONAL.

THE SEQUENCING OF THE CONSTRUCTION IS AN ANTICIPATED START: CONSISTING OF CLEARING AND EARTHWORKS OF PHASE 1D WITHIN THE FIRST QUARTER OF 2019 WITH THE COMPLETION OF PHASE 1D INFRASTRUCTURE BY THE FOURTH QUARTER OF 2019.

THE STREETS/ROADS/PEDESTRIAN PATHS LOCATED WITHIN THE MIXED RESIDENTIAL AREAS SHOWN ON THE FINAL DEVELOPMENT PLAN FOR PHASE 1D ARE PROPOSED TO BE DEDICATED TO THE PUBLIC FOR OWNERSHIP AND MAINTENANCE. A SMALLER PORTION OF STREETS, ALLEYS AND PEDESTRIAN PATHWAYS WITHIN THE TND WILL BE DEDICATED AS PRIVATE ON FINAL DEVELOPMENT PLAN AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE ROUZAN PROPERTY OWNERS ASSOCIATION.

THE METHOD OF GOVERNING THE USE, MAINTENANCE AND CONTROL PROTECTION OF THE COMMON AREA AND COMMON UTILITY FACILITIES WILL BE ESTABLISHED BY THE ROUZAN COMMUNITY OPERATING AGREEMENT WHICH HAS BEEN OR WILL BE RECEIVED WITH THE OFFICE OF THE CLERK OF COURT OF EAST BATON ROUGE PARISH, STATE OF LOUISIANA (THE "COMMUNITY OPERATING AGREEMENT").

SEPARATE DECLARATIONS FOR THE RESIDENTIAL PROPERTY OF THIS ROUZAN (THE RESIDENTIAL DECLARATIONS) AND THE BUSINESS DISTRICT WITHIN ROUZAN (THE NON-RESIDENTIAL DECLARATIONS) HAS BEEN OR WILL BE RECORDED TO CREATE A RESIDENTIAL OWNERS ASSOCIATION (THE "ROUZAN-ORHOOD ASSOCIATION") TO REGULATE AND MAINTAIN THE RESIDENTIAL PORTIONS OF ROUZAN AND CREATE A BUSINESS OWNERS ASSOCIATION (THE "BUSINESS ASSOCIATION") TO REGULATE AND MAINTAIN THE COMMERCIAL PORTIONS OF ROUZAN IN ACCORDANCE WITH THE NEEDS OF ROUZAN AS MET PRIMARILY BY THESE TWO SEPARATE ENTITIES.

UNDER THE TERMS OF THE RESIDENTIAL DECLARATION, THE NEIGHBORHOOD ASSOCIATION WILL MAINTAIN ALL OF THE NEIGHBORHOOD COMMONS INCLUDING OPEN SPACE, ALLEYS, PARKS, AND RECREATIONAL FACILITIES. THE NEIGHBORHOOD ASSOCIATION ALSO HELPS PRESERVE THE NEIGHBORHOOD CHARACTER BY FACILITATING NEIGHBORHOOD DISCUSSION, STIMULATING AN UNDERSTANDING OF THE NEIGHBORHOOD GOALS AND ENFORCING THE COVENANTS WHEN NECESSARY.

THE BUSINESS ASSOCIATION MEETS THE SPECIAL NEEDS OF THE COMMERCIAL PROPERTIES WITHIN ROUZAN, AS PROVIDED BY THE ROUZAN NON-RESIDENTIAL DECLARATION. THE BUSINESS ASSOCIATION PROVIDES COMMERCIAL-TYPE MAINTENANCE AND SERVICES APPROPRIATE TO THE BUSINESS INCLUDING MAINTAINING ALL OF THE BUSINESS COMMON AREAS OR BUSINESS COMMONS WHICH INCLUDE OPEN SPACES, ALLEYS, PARKS, AND RECREATIONAL FACILITIES. THE BUSINESS ASSOCIATION MAY ALSO FUNCTION AS A MERCHANDISE ASSOCIATION FOR ADVERTISING AND BUSINESS DEVELOPMENT. TOGETHER, THE NEIGHBORHOOD COMMONS AND THE BUSINESS COMMONS SHALL CONSTITUTE THE "ROUZAN COMMONS".



CENTRALIZED MAIL KIOSK
LOCATION OF MAIL KIOSK WILL BE DETERMINED AFTER COLLABORATION WITH UNITED STATES POST SERVICE. THE PROPOSED LOCATIONS ARE INDICATED AS @ MAIL KIOSK. SHALL BE 82" IN HEIGHT. STREET PARKING ACCESS FOR MAIL KIOSK PROVIDED.

CROSSWALKS:
CROSSWALKS SHALL BE DESIGNED WITH CLEARLY DEFINED EDGES, YELLOW LIT AND CLEARLY MARKED WITH CONTRASTING PAVING MATERIALS.

OFF-STREET PARKING:
N/A - THE PHASE SHOWN HEREON WILL HAVE SINGLE-FAMILY RESIDENTIAL USES ONLY.

ARCHITECTURAL GUIDELINES:
FOR ARCHITECTURAL GUIDELINES REFER TO THE GUIDELINES FOR ROUZAN TND. SUBMITTED AS A SUPPLEMENTAL DOCUMENT TO THE CONCEPT PLAN FOR ROUZAN TND.

SITE LIGHTING:
REFERENCE PLAN FOR APPROXIMATE LOCATION OF STREET LIGHTING. LOCATION IS SUBJECT TO ENGINEERING DESIGN. STREET LIGHTS SHALL BE 8'-8" ABOVE GRADE WITH A LANTERN STYLE FIXTURE (OF ANGLE). SEE SUPPLEMENTAL DOCUMENTATION FOR STREET LIGHTING SPECIFICATIONS.

SIDEWALKS:
SIDEWALKS SHOWN HEREON SHALL BE A MINIMUM OF 5'-1" WIDE, CONSTRUCTED WITH 4"-THICK CONCRETE, AND SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. SIDEWALK ON TRACT C-18 TO BE ALTERNATIVE MATERIAL FOR TREE PRESERVATION.

REFUSE AREAS:
THIS SECTION IS NOT APPLICABLE.
(NO COMMERCIAL BUILDINGS ARE PROPOSED WITHIN THIS PHASE)

COMMERCIAL BUILDINGS:
THIS SECTION IS NOT APPLICABLE.
(NO COMMERCIAL BUILDINGS ARE PROPOSED WITHIN THIS PHASE)

TRASH/GARBAGE MAINTENANCE:
TRASH/GARBAGE WILL BE COLLECTED BY EACH ADJACENT LOT OWNER USING THE CITY/PARISH PROVIDED TRASH RECEPTOR AND PLACED CURBSIDE FOR COLLECTION BY THE CITY/PARISH ON THE SCHEDULED DATE(S) OF EACH WEEK.

SIGNAGE:
SIGNAGE SHALL INCLUDE "LOCAL TRAFFIC CONTROL" AND "STREET DEDICATION" SIGNAGE FOR PUBLIC STREETS THAT SHALL ADHERE TO THE ARCHITECTURAL STANDARDS SET FORTH BY THE ROUZAN DESIGN GUIDELINES AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. LOCATION WILL BE DETERMINED UPON DETAILED ENGINEER DESIGN. NO SUBDIVISION SIGNAGE PROPOSED.

BUILDING HEIGHT:
MAXIMUM HEIGHT OF RESIDENCES: 35'
MAXIMUM STORES: 3-STORIES

MINIMUM SETBACKS:

FRONT YARD:	REAR YARD:	SIDE YARD:	SIDE YARD FACING STREET:
5-FT: LOTS 9-17	10-FT: LOTS 1-8	5-FT: LOTS 9, 11	5-FT: LOTS 1-17
3-FT: LOTS 1-8	6-FT: LOTS 9-17	3-FT: LOTS 1-17	6-FT: LOTS 1-17
4-FT: LOTS 1-17	6-FT: LOTS 1-17	4-FT: LOTS 1-17	4-FT: LOTS 1-17

TND NOTES:

- 1) CONDITIONS, COVENANTS AND RESTRICTIONS FOR ALL THE PROPERTY WITHIN A TND DISTRICT SHALL BE FILED IN THE PARISH RECORDS BY THE OWNER BEFORE A LOT IS SOLD AND/OR A BUILDING PERMIT IS ISSUED.
- 2) IN ADDITION TO OTHER TERMS AND CONDITIONS ACCEPTABLE TO THE APPLICANT, THE CONDITIONS, COVENANTS AND RESTRICTIONS MUST OPERATE ONE (1) OR MORE PROPERTY OWNERS ASSOCIATION WITH MEMBERSHIP FOR EACH PROPERTY OWNER, GOVERNED BY ARTICLES OF INCORPORATION AND BYLAWS, WHICH SHALL:
 - a) BE ORGANIZED BY THE APPLICANT AND OPERATED WITH A FINANCIAL SLURRY FROM THE APPLICANT BEFORE THE SALE OF ANY LOTS WITHIN THE TND.
 - b) PROVIDE FOR THE CONDITIONS AND TERMS OF TRANSFERING CONTROL OF THE ASSOCIATION FROM THE APPLICANT TO THE PROPERTY OWNERS.
 - c) BE RESPONSIBLE FOR MAINTENANCE OF INSURANCE AND TAXES ON ALL COMMON OPEN SPACE, ENFORCEABLE BY LENS PLACED ON THE ASSOCIATION BY THE PARK, AS PROVIDED IN THE ASSOCIATION BYLAWS.
 - d) ALL TIMES CAUSE ALL OWNERS TO HAVE ACCESS TO THE COMMON OPEN SPACE WITHIN THE TND.
 - e) ESTABLISH ARCHITECTURAL STANDARDS THAT ARE IN CONFORMITY WITH THE REQUIREMENTS OF THIS ORDINANCE WHICH SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE BOARD OF DIRECTORS OF THE ASSOCIATION OF THE ARCHITECTURAL CONTROL COMMITTEE, AS DESCRIBED BELOW.
 - f) CREATE AND ARCHITECTURAL CONTROL COMMITTEE TO REVIEW DEVELOPMENT FOR COMPLIANCE WITH THE DESIGN STANDARDS TO ISSUE CERTIFICATES OF APPROVAL AND TO REVIEW AND APPROVE THE DEVELOPMENT'S ARCHITECT, DESIGNER AND/OR OTHER PROFESSIONALS CONTRIBUTING TO THE DEVELOPMENT.
 - g) PROVIDE FOR OWNERSHIP, DEVELOPMENT, MANAGEMENT, AND MAINTENANCE OF PRIVATE OPEN SPACE (EXCEPT PLAZAS OWNED BY INDIVIDUAL PROPERTY OWNERS) COMPLIANT PARKING FACILITIES, COMMUNITY MEETING HALL, AND OTHER COMMON AREA.
 - h) PROVIDE FOR A MAINTENANCE PROGRAM FOR ALL PROPERTY WITHIN THE TND INCLUDING LANDSCAPING AND TREES WITHIN THE STREETScape.
 - i) PROVIDE THE COLLECTION OF ASSESSMENTS FROM MEMBERS IN AN AMOUNT SUFFICIENT TO PAY FOR ITS FUNCTIONS; AND
 - j) BE EXTENSIVE FOR A TERM OF NOT LESS THAN FIFTY (50) YEARS.

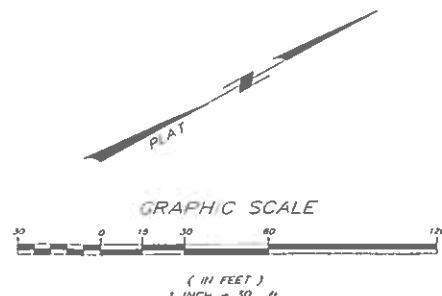
REGISTERED PROFESSIONAL:

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NOTES:

1. ALL LOTS ARE LOW DENSITY RESIDENTIAL. LDR IS CLASSIFIED AS BEING LESS THAN 8 UNITS/ACRE DENSITY FOR PHASE 1D IS 17 LOTS/3.41 AC. = 5.00 UNITS/AC. GREEN SPACE IS LOCATED WITHIN COMMON OPEN SPACE CALCULATIONS.
2. LOTS LABELED AS G-18, G-19, D-20, AND D-21 DENOTES LOTS THAT NO BUILDINGS WILL BE CONSTRUCTED ON.
3. IF A FRONT-LOAD GARAGE IS PROVIDED, THE GARAGE DOORS SHALL BE SET BACK AT LEAST 21 FEET FROM THE STREET. SEE PAGE 6-70.
4. NO NEIGHBORHOOD SIGN IS PROPOSED IN THIS PHASE.

PRELIMINARY
NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.
2019-08-10-0000 11:47 AM '19



SHEET NUMBER **5.0**

PARISH/COUNTY: EAST BATON ROUGE
CITY: BATON ROUGE
PROJECT: 11405.8

ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT PHASE 1D - FINAL DEVELOPMENT PLAN

FINAL DEVELOPMENT PLAN

STB GROUP, LLC
SUBMITTED BY
CLAUDE B. DESIGNE
REGISTERED PROFESSIONAL ENGINEER
1229 PINE BLVD., SUITE 304
BATON ROUGE, LA 70801-1137

DESIGNED BY: []
CHECKED BY: []
DATE: 2-28-19
SHEET: 5 OF 10

C:\WORK\11405.8\11405.8_FINAL_DEVELOPMENT_PLAN\11405.8_FINAL_DEVELOPMENT_PLAN.dwg 2019-08-10 11:47 AM

LAND USE SUMMARY:		
TOTAL PHASE 1D:	3.45 ACRES	
MIXED RESIDENTIAL:	2.60 ACRES (75%)	
COMMON OPEN SPACE:	0.85 ACRES (25%)	
LOW DENSITY RESIDENTIAL:	2.60 AC. : 7 UNITS (6.5 UNITS/AC.)	
GREEN SPACE:	0.68 ACRES (80%)	
17 UNITS - SINGLE FAMILY DETACHED		

LEGEND:	
	EXISTING SIDEWALK
	MIXED RESIDENTIAL AREA (MIXED RESIDENTIAL)
	GREEN SPACE (GREEN) (GR) (INCLUDED IN COMMON OPEN SPACE)
	COMMON OPEN SPACE
	3" CONCRETE SIDEWALK
	EXISTING STORM SEWER PIPE
	CONCRETE CURB
	CROSSWALK
	3" ALTERNATIVE WATER SIDEWALK

PROJECT SEQUENCING / TIME SCHEDULE OF CONSTRUCTION:		
REFER TO THE PHASING PLAN OF THE CONCEPT PLAN FOR THE PROPOSED SEQUENCE OF CONSTRUCTION. PHASES PROPOSED PHASING IS SUBJECT TO MODIFICATIONS DUE TO CHANGED ECONOMIC, SOCIAL, MARKET OR DEMOGRAPHIC CONDITIONS. THE FOLLOWING IS THE PRELIMINARY TIME SCHEDULE OF CONSTRUCTION:		
START:	COMPLETION:	
PHASE 1	2019	36 MONTHS
PHASE 2	2021	12 MONTHS
PHASE 3	COMPLETED	
PHASE 4	2019	12 MONTHS
PHASE 5	2019	12 MONTHS
PHASE 6	2020	12 MONTHS
PHASE 7	2020	12 MONTHS
PHASE 8	2020	12 MONTHS
PHASE 9	2022	12 MONTHS
PHASE 10	2022	12 MONTHS

STATEMENT OF OBJECTIVES:

ROUZAN NEIGHBORHOOD DEVELOPMENT (PHASE 1D) HAS AN OVERALL PROJECT AREA OF 117.61 ACRES WITH THE FINAL DEVELOPMENT PLAN FOR PHASE 1D CONTAINING 3.45 ACRES OF THE TOTAL 34.27 ACRES OF PHASE 1 (PHASE 1D ONLY) WHICH IS A PORTION OF TRACTS RE-1-C, RE-2-C, RE-3-C, AND RE-4-C. THE NUMBER OF ACRES DEVOTED TO THE VARIOUS CATEGORIES OF LAND USE SHOWN ON THE FINAL DEVELOPMENT PLAN FOR THE PHASE 1D IS AS FOLLOWS: MIXED RESIDENTIAL - 2.60 ACRES (75%) AND OPEN SPACE - 0.85 ACRES (25%). THE USES PROPOSED FOR PHASE 1D SHALL COMPLY WITH THE ZONING CLASSES APPROVED WITH THE CONCEPT PLAN FOR ROUZAN, L.L.C.

ROUZAN 1D-B, FINAL DEVELOPMENT PLAN FOR PHASE 1D WILL CONSIST OF SEVENTEEN (17) RESIDENTIAL UNITS (17 UNITS). THE RESIDENTIAL BREAK-DOWN IS 17 LOW DENSITY RESIDENTIAL UNITS. PHASE 1D WILL CONTAIN ZERO (0) SQUARE FEET OF OFFICE/COMMERCIAL/INDUSTRIAL USAGE. THE TYPE OF USES TO BE CONSTRUCTED AS FOLLOWS ARE RESIDENTIAL.

THE SEQUENCING OF THE CONSTRUCTION IS AN ANTICIPATED START CONSISTING OF CLEARING AND EARTHWORKS OF PHASE 1D WITHIN THE FIRST QUARTER OF 2019 WITH THE COMPLETION OF PHASE 1D INFRASTRUCTURE BY THE FOURTH QUARTER OF 2019.

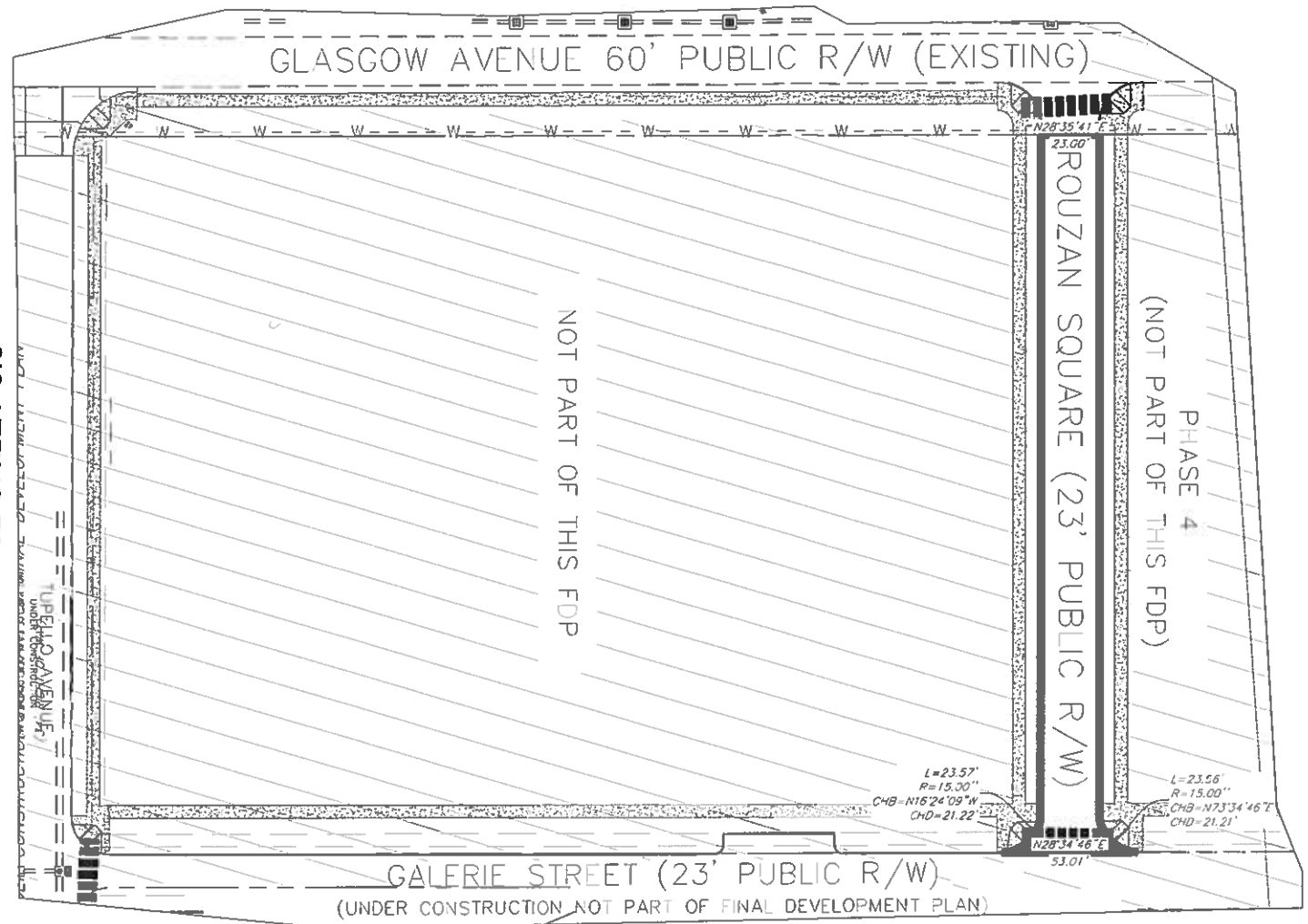
THE SIDEWALKS/BIKEWAYS/PEDESTRIAN PATHS LOCATED WITHIN THE MIXED RESIDENTIAL AREAS SHOWN ON THE FINAL DEVELOPMENT PLAN FOR PHASE 1D ARE PROPOSED TO BE DEDICATED TO THE PUBLIC FOR OWNERSHIP AND MAINTENANCE. A SMALLER PORTION OF SIDEWALKS, ALLEYS, AND PEDESTRIAN PATHS WITHIN THE MIXED RESIDENTIAL AREAS WILL BE PRIVATELY OWNED AND MAINTAINED BY THE ROUZAN PROPERTY OWNERS ASSOCIATION.

THE METHOD OF OPERATING THE USE, MAINTENANCE, AND CONTINUED PROTECTION OF THE COMMON AREA AND COMMON SERVICES FACILITIES WILL BE ESTABLISHED BY THE ROUZAN COMMUNITY OPERATING AGREEMENT WHICH HAS BEEN OR WILL BE RECORDERD WITH THE OFFICE OF THE CLERK OF BASTON ROUGE PARISH, STATE OF LOUISIANA (THE "COMMUNITY OPERATING AGREEMENT").

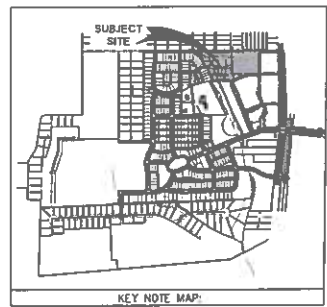
SEPARATE DECLARATIONS FOR THE RESIDENTIAL PROPERTY WITHIN ROUZAN (THE "RESIDENTIAL DECLARATION") AND THE BUSINESS DISTRICT WITHIN ROUZAN (THE "NON-RESIDENTIAL DECLARATION") HAS BEEN OR WILL BE RECORDERD TO CREATE A RESIDENTIAL OWNERS ASSOCIATION (THE "NEIGHBORHOOD ASSOCIATION") TO REGULATE AND MAINTAIN THE RESIDENTIAL PORTIONS OF ROUZAN AND CREATE A BUSINESS OWNERS ASSOCIATION (THE "BUSINESS ASSOCIATION") TO REGULATE AND MAINTAIN THE COMMERCIAL PORTIONS OF ROUZAN AS SET FORTH IN THESE TWO SEPARATE COVENANTS.

UNDER THE TERMS OF THE RESIDENTIAL DECLARATION, THE NEIGHBORHOOD ASSOCIATION MANAGES ALL OF THE NEIGHBORHOOD ASSOCIATION COMMON AREAS, OR NEIGHBORHOOD COMMONS, INCLUDING OPEN SPACE, ALLEYS, PARKS, AND RECREATIONAL FACILITIES. THE NEIGHBORHOOD ASSOCIATION ALSO HELPS PRESERVE THE NEIGHBORHOOD CHARACTER BY FACILITATING NEIGHBORHOOD DISCUSSION, SIMILAR TO AN "ADJUDICATION" OF THE NEIGHBORHOOD GOALS AND ENFORCING THE COVENANTS WHEN NECESSARY.

THE BUSINESS ASSOCIATION MEETS THE SPECIAL NEEDS OF THE COMMERCIAL PROPERTIES WITHIN ROUZAN AS PROVIDED BY THE ROUZAN NON-RESIDENTIAL DECLARATION. THE BUSINESS ASSOCIATION PROVIDES COMMERCIAL-TYPE MAINTENANCE AND SERVICES APPROPRIATE TO THE BUSINESS INCLUDING MAINTAINING ALL OF THE BUSINESS COMMON AREAS OR BUSINESS COMMONS WHICH INCLUDE OPEN SPACES, ALLEYS, PARKS, AND RECREATIONAL FACILITIES. THE BUSINESS ASSOCIATION MAY ALSO FUNCTION AS A MERCHANTS ASSOCIATION FOR ADVERTISING AND BUSINESS DEVELOPMENT. TOGETHER, THE NEIGHBORHOOD COMMONS AND THE BUSINESS COMMONS SHALL CONSTITUTE THE "ROUZAN COMMONS".



SEE SHEET 5.0



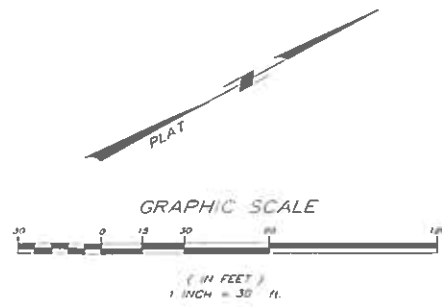
CENTRALIZED MAIL KIOSK:
LOCATION OF MAIL KIOSK WILL BE DETERMINED AFTER COLLABORATION WITH UNITED STATES POST MASTER. PRELIMINARY LOCATIONS ARE INDICATED AS @. MAIL KIOSK SHALL BE 12' IN HEIGHT. STREET PARKING ACCESS FOR MAIL KIOSK REQUIRED.

- CROSSWALKS:**
CROSSWALKS SHALL BE DESIGNED WITH CLEARLY DEFINED CURBS, CURB HEIGHT OF 4" WITH MARKING WITH CONTRASTING PAVING MATERIALS.
- SITE LIGHTING:**
REFERENCE PLAN FOR APPROPRIATE LOCATION OF STREET LIGHTING LOCATION IS SUBJECT TO ENGINEERING DESIGN. STREET LIGHTS SHALL BE 8' FT. ABOVE GRADE WITH A LANTERN STYLE FIXTURE (IF APPLICABLE). SEE SUPPLEMENTAL SPECIFICATION FOR STREET LIGHTING SPECIFICATIONS.
- SIDEWALKS:**
SIDEWALKS SHOWN HEREON SHALL BE A MINIMUM OF 5'-11" WIDE, CONSTRUCTED WITH 4"-R-THICK CONCRETE, AND SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT.
- SIGNAGE:**
SIGNAGE SHALL INCLUDE TYPICAL TRAFFIC CONTROL AND STREET IDENTIFICATION SIGNAGE FOR PUBLIC STREETS THAT SHALL ADHERE TO THE ARCHITECTURAL STANDARDS SET FORTH BY THE ROUZAN DESIGN GUIDELINES AND THE MANUAL ON URBAN TRAFFIC CONTROL DEVICES. LOCATION WILL BE DETERMINED UPON DETAILED ENGINEERING DESIGN. NO SIGNAGE IS PROPOSED.
- NOTE:**
NO NEIGHBORHOOD SIGN IS PROPOSED FOR THIS PHASE.

- TND NOTES:**
- CONDITIONS, COVENANTS, AND RESTRICTIONS FOR ALL THE PROPERTY WITHIN A TRACT DISTRICT SHALL BE FILED IN THE PARISH RECORDS BY THE OWNER BEFORE A LOT IS SOLD AND/OR A BUILDING PERMIT IS ISSUED.
 - IN ADDITION TO OTHER TERMS AND CONDITIONS ACCEPTABLE TO THE APPLICANT, THE CONDITIONS, COVENANTS, AND RESTRICTIONS MUST OPERATE ONE (1) OR MORE PROPERTY OWNERS ASSOCIATION WITH MAJORITY MEMBERSHIP FOR EACH PROPERTY OWNER, GOVERNED BY ARTICLES OF INCORPORATION AND BYLAWS, WHICH SHALL:
 - BE OPERATED BY THE APPLICANT AND OPERATED WITH A FINANCIAL OBJECTIVE FROM THE APPLICANT BEFORE THE SALE OF ANY LOTS WITHIN THE TRACT;
 - PROVIDE FOR THE CONDITIONS AND TERMS OF TRANSFERRING CONTROL OF THE ASSOCIATION FROM THE APPLICANT TO THE PROPERTY OWNERS;
 - BE RESPONSIBLE FOR MAINTENANCE OF VARIANCE AND TAXES ON ALL COMMON OPEN SPACE, (ENFORCEABLE BY LIENS PLACED ON THE ASSOCIATION BY THE PARISH AS PROVIDED IN THE ASSOCIATION BYLAWS);
 - AT ALL TIMES, CAUSE ALL OWNERS TO HAVE ACCESS TO THE COMMON OPEN SPACE WITHIN THE TRACT;
 - ESTABLISH ARCHITECTURAL STANDARDS THAT ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THIS ORDINANCE WHICH SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE BOARD OF DIRECTORS OF THE ASSOCIATION OR THE ARCHITECTURAL CONTROL COMMITTEE, AS DESCRIBED BELOW;
 - CREATE AN ARCHITECTURAL CONTROL COMMITTEE TO REVIEW DEVELOPMENT FOR COMPLIANCE WITH THE DESIGN STANDARDS TO ISSUE CERTIFICATES OF APPROVAL, AND TO REVIEW AND APPROVE THE DEVELOPMENT'S ARCHITECTURAL DESIGN AND/OR OTHER PROFESSIONALS CONTRIBUTING TO THE DEVELOPMENT;
 - PROVIDE FOR OWNERSHIP, DEVELOPMENT, MANAGEMENT, AND MAINTENANCE OF PRIVATE OPEN SPACE (EXCEPT PLAZAS OWNED BY AND/OR PROPERTY OWNERS) COMMON PARKING FACILITIES, COMMUNITY MEETING HALL, AND OTHER COMMON AREAS;
 - PROVIDE FOR A MAINTENANCE PROGRAM FOR ALL PROPERTY WITHIN THE TRACT, INCLUDING LANDSCAPING AND TREES WITHIN THE STREETScape;
 - REQUIRE THE COLLECTION OF ASSESSMENTS FROM MEMBERS IN AN AMOUNT SUFFICIENT TO PAY FOR ITS FUNCTIONS; AND
 - BE EFFECTIVE FOR A TERM OF NOT LESS THAN FIFTY (50) YEARS.

REGISTERED PROFESSIONAL:
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PRELIMINARY
THIS DOCUMENT IS NOT FOR CONSTRUCTION OR BIDDING PURPOSES.
COUNTY ENGINEER



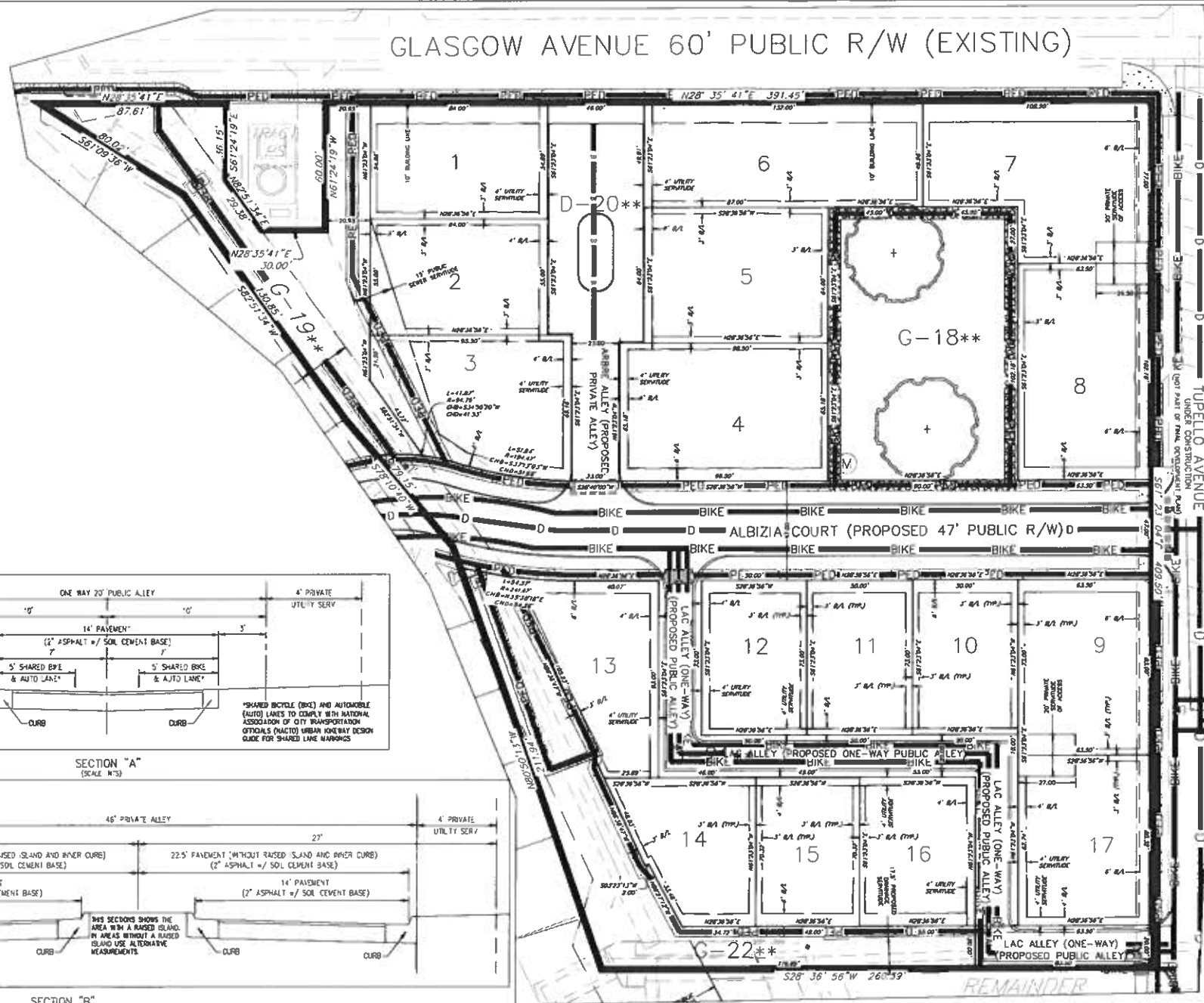
SHEET NUMBER	5.1
PARISH/COUNTY	ROUZAN
CITY	BATON ROUGE
PROJECT	11409 B
ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT PHASE 1D - FINAL DEVELOPMENT PLAN	
FINAL DEVELOPMENT PLAN	
DESIGNED	W.M.
CHECKED	C.B.
DETAILED	W.M.
CHECKED	C.B.
DATE	2-20-19
SHEET	6 OF 16

BY: *Corey Blawie* 2/20/19

GLASGOW AVENUE 60' PUBLIC R/W (EXISTING)

LEGEND:

	EXISTING TWO PHASE BOUNDARY
	EXISTING VEHICULAR ROUTES
	EXISTING BICYCLE ROUTES
	EXISTING PEDESTRIAN ROUTES
	PROPOSED VEHICULAR ROUTES (SECTION 'A')
	PROPOSED VEHICULAR ROUTES (SECTION 'B')
	PROPOSED VEHICULAR ROUTES (SECTION 'C')
	PROPOSED VEHICULAR ROUTES (SECTION 'D')
	PROPOSED VEHICULAR ROUTES (SECTION 'E')
	PROPOSED BICYCLE ROUTES
	PROPOSED PEDESTRIAN ROUTES
	5' PROPOSED CONCRETE SIDEWALK
	5' ALTERNATE MATERIAL SIDEWALK

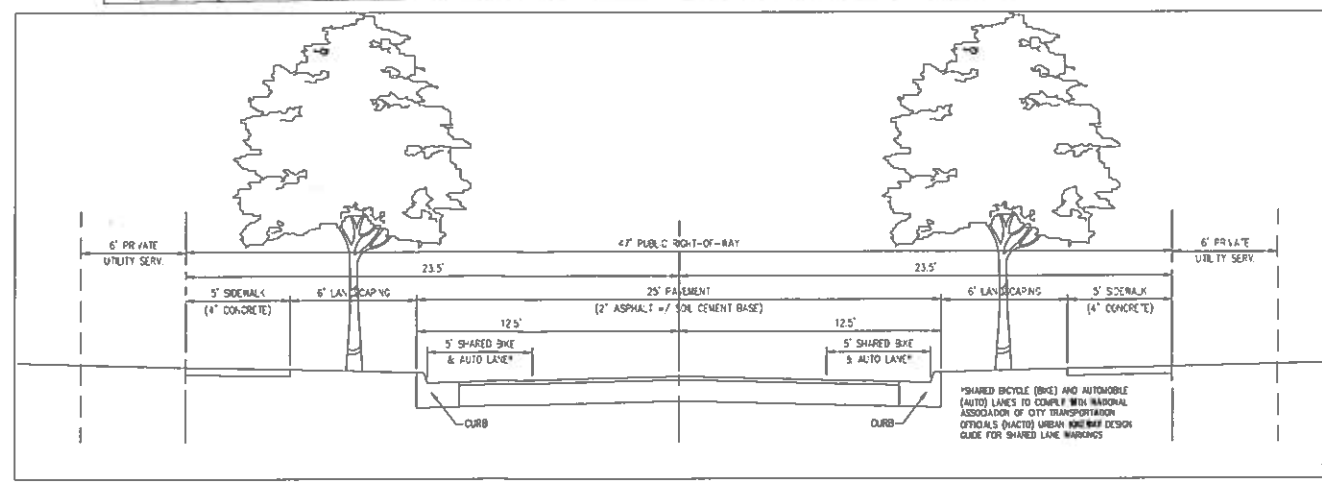
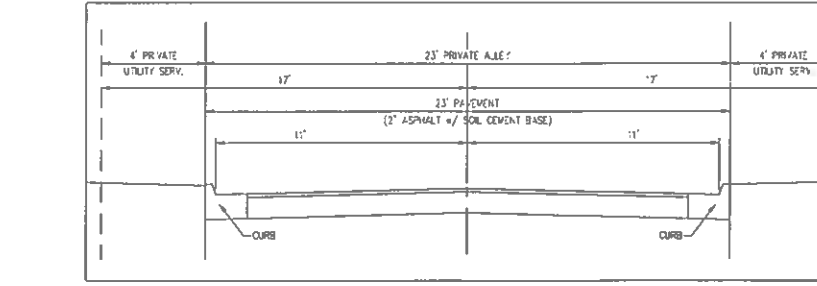
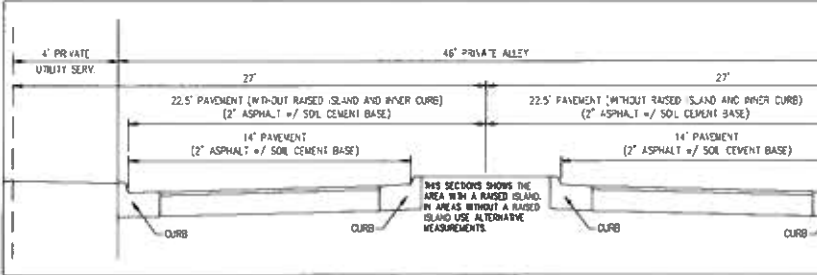
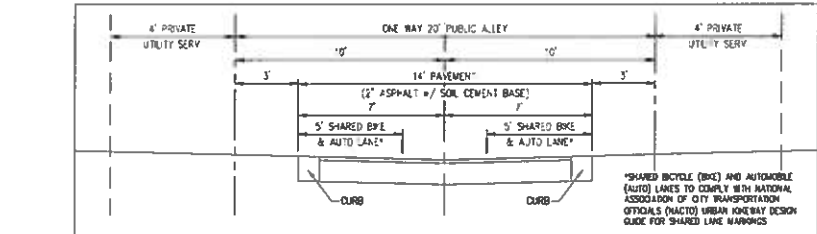


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- NOTES:**
- IF A FRONT-LOAD GARAGE IS PROVIDED, THE GARAGE DOORS SHALL BE SET BACK AT LEAST 25 FEET FROM TUBELLO STREET. UDC PAGE 8-70
 - BICYCLE PROTECTION IS ON STREET SO PAVING WILL BE MARKED AND SIGNAGE INDICATING "BIKE MAY USE FULL LANE" WILL BE PROVIDED PER THE UDC PAGE 8-71
 - CHARACTER AREA: SUBURBAN

PROPOSED RIGHTS-OF-WAY:
FOR DIMENSIONS OF ALL RIGHTS-OF-WAY PROPOSED HEREON, PLEASE REFER TO TYPICAL STREET SECTIONS.

STREET OWNERSHIP & MAINTENANCE:
ALL STREETS, ALLEYS, AND PEDESTRIAN WAYS LOCATED WITHIN ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) AND DESIGNATED AS PUBLIC ON FINAL DEVELOPMENT PLANS SHALL BE DEDICATED FOR PUBLIC USE AFTER A ONE (1) YEAR MAINTENANCE PERIOD UPON COMPLETION OF CONSTRUCTION. ALL PUBLIC STREETS AND ALLEYS SHALL BE OWNED AND MAINTAINED BY THE EAST BATON ROUGE CITY/PARISH DEPARTMENT OF PUBLIC WORKS. A SMALLER PORTION OF STREETS, ALLEYS, AND PEDESTRIAN WAYS WITHIN THE TND WILL BE DESIGNATED AS PRIVATE ON FINAL DEVELOPMENT PLANS AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE ROUZAN PROPERTY OWNERS ASSOCIATION.



SEE SHEET 6.1

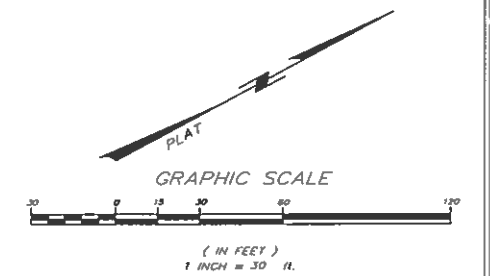
SIDEWALKS:
FOR THE LOCATION AND DIMENSIONS OF ALL SIDEWALKS PROPOSED HEREON, PLEASE REFER TO THE STREET SECTIONS HEREON. SIDEWALKS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT AND THE ADA UNIFIED DEVELOPMENT CODE.

OFF-STREET PARKING:
N/A - THE PHASE SHOWN HEREON WILL HAVE SINGLE-FAMILY RESIDENTIAL USES ONLY.

SINGLE-FAMILY PARKING:
THE SINGLE-FAMILY PARKING REQUIREMENT OF TWO (2) SPACES WILL BE ON EACH INDIVIDUAL LOT EITHER WITHIN THE RESIDENTIAL STRUCTURE (i.e. GARAGE, CARPORT) OR ON PAVED SURFACES (i.e. DRIVEWAYS) WITHIN THE LIMITS OF THE LOT.

VEHICULAR CIRCULATION:
ALL STREETS ARE DESIGNATED FOR TWO-WAY TRAFFIC UNLESS NOTED OTHERWISE.

MASS TRANSIT:
CATS ROUTE 17 IS AVAILABLE FOR MASS TRANSIT ALONG PERDUE ROAD, APPROXIMATELY 1700 FEET FROM PROPOSED PHASE 1B.



PRELIMINARY

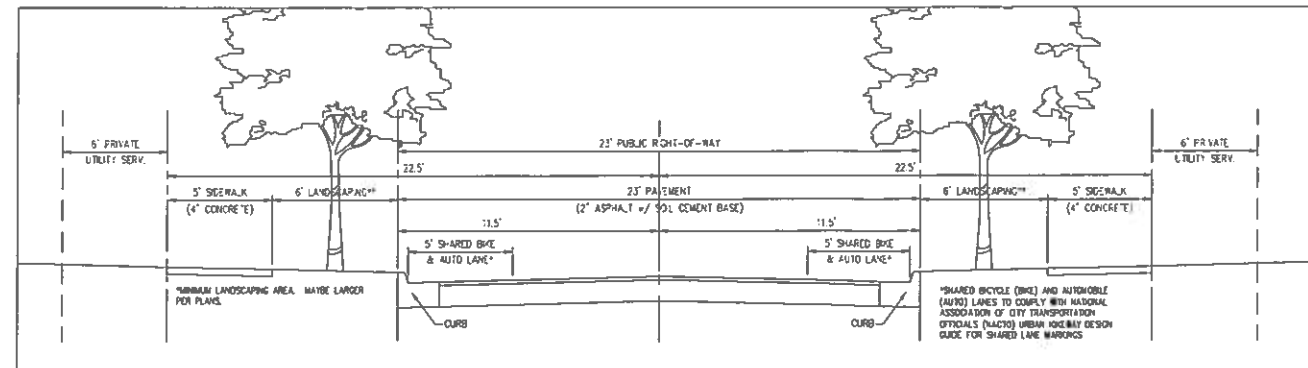
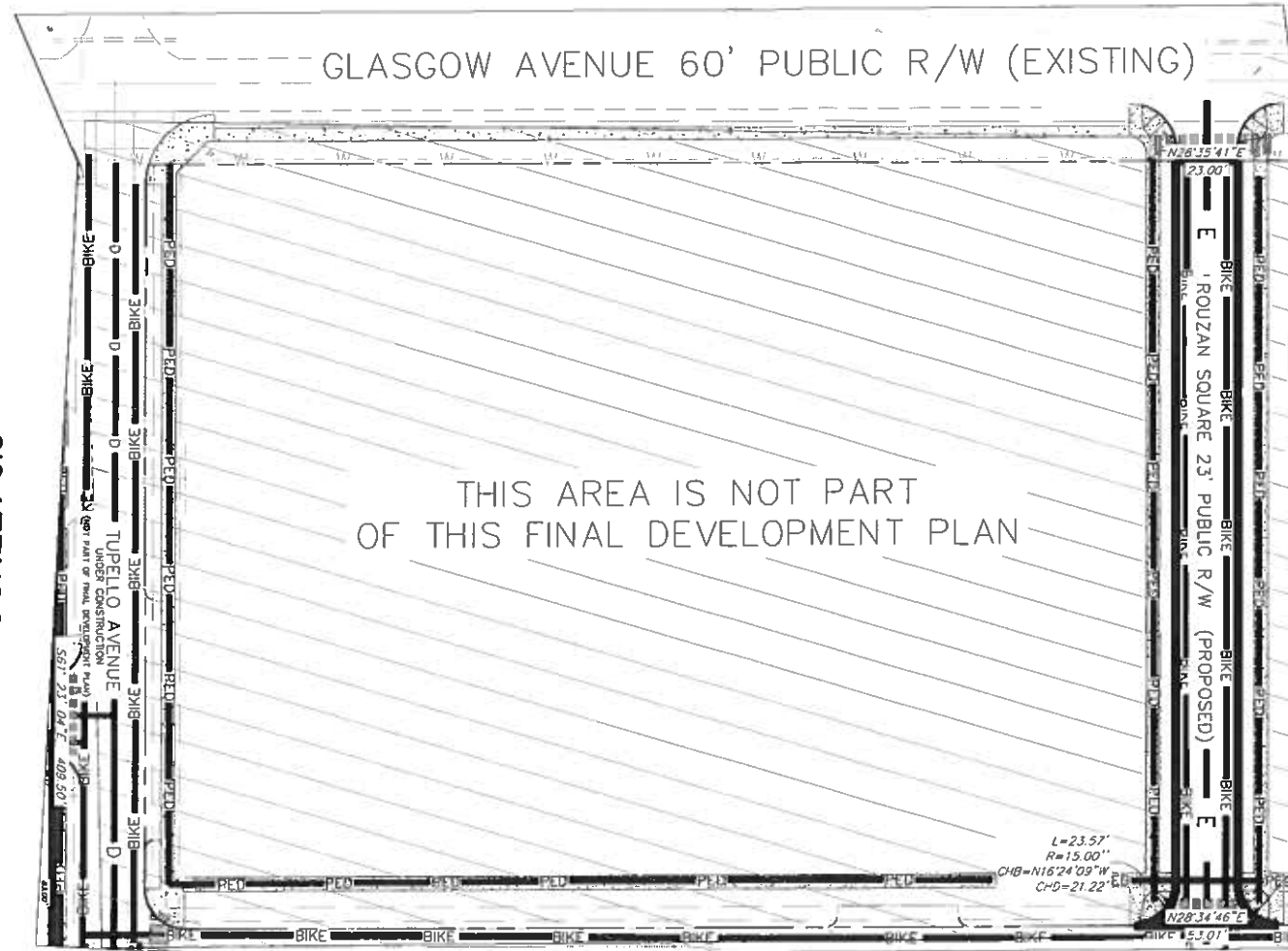


SHEET NUMBER	6.0
PARISH/COUNTY	EAST BATON ROUGE
CITY	BATON ROUGE
PROJECT	11408.8
ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT PHASE 1D - FINAL DEVELOPMENT PLAN	
CIRCULATION PLAN	
DESIGNED BY	CSB
DRAWN BY	CSB
CHECKED BY	CSB
DATE	2-28-19
SHEET	7 OF 16

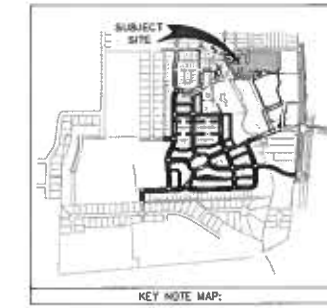
LEGEND:

---	EXISTING PHASE BOUNDARY
---	EXISTING VEHICULAR ROUTES
---	EXISTING BICYCLE ROUTES
---	EXISTING PEDESTRIAN ROUTES
---	PROPOSED VEHICULAR ROUTES (SECTION "A")
---	PROPOSED VEHICULAR ROUTES (SECTION "B")
---	PROPOSED VEHICULAR ROUTES (SECTION "C")
---	PROPOSED VEHICULAR ROUTES (SECTION "D")
---	PROPOSED VEHICULAR ROUTES (SECTION "E")
---	PROPOSED BICYCLE ROUTES
---	PROPOSED PEDESTRIAN ROUTES
---	5' PROPOSED CONCRETE SIDEWALK
---	PROPOSED PEDESTRIAN CROSSWALK
---	5' ALTERNATE MATERIAL SIDEWALK

SEE SHEET 6.0



SECTION "E"
(SCALE: N=3)



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NOTES:

- IF A FRONT-LOAD GARAGE IS PROVIDED, THE GARAGE DOORS SHALL BE SET BACK AT LEAST 25 FEET FROM THE STREET. LOC PAGE 8-70
- BICYCLE CIRCULATION IS ON STREET SO PAVING WILL BE MARKED AND SIGNAGE INDICATING "BIKE MAY USE FULL LANE" WILL BE PROVIDED PER THE LOC PAGE 8-71.
- CHARACTER AREA: SUBURBAN

PROPOSED RIGHTS-OF-WAY:
FOR DIMENSIONS OF ALL RIGHTS-OF-WAY PROPOSED HEREIN, PLEASE REFER TO TYPICAL STREET SECTIONS.

STREET OWNERSHIP & MAINTENANCE:

ALL STREETS, ALLEYS, AND PEDESTRIAN WAYS LOCATED WITHIN ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) AND DESIGNATED AS PUBLIC ON FINAL DEVELOPMENT PLANS SHALL BE DEDICATED FOR PUBLIC USE AFTER A ONE (1) YEAR MAINTENANCE PERIOD UPON COMPLETION OF CONSTRUCTION. ALL PUBLIC STREETS AND ALLEYS SHALL BE OWNED AND MAINTAINED BY THE EAST BATON ROUGE CITY/PARISH DEPARTMENT OF PUBLIC WORKS. A SMALLER PORTION OF STREETS, ALLEYS, AND PEDESTRIAN WAYS WITHIN THE TND WILL BE DESIGNATED AS PRIVATE ON FINAL DEVELOPMENT PLANS AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE ROUZAN PROPERTY OWNERS ASSOCIATION.

SIDEWALKS:

FOR THE LOCATION AND DIMENSIONS OF ALL SIDEWALKS PROPOSED HEREIN, PLEASE REFER TO THE STREET SECTIONS HEREON. SIDEWALKS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE EBR UNIFIED DEVELOPMENT CODE.

OFF-STREET PARKING:

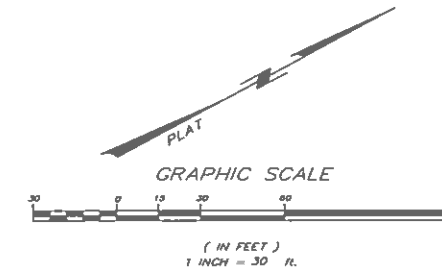
N/A. THE PHASE SHOWN HEREON WILL HAVE SINGLE-FAMILY RESIDENTIAL USES ONLY.

SINGLE-FAMILY PARKING:

THE SINGLE-FAMILY PARKING REQUIREMENT OF TWO (2) SPACES WILL BE ON EACH INDIVIDUAL LOT EITHER WITHIN THE RESIDENTIAL STRUCTURE OR GARAGE, CARPORT OR ON PAVED SURFACES (i.e. DRIVEWAY) WITHIN THE LIMITS OF THE LOT.

VEHICULAR CIRCULATION:

ALL STREETS ARE DESIGNATED FOR TWO-WAY TRAFFIC UNLESS NOTED OTHERWISE.

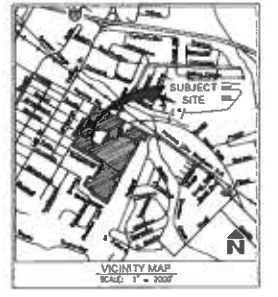
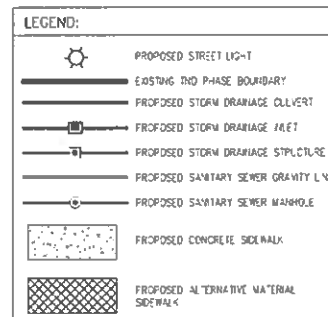
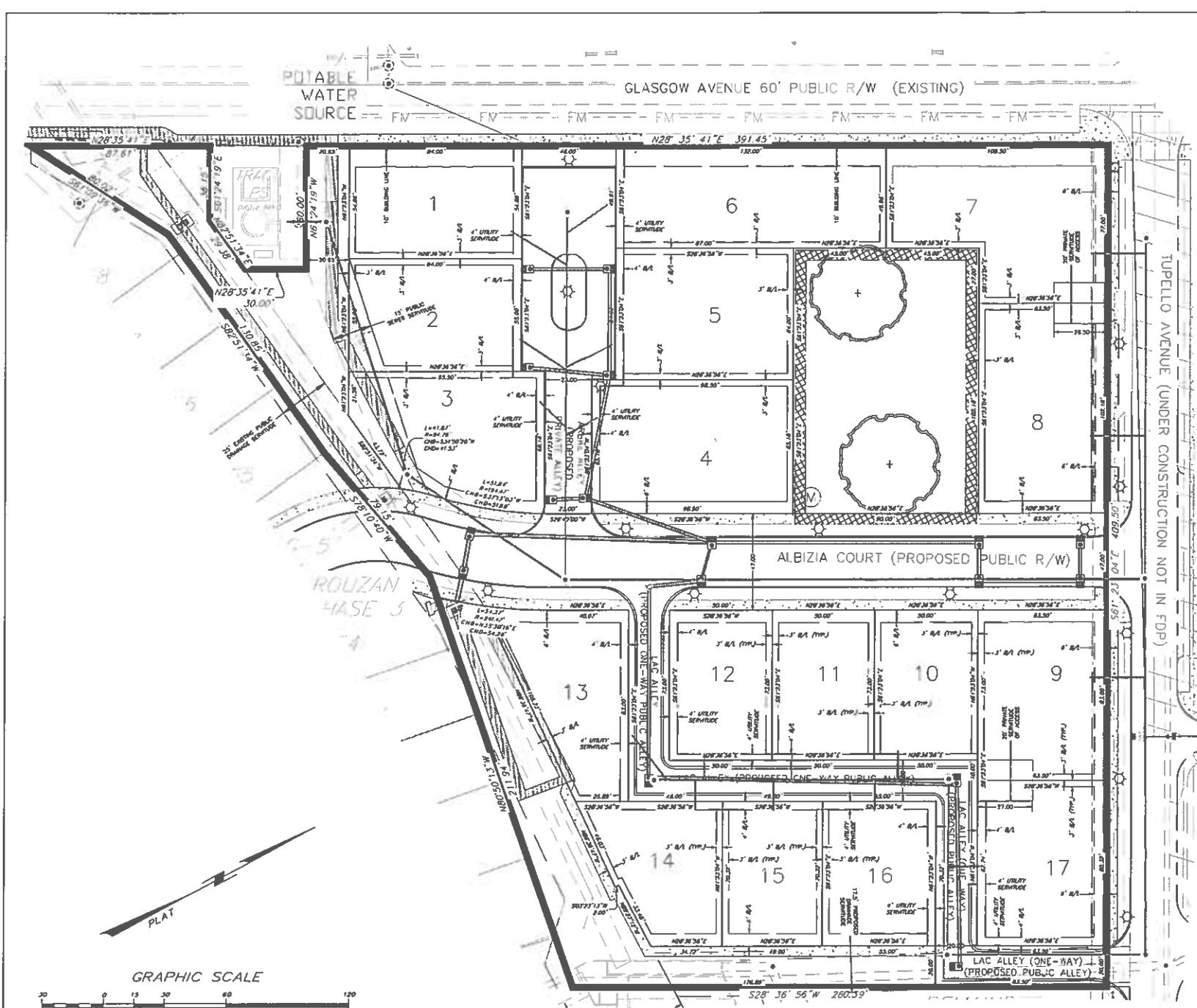


PRELIMINARY
THIS DOCUMENT IS FOR ILLUSTRATIVE PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS PLAN/DOCUMENT SHALL BE MADE BY THE REGISTERED PROFESSIONAL ENGINEER, SURVEYOR, AND/OR LANDSCAPE ARCHITECT NOTED HEREON.



Corey Blac-Rod
2/23/19

SHEET NUMBER	6.1
PARISH/COUNTY	EAST BATON ROUGE
CITY	BATON ROUGE
PROJECT	11-409.8
ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT PHASE 1D - FINAL DEVELOPMENT PLAN	
CIRCULATION PLAN	
DESIGNED	WJH
CHECKED	CSB
DRAWN	WJH
DATE	2-23-19
BY	CSB
REVISION DESCRIPTION	



REGISTERED PROFESSIONAL:
THIS PLAN/DRAWING HAS BEEN PREPARED FOR CITY/PARISH PLANNING AND/OR ZONING PURPOSES ONLY. THE USE OF THIS PLAN/DRAWING FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF ANY PERMIT IS STRICTLY PROHIBITED. THIS PLAN/DRAWING HAS BEEN PREPARED BY THE REGISTERED ENGINEER, SURVEYOR, AND/OR LANDSCAPE ARCHITECT NOTED HEREON AND SIGNATURE OF SAID REGISTERED PROFESSIONAL DOES NOT DEEM THE PLAN/DRAWING AN OFFICIAL ENGINEERING, SURVEYING, OR LANDSCAPING PLAN/DRAWING.

UTILITY PROVIDERS:

SEWAGE: EBR C/P DPW
STORM DRAINAGE: EBR C/P DPW
WATER: BATON ROUGE WATER CO.
GAS: ENTERGY
ELECTRIC: ENTERGY
TELEPHONE: A.T. & T.
CITY: COX COMMUNICATIONS

SEWAGE TREATMENT:
CONNECTION TO EXISTING GRAVITY COLLECTION LINES WITH DISPOSAL AND TREATMENT BY THE EAST BATON ROUGE CONSOLIDATED SEWAGE DISTRICT.

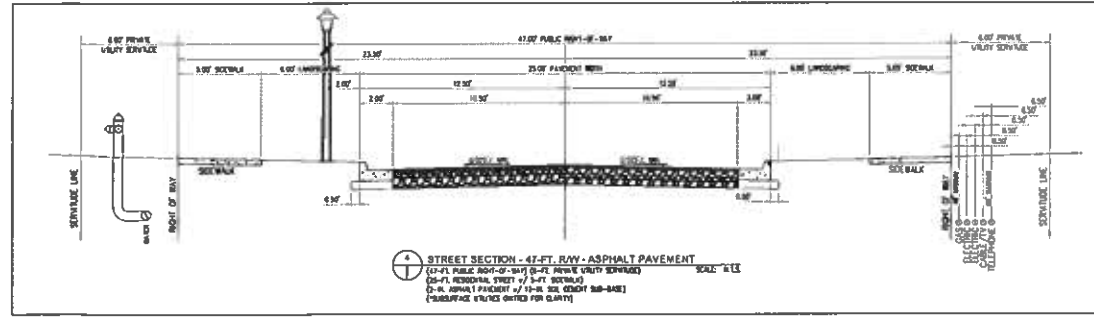
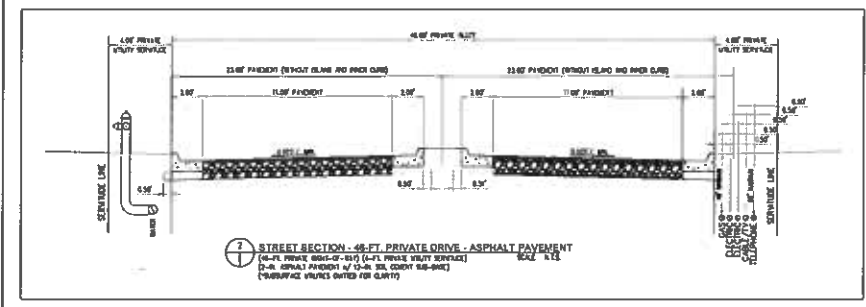
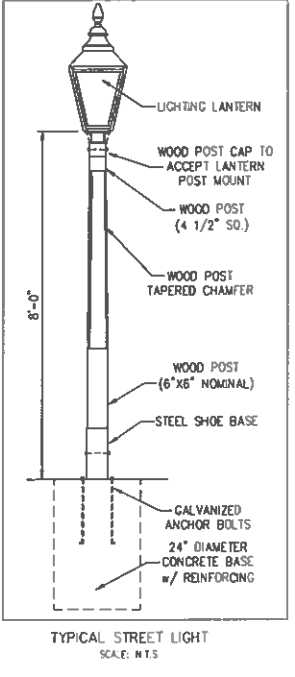
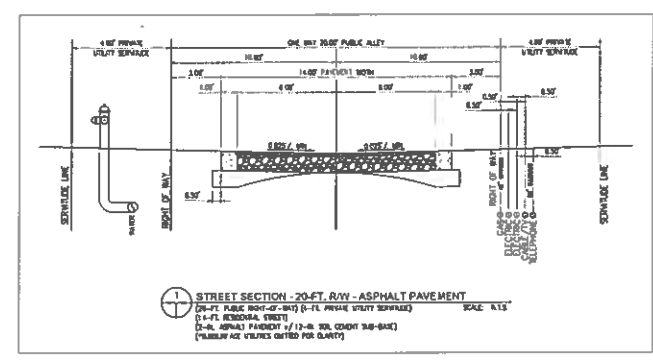
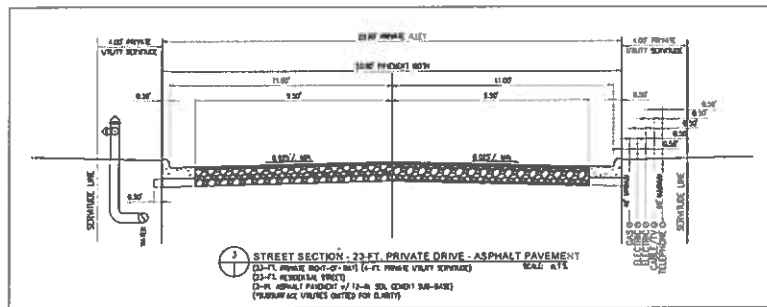
STORM DRAINAGE:
COLLECTION VIA CURBS & GUTTER STREETS & STORM DRAINAGE ALLEYS, TRANSPORTATION VIA SUBSURFACE STORM DRAINAGE COLLECTORS W/ OUTFALL TO STORM DRAINAGE DETENTION FACILITIES & ULTIMATE OUTFALL TO EXISTING STORM DRAINAGE SYSTEMS OF ADEQUATE CAPACITY.

POTABLE WATER:
WATER IS TO BE PROVIDED AND DESIGNED BY BATON ROUGE WATER COMPANY. BATON ROUGE WATER COMPANY WILL PROVIDE THE LOCATION OF WATER LINES AND FIRE HYDRANTS.

GAS AND ELECTRIC:
GAS AND ELECTRIC TO BE PROVIDED AND DESIGNED BY ENTERGY. ENTERGY WILL PROVIDE THE LOCATION OF GAS AND ELECTRIC LINES.

NOTES:
1. ALL DRAINAGE PIPE WITHIN GREEN SPACE AREAS WILL BE SUBSURFACE AND NOT CONTAIN ANY SERVICES WITH ABOVE GROUND FACILITIES.
POST-DEVELOPMENT STORMWATER MANAGEMENT MEANS SHALL COMPLY WITH THE STORMWATER MANAGEMENT PLAN AND WATER QUALITY IMPACT STUDY SUBMITTED AND APPROVED WITH THIS FINAL DEVELOPMENT PLAN.
2. ALL UTILITIES SHALL BE PLACED UNDERGROUND PER UDC 8-217(PAGE 8-76).

SEE SHEET 7.1

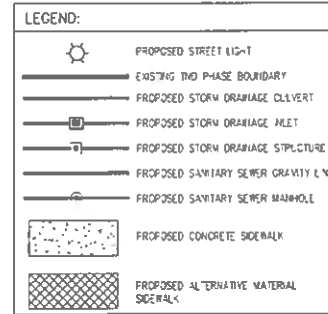
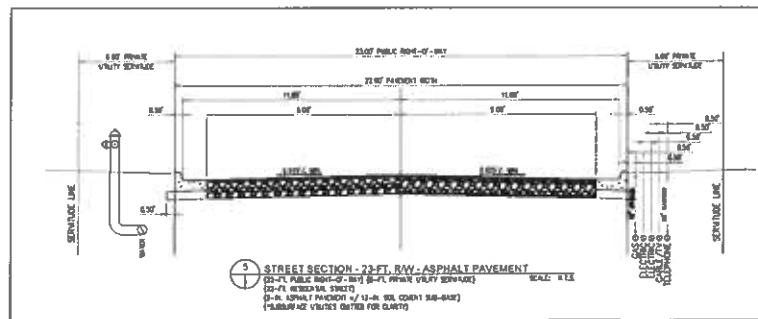
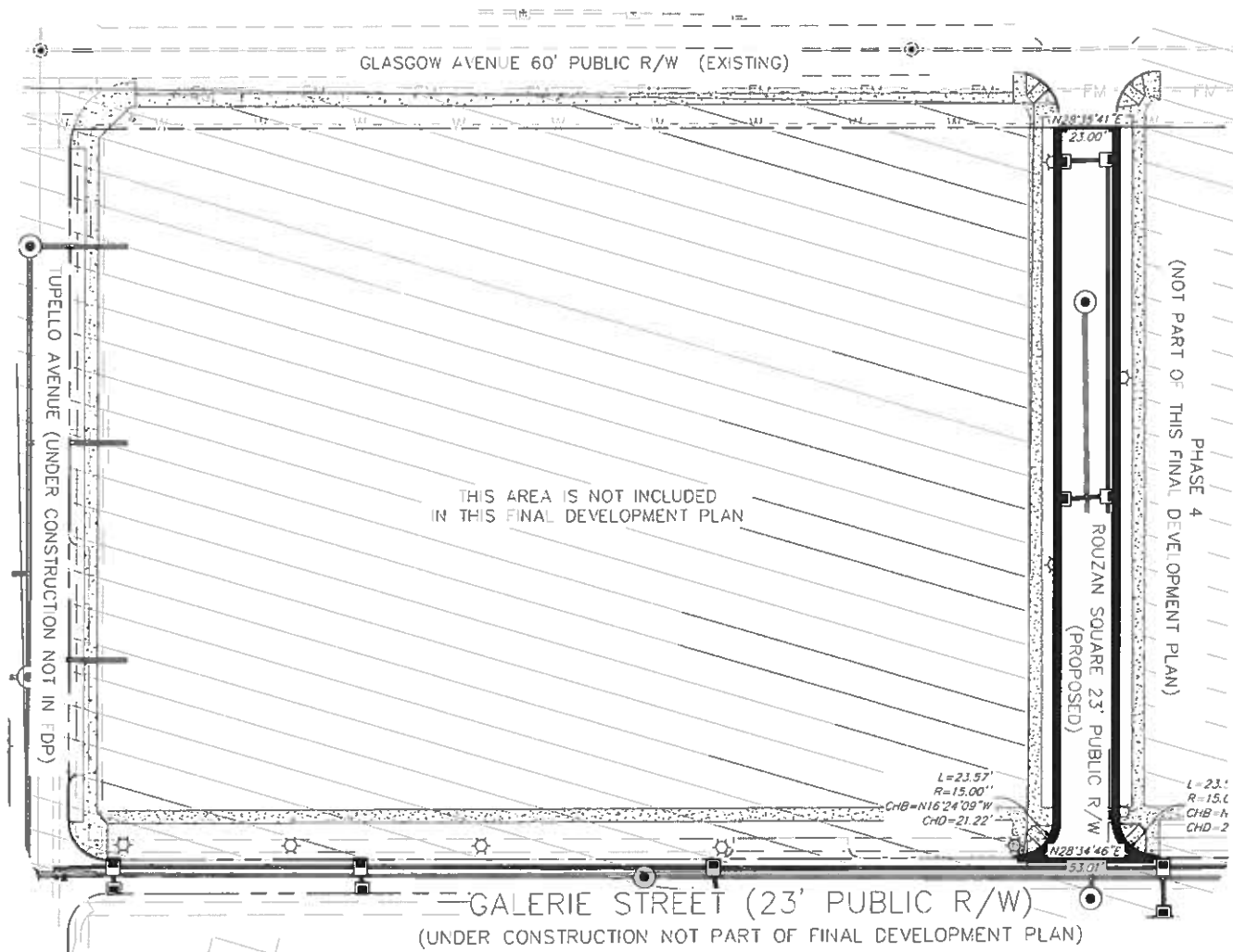


PRELIMINARY



SHEET NUMBER		7.0	
PARISH/COUNTY		EAST BATON ROUGE	
CITY		BATON ROUGE	
PROJECT		11409.8	
ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT PHASE 1D - FINAL DEVELOPMENT PLAN			
UTIL SERVICE PLAN			
DESIGNED	C.B.	DATE	2-28-19
CHECKED	C.B.	BY	9 OF 18
DETAILED	C.B.	REVISION DESCRIPTION	
CHECKED	C.B.		
DATE			
SHEET			

SEE SHEET 7.0



REGISTERED PROFESSIONAL:

THIS PLAN/DOCUMENT HAS BEEN PREPARED FOR CITY/PARISH PLANNING AND/OR ZONING PURPOSES ONLY. THE USE OF THIS PLAN/DOCUMENT FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF ANY PERMITS IS STRICTLY PROHIBITED. THIS PLAN/DOCUMENT HAS BEEN PREPARED BY THE REGISTERED ENGINEER, SURVEYOR, AND/OR LANDSCAPE ARCHITECT NOTED HEREON AND SIGNATURE OF SAID REGISTERED PROFESSIONAL DOES NOT DEEM THE PLAN/DOCUMENT AN OFFICIAL ENGINEERING, SURVEYING, OR LANDSCAPING PLAN/DOCUMENT.

UTILITY PROVIDERS:

- SEWAGE: EBR C/P DPW
- STORM DRAINAGE: EBR C/P DPW
- WATER: BATON ROUGE WATER CO.
- GAS: ENERGY
- ELECTRIC: ENERGY
- TELEPHONE: A.L. & T.
- CATV: COX COMMUNICATIONS

SEWAGE TREATMENT:

CONNECTION TO EXISTING GRAVITY COLLECTION LINES WITH DISPOSAL AND TREATMENT BY THE EAST BATON ROUGE CONSOLIDATED SEWAGE DISTRICT.

STORM DRAINAGE:

COLLECTION VIA CURB & GUTTER STREETS & STORM DRAINAGE ALEETS, TRANSPORTATION VIA SUBSURFACE STORM DRAINAGE CULVERTS &/ OR FALL TO SEWER DRAINAGE DETENTION FACILITIES & ULTIMATE OUTFALL TO EXISTING STORM DRAINAGE SYSTEMS OF ADEQUATE CAPACITY.

POTABLE WATER:

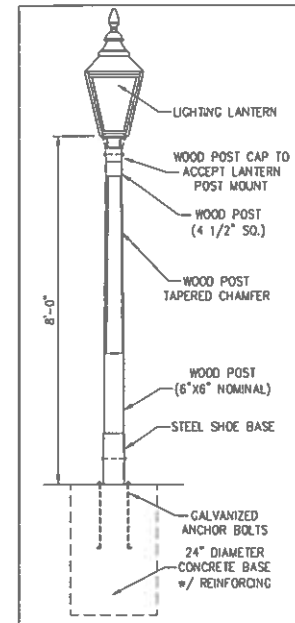
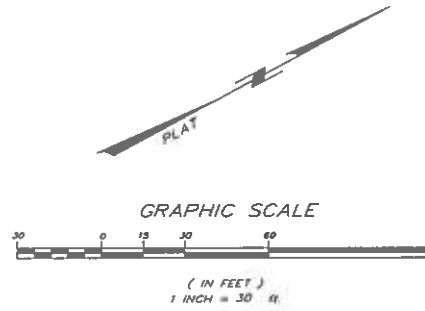
WATER IS TO BE PROVIDED AND DESIGNED BY BATON ROUGE WATER COMPANY. BATON ROUGE WATER COMPANY WILL PROVIDE THE LOCATION OF WATER LINES AND FIRE HYDRANTS.

GAS AND ELECTRIC:

GAS AND ELECTRIC TO BE PROVIDED AND DESIGNED BY ENERGY. ENERGY WILL PROVIDE THE LOCATION OF GAS AND ELECTRIC LINES.

NOTES:

- ALL DRAINAGE PIPE WITHIN GREEN SPACE AREAS WILL BE SUBSURFACE AND NOT CONTAIN ANY SERVICES WITH ABOVE GROUND FACILITIES.
- POST-DEVELOPMENT STORMWATER MANAGEMENT MEANS SHALL COMPLY WITH THE STORMWATER MANAGEMENT PLAN AND WATER QUALITY IMPACT STUDY SUBMITTED AND APPROVED WITH THIS FINAL DEVELOPMENT PLAN.
- ALL UTILITIES SHALL BE PLACED UNDERGROUND PER UDC 8-217(PAGE 8-75).



PRELIMINARY

STATE OF LOUISIANA
CORY BLANCHARD
REC. NO. 38029
REGISTERED
PROFESSIONAL DESIGNER
IN
CIVIL ENGINEERING
Cory Blanchard
2/28/19

SHEET NUMBER 7.1

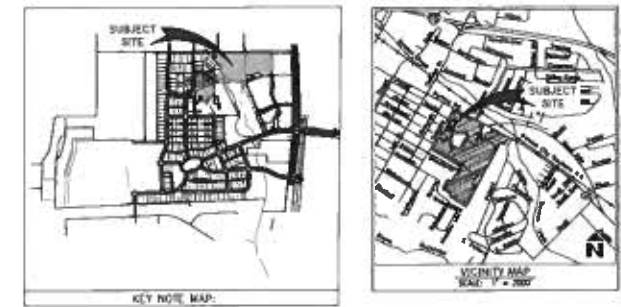
PARISH/COUNTY EAST BATON ROUGE
CITY BATON ROUGE
PROJECT 11-109-8

ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT PHASE 1D - FINAL DEVELOPMENT PLAN
UTIL SERVICE PLAN

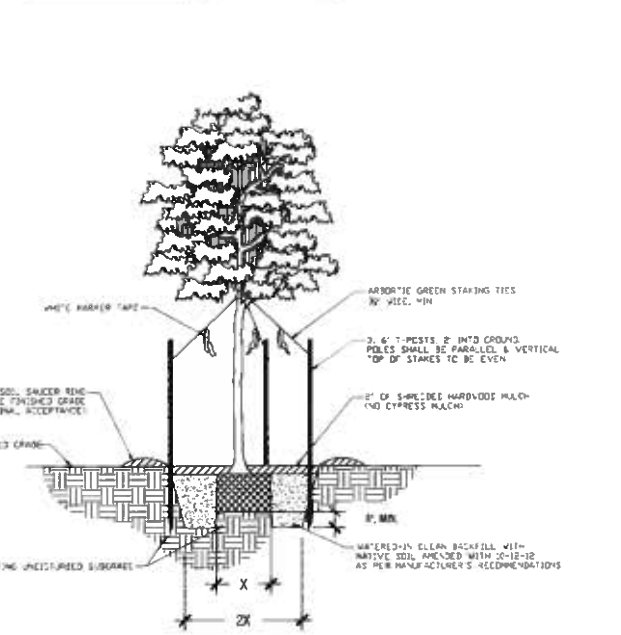
SIB GROUP, LLC
C O R P
1100 N. GULF SHORE BLVD., SUITE 1000, BATON ROUGE, LA 70801 • (504) 989-2000 • FAX (504) 989-2000

DESIGNED	CJB	DATE	2-28-19
CHECKED	CJB	DATE	10 OF 16
DRAWN	CJB	DATE	
CHECKED	CJB	DATE	
BY		DATE	

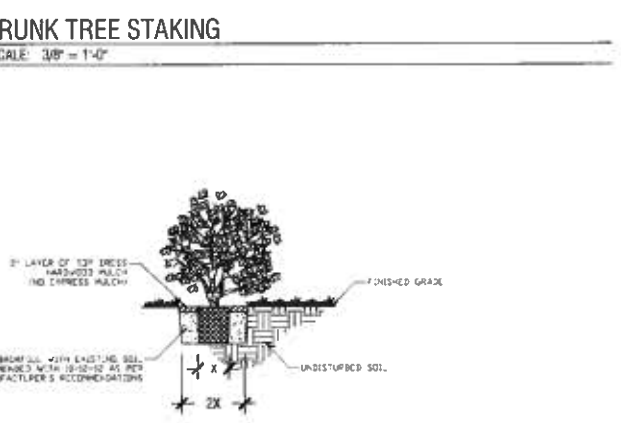
REVISION DESCRIPTION



SHEET NUMBER **8.0**
 EAST BATON ROUGE
 BATON ROUGE
 PROJECT 11409 B

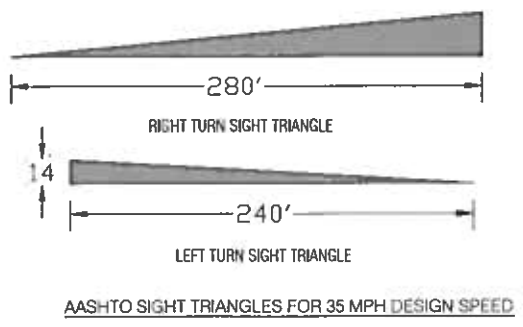
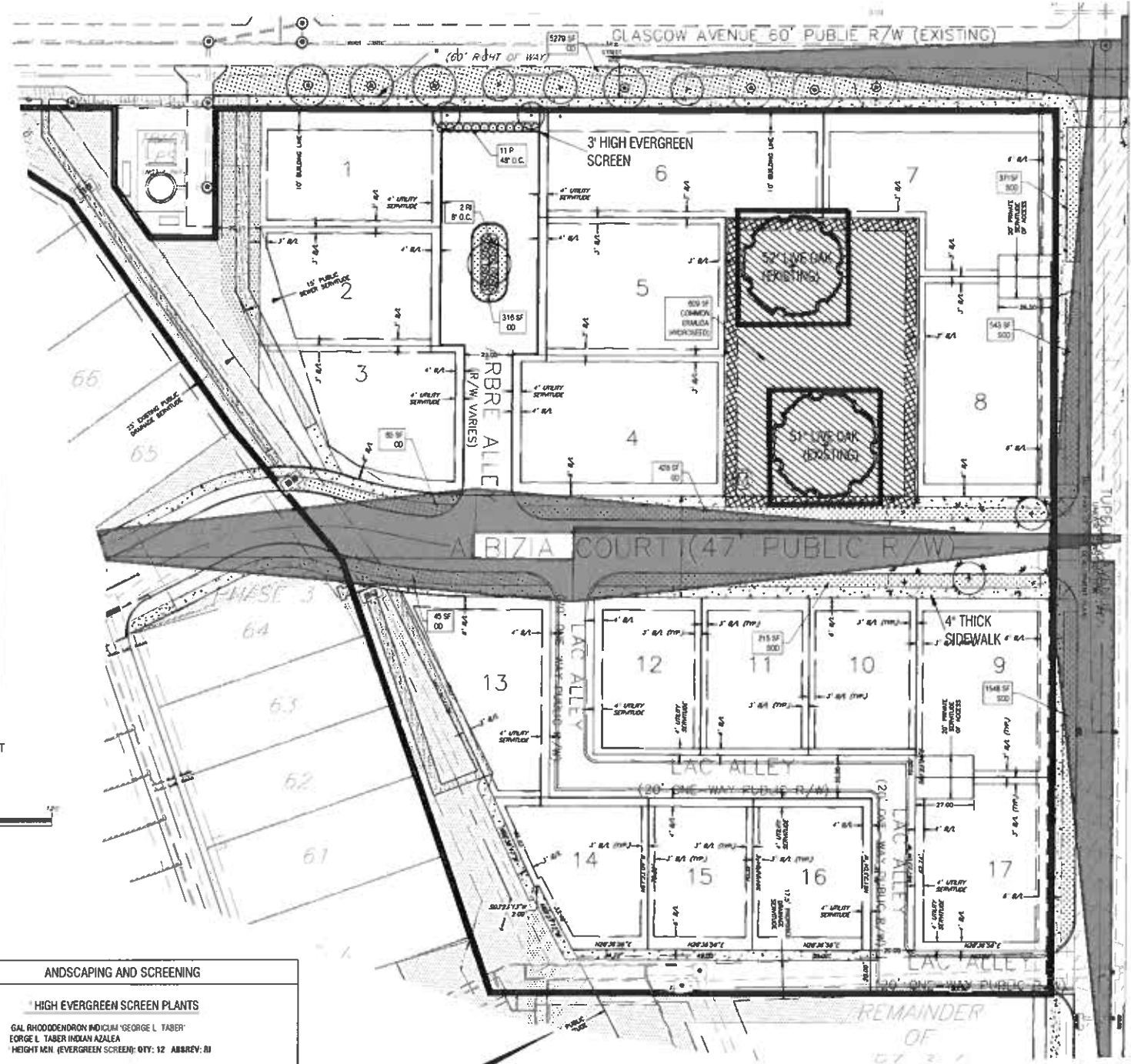


SINGLE TRUNK TREE STAKING
L1 SCALE: 3/8" = 1'-0"



SHRUB PLANTING DETAIL
L4 SCALE: 3/8" = 1'-0"

PRELIMINARY



LEGEND

- 5' CONCRETE SIDEWALK
- OPEN SPACE
- GREEN SPACE
- EXISTING SIDEWALK
- 5' SIDEWALK (ALTERNATIVE MATERIAL)

LANDSCAPING AND SCREENING

HIGH EVERGREEN SCREEN PLANTS

- GAL RHODODENDRON INDICUM 'GEORGE L. TABER'
- GEORGE L. TABER INDIAN AZALEA
- HEIGHT MIN. (EVERGREEN SCREEN): QTY: 12 ABBREV: BI
- GAL PODOCARPUS MACROPHYLLUS
- JAPANESE YEW
- HEIGHT MIN. (EVERGREEN SCREEN): QTY: 11 ABBREV: PM

RASSES

- SOD
- XYOON DACTYLOM 'DISCOVERY'
- DISCOVERY BERMAUDA SOD; OVERLAGE: 14,710 SF (APPROX.)
- HYDROSEED
- XYOON DACTYLOM
- DISCOVERY BERMAUDA HYDROSEED; OVERLAGE: 8,609 SF (APPROX.)

QTY: ABBREV. SPACING LANT CALL-OUT

PER 16.5.2 PERCENTAGE OF LANDSCAPE AREA

PER 16.5.3 BUFFERING BETWEEN ADJACENT PARCELS

PER 16.5.4 STREET YARD - SCREENING CHARACTER AND SECTION 6.1.7 THE SCREENING

PER 16.5.5 FENCE AND OTHER FENCED PERIMETER SCREENING

PER 16.5.6 FENCED LOT LANDSCAPING - SUBORDINATE CHARACTER

PER 16.5.7 STREET TRAVELER PLANTING

HYDROSEEDING MIXTURES

Seed Mixture	Planting Date	Establishment Period
Ballistics	30	30-90 days
Uniflor	30	30-90 days

1. Seed beds shall be prepared in accordance with Subsection 717 B(4) of LA 60 BY 2008...

2. Hydroseeding shall consist of seeding and applying mulch, water management gel, polypropylene mulch, and specialized fertilizers with paper or weed barrier and/or other. Seed shall be spread at the rate stated above depending on the species of the seed to be applied. Fertilizer shall be applied at 1/2 lb per 100 sq ft of seed to be applied.

3. The contractor will be permitted to install buffer and time in the seeding area by application during hydroseeding.

4. A dispersing agent may be added to the mixture provided that the contractor certifies that the mixture will not affect the soil.

5. Any other seeding polypropylene mulch shall not be applied during any rainy weather or when soil temperature is below 40° (40°) or if the wind speed is above 20 mph.

6. Fertilizer buffer or equipment shall not be permitted to enter areas where hydroseeding has been applied.

LANDSCAPING NOTES:

- ALL TREES MUST HAVE A MINIMUM O.D. 2 1/2" CALIPER AT TIME OF PLANTING.
- A WATER SOURCE SHALL BE SUPPLIED WITHIN 200 FEET OF ANY PLANTING REQUIRING WATERING TO BECOME ESTABLISHED.

GRAPHIC SCALE
 1" INCH = 30' FT.

LASS A TREES

- 1) QUERCUS VIRGINIANA (IVE OAK, 2-1/2" CALIPER DECIDUOUS)
- 7) TAXODIUM DISTICHUM (ALD CYPRESS, 2-1/2" CALIPER DECIDUOUS)
- 3) PLATANUS ORIENTALIS (MERICAN SYCAMORE, 2-1/2" CALIPER DECIDUOUS)
- 6) ACER RUBRUM FLORIDA FLAME (ED MAPLE, 2-1/2" CALIPER DECIDUOUS)
- 8) D.D. BLANCHARD (SOUTHERN MAGNOLIA, 2-1/2" CALIPER 40 D.L.)

REE TO BE PRESERVED (IVE OAK)

LASS B TREES

- 2) ILEX ATTEMATA SAVANNAH (AVANNAH HOLLY, 2-1/2" CALIPER EVERGREEN)
- 4) LEMNUS PARVIFOLIA (ACEBARK ELM, 2-1/2" CALIPER DECIDUOUS)

PER 18.3.2 PERCENTAGE OF LANDSCAPE AREA

AT LEAST 1% OF THE DEVELOPED SITE AREA, WHICH IS INCLUSIVE OF THE 2-DIMENSIONAL PLANTING AREAS, OPENINGS AND BENCHES, SHALL BE LANDSCAPED WITH LANDSCAPE PLANTS. LANDSCAPE PLANTS SHALL INCLUDE TREES AND SHRUBS PLANTED AT 14' ON-CENTERS OR MORE SPACING WITH PLANTING SPACING TO BE DETERMINED BY THE DESIGNER. THE TOTAL NUMBER OF TREES PLANTED SHALL BE DETERMINED BY THE DESIGNER. TREES SHALL BE PLANTED AT 14' ON-CENTERS OR MORE SPACING WITH PLANTING SPACING TO BE DETERMINED BY THE DESIGNER. TREES SHALL BE PLANTED AT 14' ON-CENTERS OR MORE SPACING WITH PLANTING SPACING TO BE DETERMINED BY THE DESIGNER.

PER 18.3.3 REQUIRED BUFFER BETWEEN ADJUTING PROPERTIES

ALL BUFFER AREAS SHALL BE MAINTAINED AND NOT BE USED FOR ANY OTHER PURPOSES. THE BUFFER SHALL BE MAINTAINED AND NOT BE USED FOR ANY OTHER PURPOSES. THE BUFFER SHALL BE MAINTAINED AND NOT BE USED FOR ANY OTHER PURPOSES.

PER 18.3.4 STREET YARD - SUBURBAN CHARACTER AND SECTION 8.217 THE ORDINANCE

THE STREET YARD SHALL BE MAINTAINED AND NOT BE USED FOR ANY OTHER PURPOSES. THE STREET YARD SHALL BE MAINTAINED AND NOT BE USED FOR ANY OTHER PURPOSES. THE STREET YARD SHALL BE MAINTAINED AND NOT BE USED FOR ANY OTHER PURPOSES.

PLANT NAME	PLANT TYPE	PLANT SIZE	PLANT QUANTITY
1) QUERCUS VIRGINIANA	TREE	2-1/2" CALIPER	1
2) ILEX X ATRENIATA	SHRUB	2-1/2" CALIPER	1
3) TAXODIUM DISTICHUM	TREE	2-1/2" CALIPER	1
4) PLATANUS ORIENTALIS	TREE	2-1/2" CALIPER	1
5) ACER RUBRUM	TREE	2-1/2" CALIPER	1
6) D.D. BLANCHARD	TREE	40" D.L.	1
7) ILEX X ATRENIATA	SHRUB	2-1/2" CALIPER	1
8) LILY OF THE VALLEY	PERENNIAL	12" HIGHER	1

PER 18.3.5 PLANNING LOT LANDSCAPING - SUBURBAN CHARACTER

THE PLANNING LOT SHALL BE MAINTAINED AND NOT BE USED FOR ANY OTHER PURPOSES. THE PLANNING LOT SHALL BE MAINTAINED AND NOT BE USED FOR ANY OTHER PURPOSES. THE PLANNING LOT SHALL BE MAINTAINED AND NOT BE USED FOR ANY OTHER PURPOSES.

PER 18.4.1 SCREENING UTILITIES

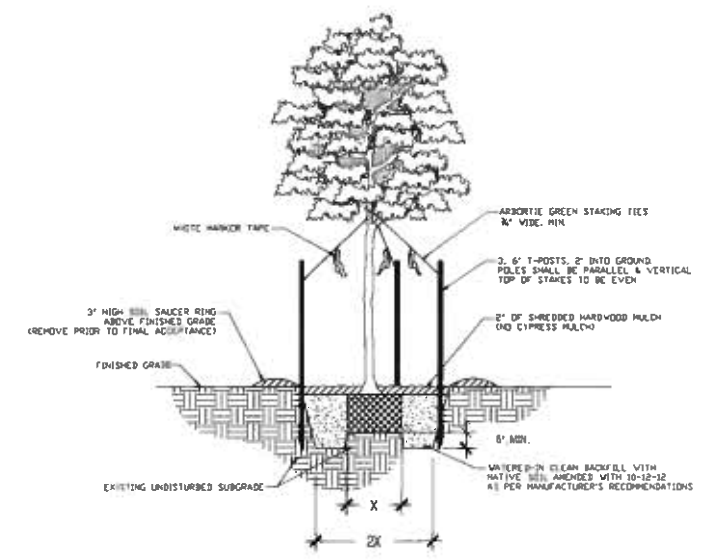
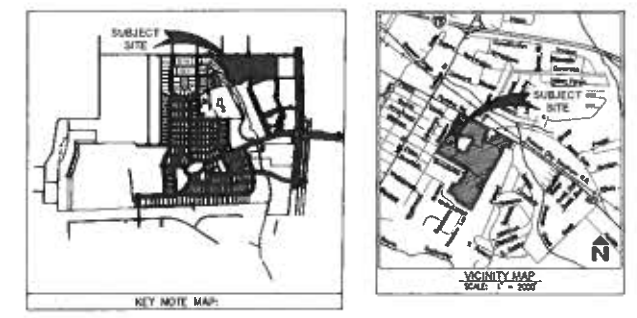
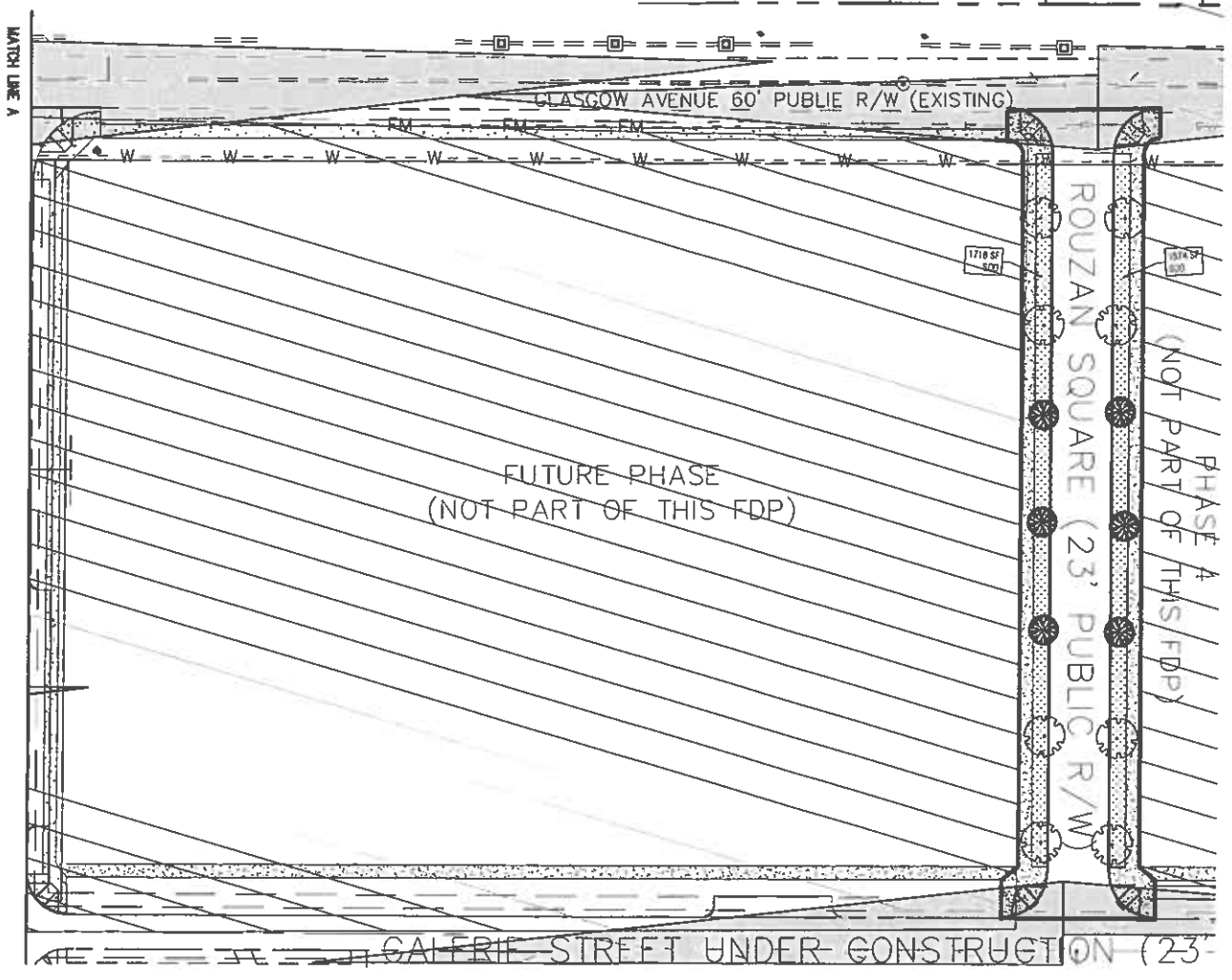
UTILITIES SHALL BE SCREENED BY PLANTING. UTILITIES SHALL BE SCREENED BY PLANTING. UTILITIES SHALL BE SCREENED BY PLANTING.

PER 18.7.2 SHRUB TRUSSIBLE PLANTING

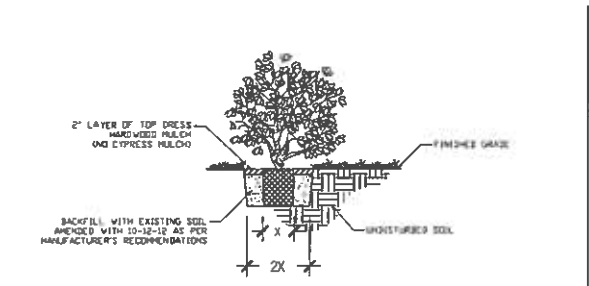
SHRUBS SHALL BE PLANTED IN TRUSSIBLE AREAS. SHRUBS SHALL BE PLANTED IN TRUSSIBLE AREAS. SHRUBS SHALL BE PLANTED IN TRUSSIBLE AREAS.

HYDROSEEDING MIXTURES

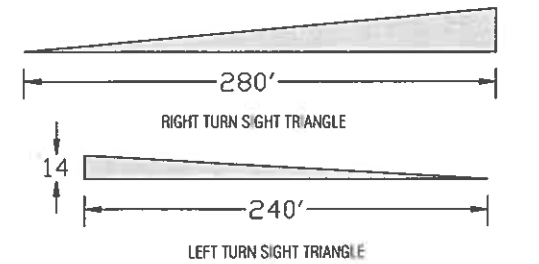
Plant Species	Planting Date	Establishment Period
1) QUERCUS VIRGINIANA	Mar - Sep	Mar - Sep
2) ILEX X ATRENIATA	Mar - Sep	Mar - Sep
3) TAXODIUM DISTICHUM	Mar - Sep	Mar - Sep
4) PLATANUS ORIENTALIS	Mar - Sep	Mar - Sep
5) ACER RUBRUM	Mar - Sep	Mar - Sep
6) D.D. BLANCHARD	Mar - Sep	Mar - Sep
7) ILEX X ATRENIATA	Mar - Sep	Mar - Sep
8) LILY OF THE VALLEY	Mar - Sep	Mar - Sep



SINGLE TRUNK TREE STAKING
L1 SCALE: 3/8" = 1'-0"



SHRUB PLANTING DETAIL
L4 SCALE: 3/8" = 1'-0"

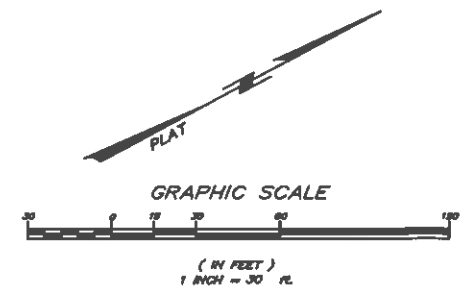


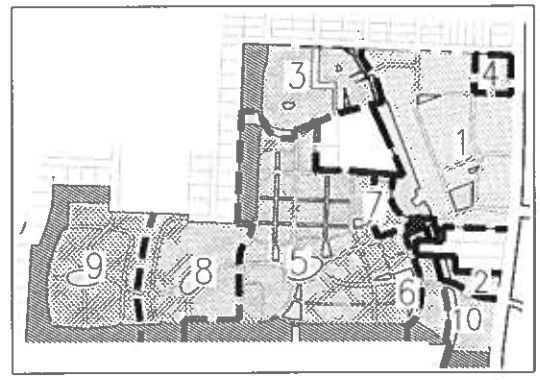
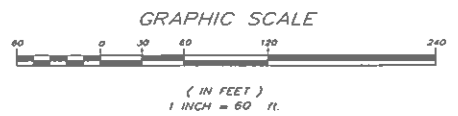
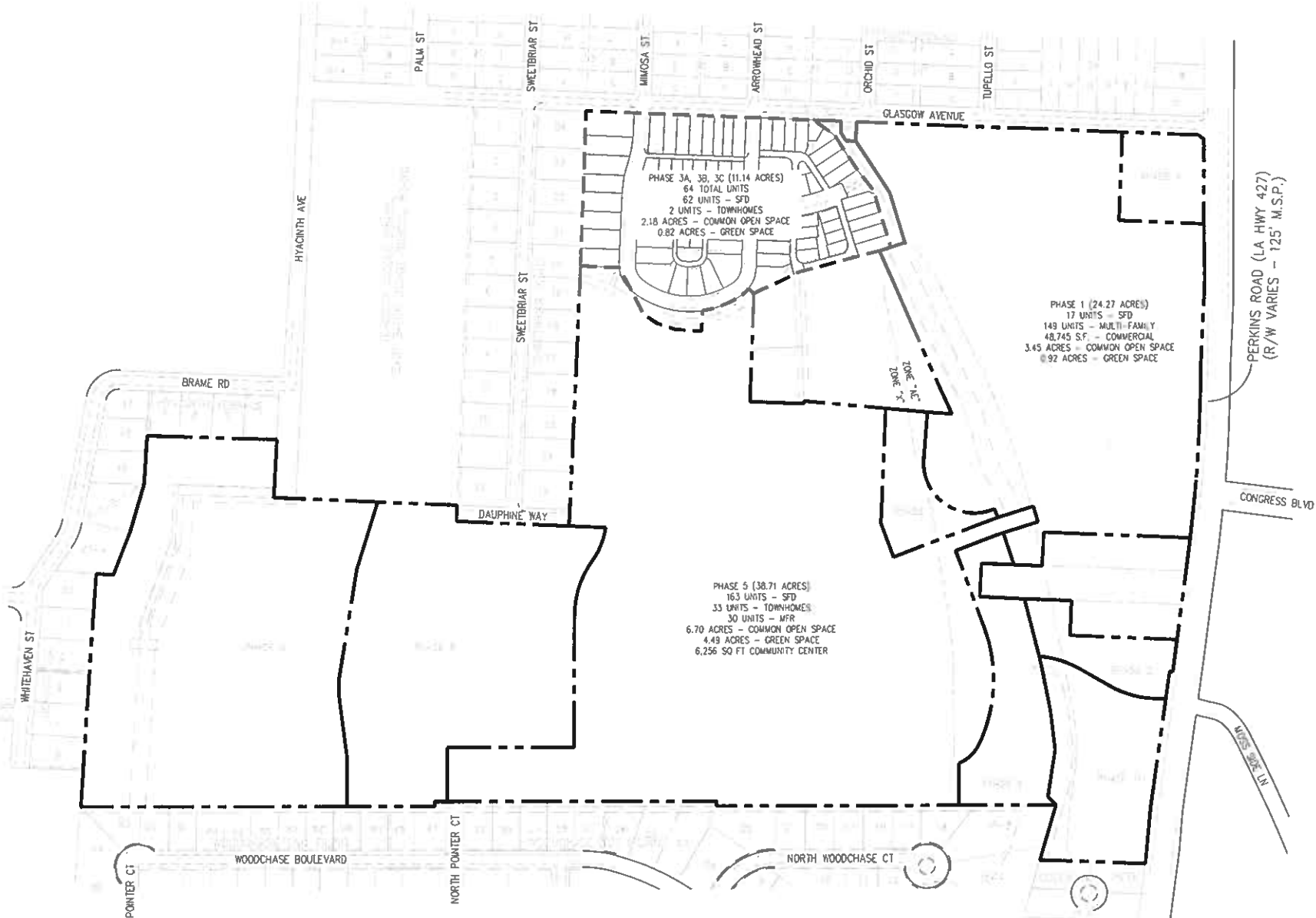
AASHTO SIGHT TRIANGLES FOR 35 MPH DESIGN SPEED

- LASS A TREES**
- 1) QUERCUS VIRGINIANA (IVE OAK, 2-1/2" CALIPER DECIDUOUS)
 - 2) TAXODIUM DISTICHUM (ALD CYPRESS, 2-1/2" CALIPER DECIDUOUS)
 - 3) PLATANUS ORIENTALIS (MERICAN SYCAMORE, 2-1/2" CALIPER DECIDUOUS)
 - 4) ACER RUBRUM (FLORIDA FLAME ED MAPLE, 2-1/2" CALIPER DECIDUOUS)
 - 5) D.D. BLANCHARD (OUTHERN MAGNOLIA, 2-1/2" CALIPER 40" D.L.)
 - 6) ILEX X ATRENIATA (SAVANNAH AVANNAH HOLLY, 2-1/2" CALIPER EVERGREEN)
 - 7) LILY OF THE VALLEY (ACERBAK ELM, 2-1/2" CALIPER DECIDUOUS)
- LASS B TREES**
- 1) QUERCUS VIRGINIANA (IVE OAK, 2-1/2" CALIPER DECIDUOUS)
 - 2) TAXODIUM DISTICHUM (ALD CYPRESS, 2-1/2" CALIPER DECIDUOUS)
 - 3) PLATANUS ORIENTALIS (MERICAN SYCAMORE, 2-1/2" CALIPER DECIDUOUS)
 - 4) ACER RUBRUM (FLORIDA FLAME ED MAPLE, 2-1/2" CALIPER DECIDUOUS)
 - 5) D.D. BLANCHARD (OUTHERN MAGNOLIA, 2-1/2" CALIPER 40" D.L.)
 - 6) ILEX X ATRENIATA (SAVANNAH AVANNAH HOLLY, 2-1/2" CALIPER EVERGREEN)
 - 7) LILY OF THE VALLEY (ACERBAK ELM, 2-1/2" CALIPER DECIDUOUS)

- LANDSCAPING AND SCREENING**
- * HIGH EVERGREEN SCREEN PLANTS**
- 1) GAL. RHODODENDRON INDICUM (GEORGE L. TABER) (HEIGHT 10-12', EVERGREEN SCREEN); QTY: 12; ABBREV: RI
 - 2) GAL. PODOCARPUS MACROPHYLLUS (JAPANESE YEW) (HEIGHT 10-12', EVERGREEN SCREEN); TT: 11; ABBREV: PM
- RASSES**
- 1) SOD (YINOOH DACTYLON DISCOVERY / ISCOVERY BERMUDA SOD, OVERAGE: 14,710 SF (APPROX.))
 - 2) HYDROSEED (YINOOH DACTYLON / ORAMON BERMUDA HYDROSEED, OVERAGE: 9,609 SF (APPROX.))
- OTHERS**
- 1) LANT CALLOUT

- LEGEND**
- 1) 5' CONCRETE SIDEWALK
 - 2) OPEN SPACE
 - 3) GREEN SPACE
 - 4) EXISTING SIDEWALK
 - 5) 5' SIDEWALK (ALTERNATIVE MATERIAL)





PRELIMINARY
THE PREPARATION OF THIS PLAN IS LIMITED TO THE SPECIFIC PROJECT AND SITE SHOWN HEREON. IT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF SJB GROUP, LLC.



	PHASE 10 3.45 ACRES	PHASE 10 12.08 ACRES	PHASES 1A, 3B, 3C 11.14 ACRES	PHASE 5 REVISION 4 38.71 ACRES	CONCEPT PLAN APPROVAL	REMAINING
APPROVED	CURRENTLY PROPOSED	5/31/2018	11/26/2012	2/26/2019	1/24/2019	
CONCEPT PLAN	117.61 ACRES TOTAL					\$2.20 AC.
NEIGHBORHOOD CENTER		9.28 AC.			14.94 AC.	5.66 AC.
MEDIUM DENSITY RESIDENTIAL						
MULTI-FAMILY		149			225	76
COMMERCIAL/OFFICE		48,745 S.F.			100,000	51,255
MIXED RESIDENTIAL	2.60 AC.		9.44 AC.	24.23 AC.	61.87 AC.	23.03 AC.
LOW DENSITY RESIDENTIAL	17 UNITS (6.5 UNIT/AC)					
SINGLE FAMILY DETACHED	17				17	0
TOWNHOME						
MEDIUM DENSITY RESIDENTIAL		59 UNITS (6.25 UNIT/AC)	191 UNITS (7.88 UNIT/AC)		402	152
SINGLE FAMILY DETACHED		57	163			
TOWNHOME		2	33			
MULTI-FAMILY				30		
NEIGHBORHOOD EDGE			1.46 AC.	7.78 AC.	17.28 AC.	8.04 AC.
LOW DENSITY RESIDENTIAL			8 UNITS (5.5 UNIT/AC)	35 UNITS (4.50 UNIT/AC)	105	62
SINGLE FAMILY DETACHED			8	35		
COMMON OPEN SPACE	0.85 AC.	2.60 AC.	2.18 AC.	6.70 AC.	23.52 AC.	11.19 AC.
GREEN SPACE	0.68 AC.	0.24 AC.	0.82 AC.	4.49 AC.	19.16 AC.	12.93 AC.

SHEET NUMBER **9.0**

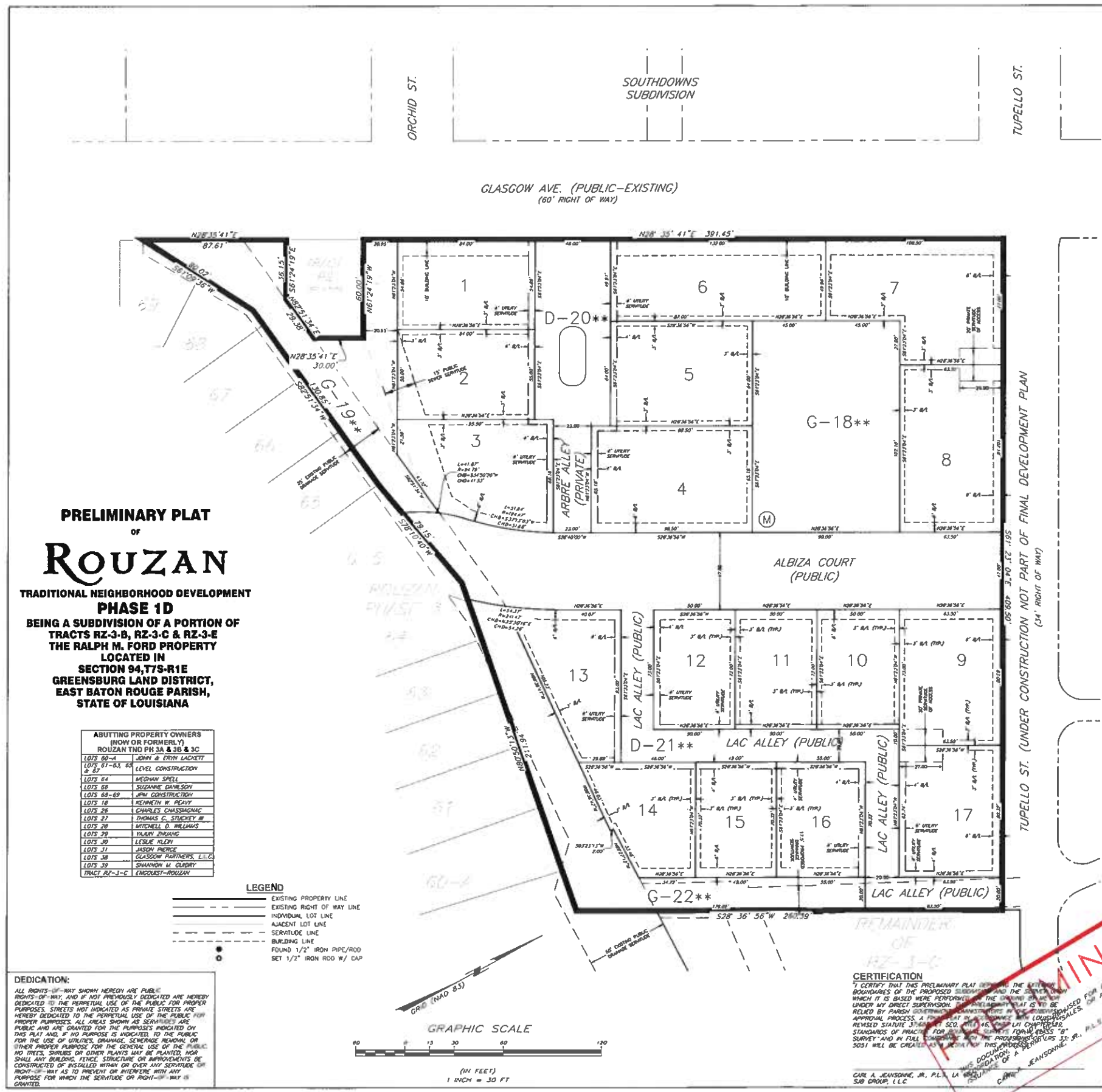
PARRISH COUNTY EAST BATON ROUGE
 CITY BATON ROUGE
 PROJECT 11409.B

ROUZAN
 TRADITIONAL NEIGHBORHOOD DEVELOPMENT
 PHASE 1D - FINAL DEVELOPMENT PLAN
 PHASE PLAN

SJB GROUP, LLC
 U.S.A. ARCHITECTURE & DESIGN
 1000 PINE ST. SUITE 1000, BATON ROUGE, LA 70801 • (504) 383-3000 • FAX (504) 383-3000

DESIGNED: CJB
 CHECKED: MAF
 DETAILED: MBS
 CHECKED: CJB
 DATE: 2-28-19
 SHEET: 13 OF 16

REVISION DESCRIPTION BY

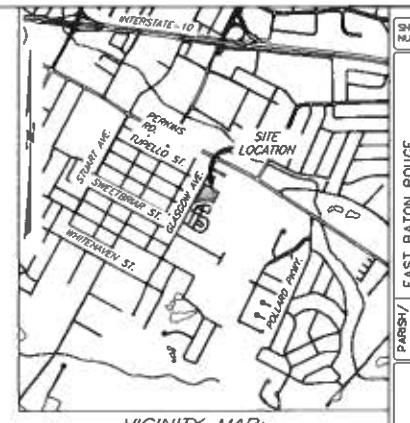


LAND USE SUMMARY:

TOTAL PHASE 1D:	3.43 ACRES
MIXED RESIDENTIAL:	2.60 ACRES (75%)
COMMON OPEN SPACE:	0.85 ACRES (25%)
LOW DENSITY RESIDENTIAL:	2.60 AC
RESIDENTIAL:	17 UNITS (6.5 UNITS/AC.)
GREEN SPACE:	0.88 ACRES (80%)
17 UNITS - SINGLE FAMILY DETACHED	

MINIMUM SETBACKS:

FRONT YARD:	LOTS 1-17
6'-FT:	LOTS 1-8
REAR YARD:	LOTS 6-7
4'-FT:	LOTS 1-5, 10-12, 14-17
3'-FT:	LOTS 9, 13
SIDE YARD:	LOTS 1-17
5'-FT:	LOTS 3-4, 7-9
4'-FT:	LOTS 12-15, 16-17



SHEET NUMBER	10.0
COUNTY	EAST BATON ROUGE
CITY	BATON ROUGE
PROJECT	31477.7
ROUZAN	TRADITIONAL NEIGHBORHOOD DEVELOPMENT
FINAL DEVELOPMENT PLAN PHASE 1D	
PRELIMINARY PLAT	
DESIGNED	2/28/19
CHECKED	2/28/19
DATE	2/28/19
SHEET	14 OF 16

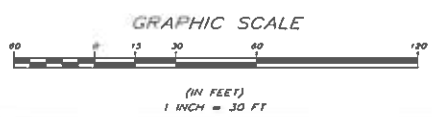
PRELIMINARY PLAT
OF
ROUZAN
TRADITIONAL NEIGHBORHOOD DEVELOPMENT
PHASE 1D
BEING A SUBDIVISION OF A PORTION OF
TRACTS RZ-3-B, RZ-3-C & RZ-3-E
THE RALPH M. FORD PROPERTY
LOCATED IN
SECTION 94, T7S-R1E
GREENSBURG LAND DISTRICT,
EAST BATON ROUGE PARISH,
STATE OF LOUISIANA

ABUTTING PROPERTY OWNERS
(NOW OR FORMERLY)

ROUZAN TWO PH 2A & 3B & 3C
LOTS 60-63 JOHN & ERIN LACKETT
LOTS 61-63, 64 LEVEL CONSTRUCTION
LOTS 64 MEGHAN SPELL
LOTS 65 SUZANNE DANIELSON
LOTS 66-69 JPM CONSTRUCTION
LOTS 18 KENNETH W. PEAVY
LOTS 26 CHARLES CHASSAGNAC
LOTS 27 THOMAS C. STUCKEY III
LOTS 28 MITCHELL O. WILLIAMS
LOTS 29 TALEN ZHANG
LOTS 30 LEOLE ALLEY
LOTS 31 JASON FIERCE
LOTS 38 GLASGOW PARTNERS, L.L.C.
LOTS 39 SHANNON M. CLURDY
TRACT RZ-3-C ENDOUST-ROUZAN

LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY LINE
- INDIVIDUAL LOT LINE
- ADJACENT LOT LINE
- SERVITUDE LINE
- BUILDING LINE
- FOUND 1/2" IRON PIPE/ROD
- SET 1/2" IRON ROD W/ CAP



DEDICATION:
ALL RIGHTS-OF-WAY NOT SHOWN HERETO ARE PUBLIC RIGHTS-OF-WAY, AND IF NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. STREETS NOT INDICATED AS PRIVATE STREETS ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. ALL AREAS SHOWN AS SERVITUDES ARE PUBLIC AND ARE GRANTED FOR THE PURPOSES INDICATED ON THIS PLAT AND IF NO PURPOSE IS INDICATED TO THE PUBLIC FOR THE USE OF UTILITIES, DRAINAGE, SEWERAGE REMOVAL, OR OTHER PROPER PURPOSES FOR THE GENERAL USE OF THE PUBLIC NO TREES, SHRUBS OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY SERVITUDE OR RIGHT-OF-WAY AS TO PREVENT OR INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE OR RIGHT-OF-WAY IS GRANTED.

CERTIFICATION
I CERTIFY THAT THIS PRELIMINARY PLAT AND THE BOUNDARIES OF THE PROPOSED SUBDIVISION AND THE SETBACKS WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF LOUISIANA AND THAT I AM NOT PROVIDING ANY SERVICES FOR WHICH I AM NOT LICENSED IN THE STATE OF LOUISIANA. I HAVE NOT BEEN THE SUBJECT OF ANY DISCIPLINARY ACTION BY THE BOARD OF SURVEYING AND MAPPING OF THE STATE OF LOUISIANA. I HAVE NOT BEEN THE SUBJECT OF ANY DISCIPLINARY ACTION BY THE BOARD OF SURVEYING AND MAPPING OF THE STATE OF LOUISIANA. I HAVE NOT BEEN THE SUBJECT OF ANY DISCIPLINARY ACTION BY THE BOARD OF SURVEYING AND MAPPING OF THE STATE OF LOUISIANA.

REGISTERED PROFESSIONAL:
CARL A. JEANSON, JR., P.L.S., L.S.
SIB GROUP, L.L.C.

SIGNAGE:
SIGNAGE SHALL INCLUDE TYPICAL TRAFFIC CONTROL AND STREET IDENTIFICATION SIGNAGE FOR PUBLIC STREETS THAT SHALL ADHERE TO THE ARCHITECTURAL STANDARDS SET FORTH BY THE ROUZAN DESIGN GUIDELINES AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. LOCATION WILL BE DETERMINED UPON DETAILED ENGINEERED DESIGN. NO SUBDIVISION SIGNAGE PROPOSED.

OWNER/DEVELOPER:
ENDOUST-ROUZAN COMMERCIAL DEVELOPMENT, L.L.C.
402 N. 4TH STREET
BATON ROUGE, LA 70802
CONTACT: CHARLES LANSRY
PHONE: 225-706-4080
EMAIL: CLANSRY@ENDOUST.COM

LEGAL DESCRIPTION:
PHASE 1D BEING A SUBDIVISION OF A PORTION OF TRACTS RZ-3-B, RZ-3-C & RZ-3-E, THE RALPH M. FORD PROPERTY LOCATED IN SECTION 94, TOWNSHIP 7 SOUTH, RANGE 1 EAST, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, STATE OF LOUISIANA.

PARCEL IDENTIFICATION NUMBERS:
TRACT RZ-3-B: 14.80521250
TRACT RZ-3-C: 14.80521250
TRACT RZ-3-E: 14.80521250

**** NOTE:**
TRACTS G-18, G-19, D-20, D-21, AND C-22 ARE DESIGNATED AS NOT A BUILDING SITE.

GENERAL NOTES:
ZONING: TND
WATER: BATON ROUGE WATER COMPANY
FEMA FLOOD ZONE: X
SCHOOL DISTRICT: EB-7
HIGH SCHOOL: FARM HIGH
MIDDLE SCHOOL: GLASGOW MIDDLE
ELEMENTARY SCHOOL: WESTMINSTER ELEMENTARY
SEWER: WSP (SOUTH TREATMENT PLANT)
ELECTRIC: ENTERGY
GAS: ENTERGY
FIRE: BATON ROUGE CITY FIRE

REGISTERED PROFESSIONAL:
CARL A. JEANSON, JR., P.L.S., L.S.
SIB GROUP, L.L.C.
1037 PEARSON AVENUE
BATON ROUGE, LOUISIANA 70809
CONTACT: COREY BLANCHARD, P.E.
PHONE: 225-769-3400
E-MAIL: COREY.BLANCHARD@SIBGROUP.COM

OFF-STREET PARKING:
N/A - THE PHASE SHOWN HERETO WILL HAVE SINGLE-FAMILY RESIDENTIAL USES ONLY.

ARCHITECTURAL GUIDELINES:
FOR ARCHITECTURAL GUIDELINES REFER TO THE GUIDELINES FOR ROUZAN T.N.D. SUBMITTED AS A SUPPLEMENTAL DOCUMENT TO THE CONCEPT PLAN FOR ROUZAN T.N.D.

SITE LIGHTING:
REFERENCE PLAN FOR APPROXIMATE LOCATION OF STREET LIGHTING. LOCATION IS SUBJECT TO ENGINEERING DESIGN. STREET LIGHTS SHALL BE 8'-FT ABOVE GRADE WITH A LANTERN STYLE FIXTURE (IF APPLICABLE). SEE SUPPLEMENTAL DOCUMENTATION FOR STREET LIGHTING SPECIFICATIONS.

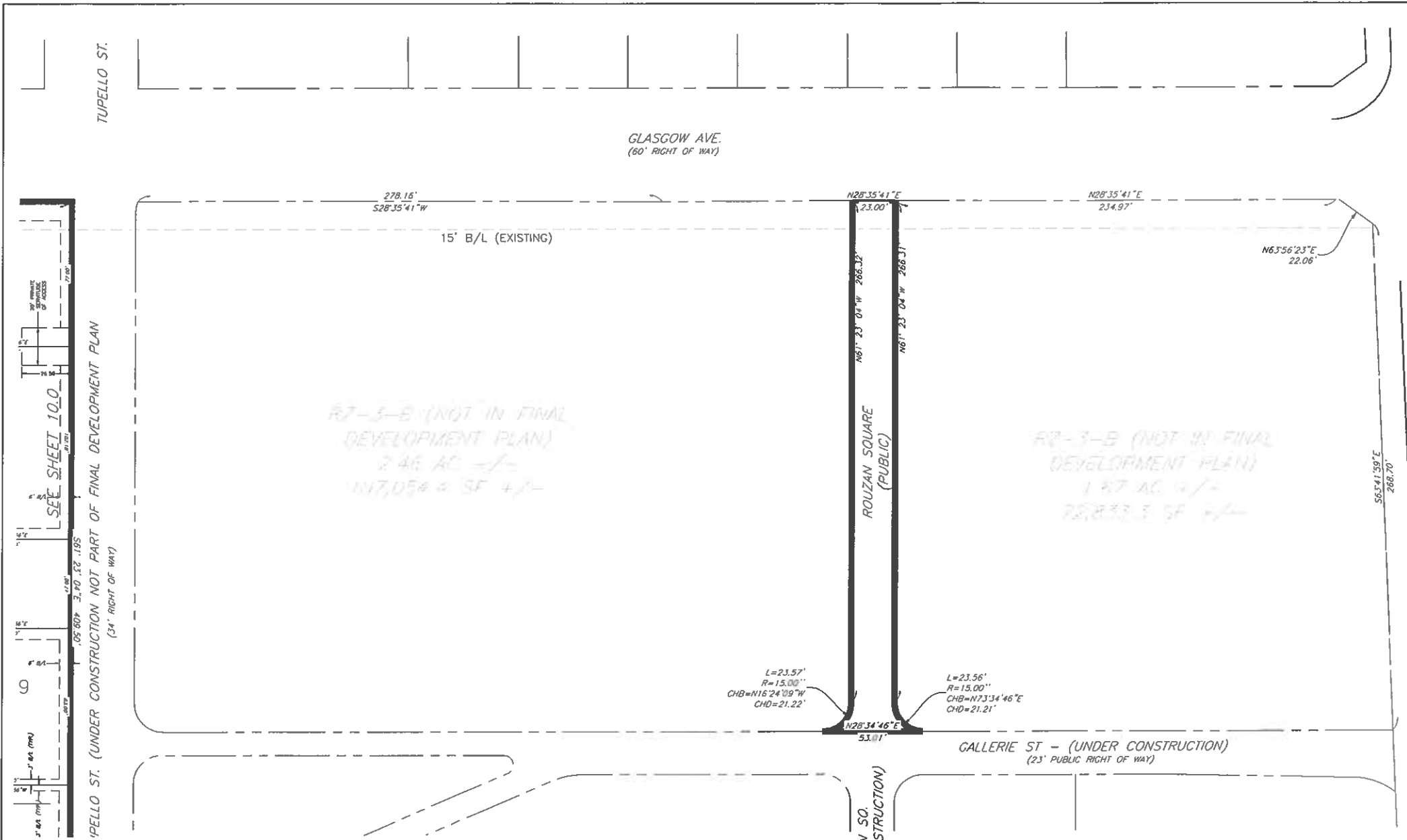
SIDEWALKS:
SIDEWALKS SHOWN HERETO SHALL BE A MINIMUM OF 5'-FT WIDE. SIDEWALKS SHALL BE CONSTRUCTED WITH A MINIMUM OF 2" CONCRETE AND SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. ALL SIDEWALKS WITHIN THIS PLAT ARE LOCATED WITHIN THE PUBLIC/PRIVATE RIGHTS-OF-WAY.

LOT FILL:
VARIOUS LOTS WITHIN THE SUBDIVISION HAVE RECEIVED COMPACTED FILL DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE TOPOGRAPHIC INFORMATION SHOWN HERETO IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY SIB GROUP, L.L.C. PRIOR TO THE PLACEMENT OF FILL. EACH BUILDING/IMPROVEMENT SHALL INDEPENDENTLY INVESTIGATE EXISTING SOIL CONDITIONS PRIOR TO THE CONSTRUCTION TO ENSURE APPROPRIATE FOUNDATION/SUB-BEAM DESIGN. THE DEVELOPER AND/OR ENGINEER DOES NOT WARRANT SITE CONDITIONS.

DRAINAGE LAYOUT STATEMENT:
AS PART OF CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF EACH LOT TO COMPLY WITH THE STORM WATER MANAGEMENT PLAN AND DRAINAGE REQUIREMENTS SET FORTH IN LATEST REVISION OF SECTION 15.13 OF THE UNIFIED DEVELOPMENT CODE.

SEWERAGE DISPOSAL:
NO PERSON SHALL PROVIDE A METHOD OF SEWERAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE HEALTH UNIT OF EAST BATON ROUGE PARISH HAS APPROVED THE METHOD OF SEWERAGE TREATMENT AND DISPOSAL.





PROJECT SEQUENCING / TIME SCHEDULE OF CONSTRUCTION:

REFER TO THE PHASING PLAN OF THE CONCEPT PLAN FOR THE PROPOSED SEQUENCE OF CONSTRUCTION PHASES. PROPOSED PHASING IS SUBJECT TO MODIFICATIONS DUE TO CHANGED ECONOMIC, SOCIAL, MARKET OR DEMOGRAPHIC CONDITIONS. THE FOLLOWING IS THE PRELIMINARY TIME SCHEDULE OF CONSTRUCTION:

START	COMPLETION
PHASE 1 2019	18 MONTHS
PHASE 2 2020	12 MONTHS
PHASE 3 2019	12 MONTHS
PHASE 4 2019	12 MONTHS
PHASE 5 2019	12 MONTHS
PHASE 6 2020	12 MONTHS
PHASE 7 2020	12 MONTHS
PHASE 8 2020	12 MONTHS
PHASE 9 2022	12 MONTHS
PHASE 10 2020	12 MONTHS

COMMERCIAL BUILDINGS:

THIS SECTION IS NOT APPLICABLE. (NO COMMERCIAL BUILDINGS ARE PROPOSED WITHIN THIS PHASE)

USE: N/A
NO. OF STORES: N/A
SIZE: N/A
LOCATION: N/A
NO. OF BUILDINGS: ZERO (0)
BLOC. HEIGHT: N/A

BUILDING HEIGHT:

MAXIMUM HEIGHT OF RESIDENCES: 35FT.
MAXIMUM STORES: 3-STORIES

TRASH-GARBAGE MAINTENANCE:

TRASH/GARBAGE WILL BE COLLECTED BY EACH INDIVIDUAL LOT OWNER USING THE CITY/PARISH PROVIDED TRASH RECEPTACLE AND PLACED CURBSIDE FOR COLLECTION BY THE CITY/PARISH ON THE SCHEDULED DATES OF EACH WEEK.

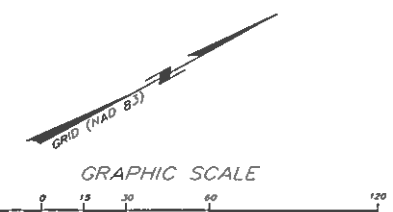
CENTRALIZED MAIL KIOSK:

REFER TO SHEET 5.0 FOR IMAGE OF MAIL KIOSK. LOCATION OF MAIL KIOSK WILL BE DETERMINED AFTER COLLABORATION WITH UNITED STATES POST MASTER. PRELIMINARY LOCATIONS ARE INDICATED AS (M) MAIL KIOSK SHALL BE 6'-8" IN HEIGHT. STREET PAVING ACCESS FOR MAIL KIOSK PROVIDED. REFER TO TYPICAL SECTION, SHEET 8.

UNIT DESIGNATION:

MARKET CONDITIONS WILL DICTATE AREAS FOR SINGLE FAMILY DETACHED, TOWNHOMES, HOUSING TYPE DESIGNATIONS WILL NOT EXCEED UNIT NUMBER SPECIFIED. ALL LOTS SPECIFIED BELOW WILL CONSIST OF SINGLE FAMILY DETACHED.

PRELIMINARY PLAT
OF
Rouzan
TRADITIONAL NEIGHBORHOOD DEVELOPMENT
PHASE 1D
BEING A SUBDIVISION OF A PORTION OF
TRACTS RZ-3-B, RZ-3-C, & RZ-3-E
THE RALPH M. FORD PROPERTY
LOCATED IN
SECTION 94, T7S-R1E
GREENSBURG LAND DISTRICT,
EAST BATON ROUGE PARISH,
STATE OF LOUISIANA



DEDICATION:
ALL RIGHTS-OF-WAY SHOWN HEREON ARE PUBLIC RIGHTS-OF-WAY AND IF NOT PREVIOUSLY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES, STREETS NOT INDICATED AS PRIVATE STREETS ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. ALL AREAS SHOWN AS SERVITUDES ARE PUBLIC AND ARE GRANTED FOR THE PURPOSES INDICATED ON THIS PLAT AND, IF NO PURPOSE IS INDICATED, TO THE PUBLIC FOR THE USE OF UTILITIES, DRAINAGE, SEWERAGE REMOVAL OR OTHER PROPER PURPOSES FOR THE GENERAL USE OF THE PUBLIC. NO TREES, SHRUBS OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY SERVITUDE OR RIGHT-OF-WAY AS TO PREVENT OR INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE OR RIGHT-OF-WAY IS GRANTED.

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING RIGHT OF WAY LINE
---	INDIVIDUAL LOT LINE
---	ADJACENT LOT LINE
---	SERVITUDE LINE
---	BUILDING LINE
●	FOUND 1/2" IRON PIPE/ROD
○	SET 1/2" IRON ROD W/ CAP

CERTIFICATION
I, CARL A. JEANSONNE, JR., P.L.S., LA 4543, DATE 2/28/2019, CERTIFY THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE RECORD SURVEY AND THE BOUNDARIES OF THE PROPERTY SUBDIVISION AND THE SURVEY THEREON WHICH IT IS BASED UPON. I HAVE BEEN DULY QUALIFIED BY THE BOARD OF LAND SURVEYORS UNDER MY DIRECT SUPERVISION. THIS PRELIMINARY PLAT IS TO BE RELIED UPON BY PARISH GOVERNMENT ADMINISTRATORS IN THE SUBDIVISION APPROVAL PROCESS. A FINAL PLAT IN CONFORMANCE WITH LOUISIANA REVISED STATUTE 17:608 ET SEQ. THIS PLAT IS IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "B" SURVEY AND IN FULL COMPLIANCE WITH THE PROVISIONS OF LRS 33:5051 WILL BE CREATED AS A RESULT OF THIS PROCESS.

PRELIMINARY

CARL A. JEANSONNE, JR., P.L.S., LA 4543
SIB GROUP, L.L.C.

LAND USE SUMMARY:

TOTAL PHASE 1D:	3.45 ACRES
MIXED RESIDENTIAL:	0.60 ACRES (75%)
COMMON OPEN SPACE:	0.85 ACRES (25%)
LOW DENSITY RESIDENTIAL:	2.60 AC (17 UNITS @ 6.5 UNITS/AC.)
GREEN SPACE:	0.60 ACRES (00%)
17 UNITS - SINGLE FAMILY DETACHED	

ABUTTING PROPERTY OWNERS (NOW OR FORMERLY):
ROUZAN TND PH 3A & 3B & 3C
ROUZAN TND PH 4A
VILLAGE CENTER PARTNERS
TRACT RZ-3-D

OWNER/DEVELOPER:
ENVOUST-ROUZAN COMMERCIAL DEVELOPMENT, L.L.C.
402 N 4TH STREET
BATON ROUGE, LA 70803
CONTACT: CHARLES LANDRY
PHONE: 225-706-4080
EMAIL: CLANDRY@ENVOUST.COM

REGISTERED PROFESSIONAL:
CARL A. JEANSONNE, JR., P.L.S., LA 4543
SIB GROUP, L.L.C.
6127 PROUDY AVENUE
BATON ROUGE, LOUISIANA 70809
CONTACT: COREY BLANCHARD, P.E.
PHONE: 225-706-3400
E-MAIL: COREY.BLANCHARD@SIBGROUP.COM

LEGAL DESCRIPTION:
PHASE 1D BEING A SUBDIVISION OF A PORTION OF TRACTS RZ-3-C, RZ-3-E & RZ-3-B, THE RALPH M. FORD PROPERTY LOCATED IN SECTION 94, TOWNSHIP 7 SOUTH, RANGE 1 EAST, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, STATE OF LOUISIANA.

GENERAL NOTES:
ZONING: TND
WATER: BATON ROUGE WATER COMPANY
FEMA FLOOD ZONE: "X"
SCHOOL DISTRICT: LBO-7
HIGH SCHOOL: TARA HIGH
MIDDLE SCHOOL: CLASSLOW MIDDLE
ELEMENTARY SCHOOL: WESLEYAN ELEMENTARY
SEWER: WSH (SOUTH TREATMENT PLANT)
ELECTRIC: ENTERT
GAS: ENTERT
FIRE: BATON ROUGE CITY FIRE

WATER SURFACE/FLOOD DATA:
FEMA FLOOD ZONE: "X"
BASE FLOOD ELEV.: 26' (NORTH) / 25' (SOUTH)
INUNDATION LEVEL: 23.6' (NORTH) / 23.1' (SOUTH)
DESIGN WATER SURFACE: 23.1' (NORTH) / 23.0' (SOUTH)

OFF-STREET PARKING:
N/A - THE PHASE SHOWN HEREON WILL HAVE SINGLE-FAMILY RESIDENTIAL USES ONLY.

ARCHITECTURAL GUIDELINES:
FOR ARCHITECTURAL GUIDELINES REFER TO THE GUIDELINES FOR ROUZAN TND SUBMITTED AS A SUPPLEMENTAL DOCUMENT TO THE CONCEPT PLAN FOR ROUZAN TND.

SITE LIGHTING:
REFERENCE PLAN FOR APPROXIMATE LOCATION OF STREET LIGHTING. LOCATION IS SUBJECT TO ENGINEERING DESIGN. STREET LIGHTS SHALL BE 8'-FT ABOVE GRADE WITH A LANTERN STYLE FIXTURE (0 ANGLE). SEE SUPPLEMENTAL DOCUMENTATION FOR STREET LIGHTING SPECIFICATIONS.

SIDEWALKS:
SIDEWALKS SHOWN HEREON SHALL BE A MINIMUM OF 5'-FT-WIDE, CONSTRUCTED WITH 4-IN-THICK CONCRETE, AND SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE ADA/AGCS WITH CURBSIDES ACROSS ALL SIDEWALKS WITHIN THIS PLAT. ARE LOCATED WITHIN THE PUBLIC/PRIVATE RIGHTS-OF-WAY.

LOT FILL:
VARIOUS LOTS WITHIN THE SUBDIVISION HAVE RECEIVED COMPACTED FILL DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY SIB GROUP, L.L.C. PRIOR TO THE PLACEMENT OF FILL. EACH BUILDING/TOWER SHALL INDEPENDENTLY INVESTIGATE EXISTING SOIL CONDITIONS PRIOR TO THE COMMENCING OF CONSTRUCTION TO ENSURE APPROPRIATE FOUNDATION/SLAB DESIGN. THE DEVELOPER AND/OR ENGINEER DOES NOT WARRANT SITE CONDITIONS.

DRAINAGE LAYOUT STATEMENT:
AS PART OF CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF EACH LOT TO COMPLY WITH THE STORM WATER MANAGEMENT PLAN AND DRAINAGE REQUIREMENTS SET FORTH IN LATEST REVISION OF SECTION 15.13 OF THE UNITED DEVELOPMENT CODE.

SEWERAGE DISPOSAL:
NO PERSON SHALL PROVIDE A METHOD OF SEWERAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE HEALTH UNIT OF EAST BATON ROUGE PARISH HAS APPROVED THE METHOD OF SEWERAGE TREATMENT AND DISPOSAL.

SHEET NUMBER	10.1
PARISH/COUNTY	EAST BATON ROUGE
CITY	BATON ROUGE
PROJECT	31477.7
TRADITIONAL NEIGHBORHOOD DEVELOPMENT	
FINAL DEVELOPMENT PLAN PHASE 1D	
PRELIMINARY PLAT	
DESIGNED	CV
CHECKED	CV
DATE	2/28/2019
BY	CV



PRELIMINARY
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION. IT IS THE PROPERTY OF SIB GROUP, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM SIB GROUP, LLC.



Corey Blanchard
 2/28/19

DESIGNED	CIB	DATE	2-28-19
CHECKED	MBH	DATE	2-28-19
DETAILED	CIB	DATE	2-28-19
CHECKED	CIB	DATE	2-28-19
DATE	2-28-19	SHEET	16 OF 18
REVISION DESCRIPTION			
BY			
PROJECT: EAST BATON ROUGE			
CITY: BATON ROUGE			
PROJECT: 11409 B			
SHEET NUMBER: 11.0			

ROUZAN
 TRADITIONAL NEIGHBORHOOD DEVELOPMENT
 PHASE 1D - FINAL DEVELOPMENT PLAN
 ARCHITECTURAL ELEVATIONS

SIB GROUP, LLC
 C U A L T Y D Y D I S I O N
P.O. BOX 1701 • EAST BATON ROUGE, LA 70024 • (504) 944-1500 • FAX: (504) 944-2008

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