

T.N.D. FINAL DEVELOPMENT PLAN

FOR

ROUZAN

TRADITIONAL NEIGHBORHOOD DEVELOPMENT PHASE 1C REVISION 3 EAST BATON ROUGE PARISH, LOUISIANA

(*MAJOR SITE CHANGE TO T.N.D. DEVELOPMENT PLAN ORIGINALLY APPROVED ON MAY 18, 2015)

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SHEET NUMBER	1.0
PARISH/COUNTY	EAST BATON ROUGE
CITY	BATON ROUGE
PROJECT	11409.2

ROUZAN T.N.D. / FDPs - PHASE 1C
VILLAGE CENTER PARTNERS /
ENGQUIST - ROUZAN COM. DEV., L.L.C.
COVER SHEET

SJB GROUP, LLC
SIB GROUP, LLC
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BATON ROUGE, LA 70801
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DESIGNED	S.A.	C.B.
CHECKED	S.A.	C.B.
DATE	3-15-19	BY
SHEET	1	OF 18

ADDED SIGNAGE AND SIGNAGE DETAILS	3-15-19	S.A.	C.B.
ADDED REVISION BOX	04/20/2018	S.A.	C.B.
PER C-P COMMENTS RECEIVED ON 03/27/2018	04/19/2018	S.A.	C.B.
REVISION DESCRIPTION			

REVISION #2: 04/20/2018

- ALL CHANGES PRESENTED IN THIS REVISION TO THE MAY 18, 2015 APPROVED FINAL DEVELOPMENT PLANS FOR PHASE 1C WILL ONLY IMPACT TRACT RZ-4-A. AREAS OUTSIDE OF THIS TRACT INCLUDED IN PHASE 1C ARE SHOWN FOR REFERENCE ONLY.
- UPDATED LEGAL DESCRIPTION PER CURRENT RECORDED SUBDIVISION MAP.
- RECORDED NOTES TO DRAWINGS FOR C-P COMMENTS. RESUBDIVISION MAP HAS OMITTED AND THE LANDSCAPE PLAN HAS PLACED AFTER THE UTILITIES PLAN.
- STATEMENT AND CALCULATIONS HAVE BEEN UPDATED TO MATCH THE FINAL DEVELOPMENT PLAN. PHASE 1C WILL CONTAIN 2627 SF OF COMMERCIAL USAGE INCLUDING A 29,896 SF GROCERY STORE AND 25,346 SF OF OTHER COMMERCIAL AREA. REVISION BOX HAS BEEN ADDED TO THIS SHEET.
- THE NOTES SHOWN ABOVE FROM THE PREVIOUSLY APPROVED PLANS WERE CERTIFIED BY MURRAY L. MCCULLOUGH, P.E., CIVIL ENGINEER, LOUISIANA LICENSE NO. 21943.

APPROVED: _____ DATE: 5-31-18
FRANK M. DUKE, FAOCP, PLANNING DIRECTOR OR HIS DESIGNEE
CITY-PARISH PLANNING COMMISSION FILE # _____

REVISION #3: 03/15/2019

- UPDATED LEGAL DESCRIPTION PER CURRENT RECORDED SUBDIVISION MAP.
- ADDED MONUMENT & ENTRY SIGNAGE TO FINAL DEVELOPMENT PLAN, CIRCULATION PLAN, UTILITY SERVICE PLAN, LANDSCAPE PLAN.
- UPDATED OWNERSHIP AND REVISION STATEMENT, EXISTING CONDITIONS, SUBJECT PROPERTY MAP WITH NEW SUBDIVISION MAP.
- ADDED ARCHITECTURAL ELEVATIONS FOR MONUMENT AND ENTRY SIGNAGE.

APPROVED: _____ DATE: _____
FRANK M. DUKE, FAOCP, PLANNING DIRECTOR OR HIS DESIGNEE
CITY-PARISH PLANNING COMMISSION FILE # _____

STATEMENT OF OBJECTIVES:

ROUZAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (T.N.D.) HAS AN OVERALL PROJECT AREA OF 116.71 ACRES WITH THE FINAL DEVELOPMENT PLAN FOR PHASE 1C CONTAINING 9.21 ACRES. THE USES PROPOSED FOR PHASE 1C WILL COMPLY WITH THE ZONING CLASSES APPROVED WITHIN THE CONCEPT PLAN FOR ROUZAN T.N.D.

ROUZAN T.N.D. FINAL DEVELOPMENT PLAN FOR PHASE 1C WILL CONSIST OF TWO HUNDRED TWENTY-FIVE (225) MEDIUM DENSITY RESIDENTIAL UNITS (15 UNITS/ACRE ACCORDING TO THE APPROVED CONCEPT PLAN FOR THE OVERALL FOR THE NEIGHBORHOOD CENTER). PHASE 1C WILL CONTAIN FIFTY-FIVE THOUSAND TWO HUNDRED FORTY-TWO (55,242) SQUARE FEET OF COMMERCIAL USAGE INCLUDING A 29,896 SQUARE FOOT GROCERY STORE AND 25,346 SQUARE FEET OF OTHER COMMERCIAL AREA.

THE SEQUENCING OF THE CONSTRUCTION IS AN ANTICIPATED START CONSISTING OF CLEARING AND EARTHWORKS OF PHASE C WITHIN THE THIRD QUARTER OF 2018 WITH COMPLETION OF INFRASTRUCTURE BY THE SECOND QUARTER OF 2019.

THE STREETS/ROADS/PEDESTRIAN WAYS LOCATED WITHIN THE MIXED RESIDENTIAL AREAS SHOWN ON THE FINAL DEVELOPMENT PLAN FOR PHASE 1C ARE PROPOSED TO BE DEDICATED TO THE PUBLIC FOR OWNERSHIP AND MAINTENANCE.

THE METHOD OF GOVERNING THE USE, MAINTENANCE, AND CONTINUED PROTECTION OF THE COMMON AREA AND COMMUNITY SERVING FACILITIES WILL BE ESTABLISHED BY THE ROUZAN COMMUNITY OPERATING AGREEMENT WHICH HAS BEEN OR WILL BE RECORDED WITH THE OFFICE OF THE CLERK OF COURT OF EAST BATON ROUGE PARISH, STATE OF LOUISIANA (THE "COMMUNITY OPERATING AGREEMENT").

SEPARATE DECLARATIONS FOR THE RESIDENTIAL PROPERTY WITHIN ROUZAN (THE "RESIDENTIAL DECLARATION") AND THE BUSINESS DISTRICT WITHIN ROUZAN (THE "NON-RESIDENTIAL DECLARATION") HAS BEEN OR WILL BE RECORDED TO CREATE A RESIDENTIAL OWNERS ASSOCIATION (THE "NEIGHBORHOOD ASSOCIATION") TO REGULATE AND MAINTAIN THE RESIDENTIAL PORTIONS OF ROUZAN AND CREATE A BUSINESS OWNERS ASSOCIATION (THE "BUSINESS ASSOCIATION") TO REGULATE AND MAINTAIN THE COMMERCIAL PORTIONS OF ROUZAN. THE NEEDS OF ROUZAN IS MET PRIMARILY BY THESE TWO SEPARATE ENTITIES.

UNDER THE TERMS OF THE RESIDENTIAL DECLARATION, THE NEIGHBORHOOD ASSOCIATION MAINTAINS ALL OF THE NEIGHBORHOOD ASSOCIATION COMMON AREAS, OR "NEIGHBORHOOD COMMONS", INCLUDING OPEN SPACE, ALLEYS, PARKS AND RECREATIONAL FACILITIES. THE NEIGHBORHOOD ASSOCIATION ALSO HELPS PRESERVE NEIGHBORHOOD HARMONY BY FACILITATING NEIGHBORHOOD DISCUSSION, STIMULATING AN UNDERSTANDING OF THE NEIGHBORHOOD GOALS AND ENFORCING THE COVENANTS WHEN NECESSARY.

THE BUSINESS ASSOCIATION MEETS THE SPECIAL NEEDS OF THE COMMERCIAL PROPERTIES WITHIN ROUZAN, AS PROVIDED BY THE ROUZAN NON-RESIDENTIAL DECLARATION. THE BUSINESS ASSOCIATION PROVIDES COMMERCIAL-TYPE MAINTENANCE AND SERVICES APPROPRIATE TO THE BUSINESS INCLUDING MAINTAINING ALL OF THE BUSINESS COMMON AREAS OR "BUSINESS COMMONS", WHICH INCLUDE OPEN SPACES, ALLEYS, PARKS AND RECREATIONAL FACILITIES. THE BUSINESS ASSOCIATION MAY ALSO FUNCTION AS A MERCHANTS' ASSOCIATION FOR ADVERTISING AND BUSINESS DEVELOPMENT. TOGETHER, THE NEIGHBORHOOD COMMONS AND THE BUSINESS COMMONS SHALL CONSTITUTE THE "ROUZAN COMMONS".

LEGAL DESCRIPTION OF SITE:
THE SUBJECT SITE IS SITUATED ON TRACT RZ-4-A, RZ-4-B, RZ-4-C, RZ-3-A, AND RZ-3-E, LOCATED IN SECTION 34, TOWNSHIP 7 SOUTH, RANGE 1 EAST, ORLEANS PARISH, EAST BATON ROUGE PARISH, LOUISIANA.

PARCEL IDENTIFICATION NUMBERS:
TRACT RZ-4-A: 1430521255
TRACT RZ-4-B: 1430521256
TRACT RZ-4-C: 1430521257
TRACT RZ-3-A: 1430521258
TRACT RZ-3-E: 1430521262

ARCHITECT	OWNER/DEVELOPER/APPLICANT
FITCH 16435 N. SCOTTSDALE RD. SCOTTSDALE, AZ 85254 CONTACT: SHELDON SHAW PHONE: 480-998-4200 FAX: 949.851.5156 EMAIL: sheldon.shaw@fitich.com	ENGQUIST-ROUZAN COMMERCIAL DEVELOPMENT, L.L.C. 402 N. 4TH ST. BATON ROUGE, LOUISIANA 70802 CONTACT: CHARLES LANDRY PHONE: 225.706.4080 EMAIL: CLandry@fishmonhgood.com
CIVIL ENGINEER / LAND SURVEYOR	LANDSCAPE ARCHITECT / LAND PLANNERS
SJB GROUP, L.L.C. 8377 PICARDY AVE. BATON ROUGE, LOUISIANA 70809 CONTACT: COREY BLANCHARD PHONE: 225.769.3400 FAX: 225.769.3596 EMAIL: Corey.Blanchard@SJBGroup.com	SJB GROUP, L.L.C. 8317 PICARDY AVE. BATON ROUGE, LOUISIANA 70809 CONTACT: STEVEN J. LUMPKIN PHONE: 225.769.3400 FAX: 225.769.3596 EMAIL: Steven.Lumpkin@SJBGroup.com
REGISTERED PROFESSIONAL:	
THIS PLAN/DOCUMENT HAS BEEN PREPARED FOR CITY/PARISH PLANNING AND/OR ZONING PURPOSES ONLY. THE USE OF THIS PLAN/DOCUMENT FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF ANY PERMIT IS STRICTLY PROHIBITED. THIS PLAN/DOCUMENT HAS BEEN PREPARED BY THE REGISTERED ENGINEER, SURVEYOR, AND/OR LANDSCAPE ARCHITECT NOTED HEREON AND SIGNATURE OF SAID REGISTERED PROFESSIONAL DOES NOT DEEM THE PLAN/DOCUMENT AN OFFICIAL ENGINEERING, SURVEYING, OR LANDSCAPING PLAN/DOCUMENT.	

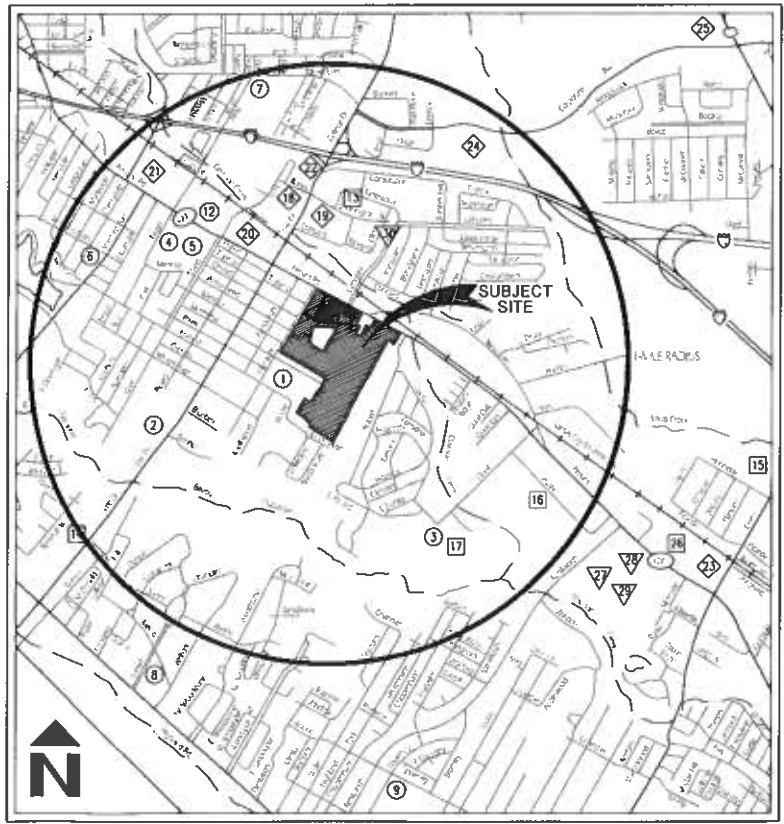
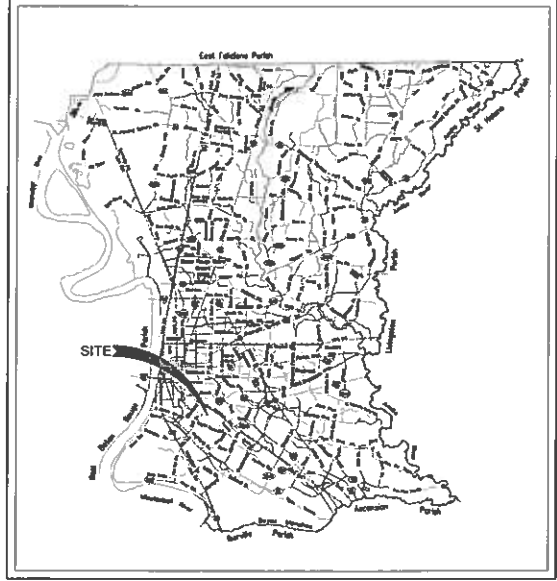
- SCHOOLS:**
- GLASGOW MIDDLE SCHOOL
 - ROBERT E. LEE HIGH SCHOOL
 - CHRISTIAN LIFE ACADEMY
 - SOUTH DOWNS ELEMENTARY
 - ST. ALOYSIUS CATHOLIC SCHOOL
 - TRINITY EPISCOPAL DAY SCHOOL
 - VALLEY PARK MIDDLE SCHOOL
 - HIGHLAND ELEMENTARY SCHOOL
 - KENILWORTH JUNIOR HIGH SCHOOL
 - MAGNOLIA WOODS ELEMENTARY SCHOOL
 - SILVERSIDE ELEMENTARY SCHOOL
- FIRE STATIONS:**
- BATON ROUGE FIRE DEPT. NO. 9
- OTHER FACILITIES:**
- BENNINGTON POST OFFICE
 - ST. JAMES PLACE NURSING HOME
 - OUR LADY OF THE LAKE REGIONAL MEDICAL CENTER
 - BENNINGTON BIOMEDICAL RESEARCH CENTER
 - LOUISIANA DEPARTMENT OF WILDLIFE AND FISHERIES
 - BATON ROUGE MEDICAL CLINIC
- PARKS:**
- BREC - OLYMPIA STADIUM & PARK
 - BREC - VELODROME
 - BREC - PERKINS ROAD PARK
 - BREC - CONGRESS PARK
- SHOPPING AREAS:**
- WALMART SHOPPING CENTER
 - VILLAGE SQUARE SHOPPING CENTER
 - SOUTH DOWNS CENTER
 - ACADIAN - PERKINS PLAZA
 - ALBERTSON'S GROCERY STORE
 - ALBERTSON'S SHOPPING CENTER
 - CITIPLACE PLANNED UNIT DEVELOPMENT
 - TOWNE CENTER PLANNED UNIT DEVELOPMENT

STATE OF LOUISIANA
LAND SURVEYOR
CAL A. JEANSONNE, JR.
LICENSE NO. 4543
PROFESSIONAL

STATE OF LOUISIANA
REGISTERED PROFESSIONAL ENGINEER IN CIVIL
COREY BLANCHARD
REG. NO. 38039

STATE OF LOUISIANA
REGISTERED PROFESSIONAL ARCHITECT
STEVEN J. LUMPKIN
REG. NO. 10000

PRELIMINARY
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE BASIS FOR THE ISSUANCE OF ANY PERMIT.
COREY BLANCHARD, P.E. LA REG. NO. 38039

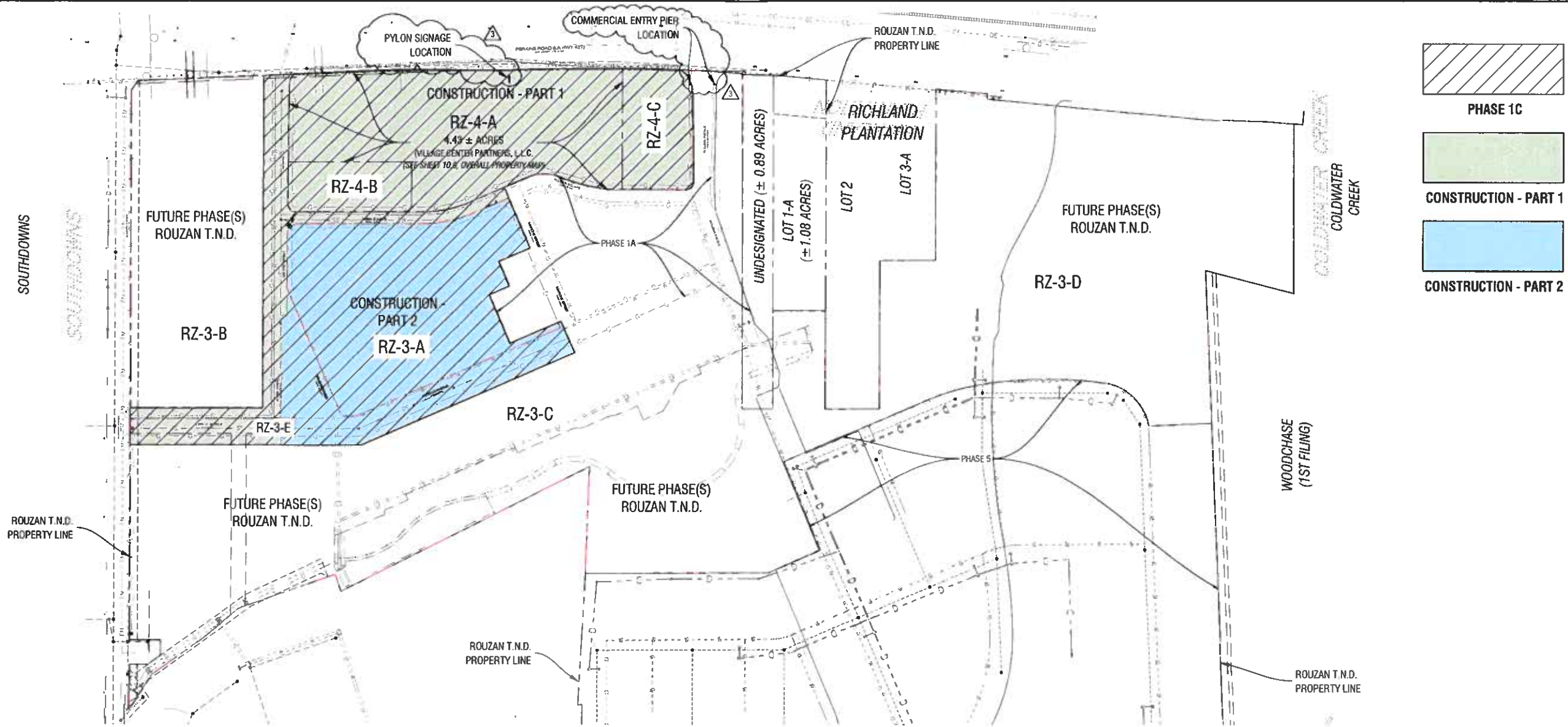


TND NOTES:

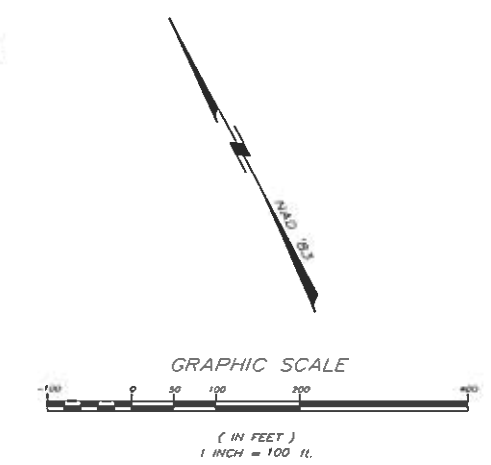
- CONDITIONS, COVENANTS, AND RESTRICTIONS FOR ALL THE PROPERTY WITHIN A TND DISTRICT SHALL BE FILED IN THE PARISH RECORDS BY THE OWNER BEFORE A LOT IS SOLD AND/OR A BUILDING PERMIT IS ISSUED.
- IN ADDITION TO OTHER TERMS AND CONDITIONS ACCEPTABLE TO THE APPLICANT, THE CONDITIONS, COVENANTS, AND RESTRICTIONS MUST CREATE ONE (1) OR MORE PROPERTY OWNERS ASSOCIATION WITH MANDATORY MEMBERSHIP FOR EACH PROPERTY OWNER, GOVERNED BY ARTICLES OF INCORPORATION AND BYLAWS, WHICH SHALL:
 - BE ORGANIZED BY THE APPLICANT AND OPERATED WITH A FINANCIAL SUBSIDY FROM THE APPLICANT BEFORE THE SALE OF ANY LOTS WITHIN THE TND;
 - PROVIDE FOR THE CONDITIONS AND TIMING OF TRANSFERRING CONTROL OF THE ASSOCIATION FROM THE APPLICANT TO THE PROPERTY OWNERS;
 - BE RESPONSIBLE FOR MAINTENANCE OF INSURANCE AND TAXES ON ALL COMMON OPEN SPACE, ENFORCEABLE BY LIENS PLACED ON THE ASSOCIATION BY THE PARISH, AS PROVIDED IN THE ASSOCIATION BYLAWS;
 - AT ALL TIMES, CAUSE ALL OWNERS TO HAVE ACCESS TO THE COMMON OPEN SPACE WITHIN THE TND;
 - ESTABLISH ARCHITECTURAL STANDARDS THAT ARE IN CONFORMITY WITH THE REQUIREMENTS OF THIS ORDINANCE WHICH SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE BOARD OF DIRECTORS OF THE ASSOCIATION OR THE ARCHITECTURAL CONTROL COMMITTEE, AS DESCRIBED BELOW;
 - CREATE AN ARCHITECTURAL CONTROL COMMITTEE TO REVIEW DEVELOPMENT FOR COMPLIANCE WITH THE DESIGN STANDARDS TO ISSUE CERTIFICATES OF APPROVAL AND TO REVIEW AND APPROVE THE DEVELOPMENT'S ARCHITECT, DESIGNER, AND/OR OTHER PROFESSIONALS CONTRIBUTING TO THE DEVELOPMENT;
 - PROVIDE FOR OWNERSHIP, DEVELOPMENT, MANAGEMENT AND MAINTENANCE OF PRIVATE OPEN SPACE (EXCEPT PLAZAS OWNED BY INDIVIDUAL PROPERTY OWNERS) COMMUNITY PARKING FACILITIES, COMMUNITY MEETING HALL, AND OTHER COMMON AREAS;
 - PROVIDE FOR A MAINTENANCE PROGRAM FOR ALL PROPERTY WITHIN THE TND, INCLUDING LANDSCAPING AND TREES WITHIN THE STREETScape;
 - REQUIRE THE COLLECTION OF ASSESSMENTS FROM MEMBERS IN AN AMOUNT SUFFICIENT TO PAY FOR ITS FUNCTIONS; AND
 - BE EFFECTIVE FOR A TERM OF NOT LESS THAN FIFTY (50) YEARS.

RECEIVED APR 30 2019

RECEIVED APR 30 2019



NOTE:
 1. THE FINAL DEVELOPMENT PLAN REVISION IS TO ADD PROPOSED SIGNAGE AT TRACTS RZ-4-A AND RZ-4-C.

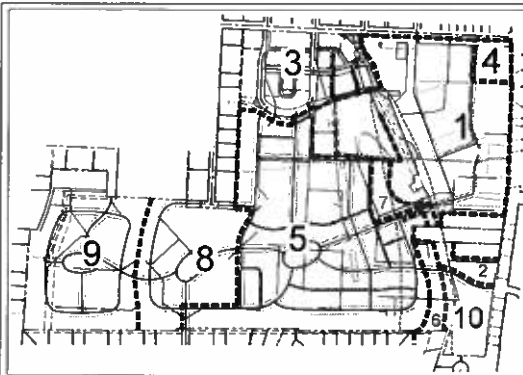


PRELIMINARY
 THE PRELIMINARY NATURE OF THIS PLAN IS NOT TO BE CONSIDERED A FINAL DESIGN OR A GUARANTEE OF ACCURACY.
 COREY BLANKHARD, P.E. LA REG. NO. 36038

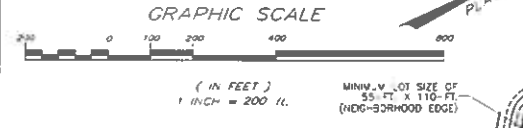


SHEET NUMBER		2.0	
PARISH/COUNTY	EAST BATON ROUGE	CITY	BATON ROUGE
PROJECT	11409.2		
ROUZAN T.N.D. / FDPs - PHASE 1C VILLAGE CENTER PARTNERS / ENQUIST - ROUZAN COM. DEV., L.L.C. OWNERSHIP & REVISION STATEMENT			
REVISION	DATE	BY	DESCRIPTION
A	03-15-2019	CB	ADDED SIGNAGE AND SIGNAGE DETAILS
B	04/25/2018	SA	PER C-P COMMENTS RECEIVED ON 04/09/2018
C	04/02/2018	SA	PER C-P COMMENTS RECEIVED ON 03/27/2018
			REVISION DESCRIPTION
REQUIRED	SA	CB	
CHECKED	SA	CB	
DATE	03-15-19	03-15-19	
SHEET	2	2	OF 18

SJB GROUP, LLC
 C U A L T Y B Y D E S I G N
 P L L C 101 N. PINE ST., SUITE 200, BATON ROUGE, LA 70801 • (225) 381-1000 • FAX (225) 381-1006



PHASE PLAN:
SCALE: N.T.S.



PROJECT SEQUENCING / TIME SCHEDULE OF CONSTRUCTION:

REFER TO THE PHASING PLAN OF THE CONCEPT PLAN FOR THE PROPOSED SEQUENCE OF CONSTRUCTION PHASES. PROPOSED PHASING IS SUBJECT TO MODIFICATIONS DUE TO CHANGED ECONOMIC, SOCIAL, MARKET OR DEMOGRAPHIC CONDITIONS. THE FOLLOWING IS THE PRELIMINARY TIME SCHEDULE OF CONSTRUCTION.

START	COMPLETION	MONTHS
PHASE 1	2019	36 MONTHS
PHASE 2	2020	12 MONTHS
PHASE 3	COMPLETED	
PHASE 4	2019	12 MONTHS
PHASE 5	2019	12 MONTHS
PHASE 6	2020	12 MONTHS
PHASE 7	2020	12 MONTHS
PHASE 8	2020	12 MONTHS
PHASE 9	2022	12 MONTHS
PHASE 10	2020	12 MONTHS

TND PERMISSIBLE USES:

(EXISTING UDC ZONING CLASSES):

NEIGHBORHOOD CENTER:
A1, A2, A2.1, A2.5, A2.6, A2.7, A3.1, A3.2, A3.3, NO, GO, GOH, NC, NC-AB, LCI, LC2, LC3, C-AB-1, HCl, HC2

MIXED RESIDENTIAL:
A1, A2, A2.1, A2.5, A2.6, A2.7, A3.1, A3.2, A3.3, NO, NC

NEIGHBORHOOD EDGE:
A1, A2

EXCLUSIONS:
SERVICE STATIONS SELLING GASOLINE, BAR ROOMS ONLY

T.N.D. NOTES:

- 1) CONDITIONS, COVENANTS, AND RESTRICTIONS FOR ALL THE PROPERTY WITHIN A TND DISTRICT SHALL BE FILED IN THE PARISH RECORDS BY THE OWNER BEFORE A LOT IS SOLD AND/OR A BUILDING PERMIT IS ISSUED.
- 2) IN ADDITION TO OTHER TERMS AND CONDITIONS ACCEPTABLE TO THE APPLICANT, THE CONDITIONS, COVENANTS, AND RESTRICTIONS MUST CREATE ONE (1) OR MORE PROPERTY OWNERS ASSOCIATION WITH MANDATORY MEMBERSHIP FOR EACH PROPERTY OWNER, GOVERNED BY ARTICLES OF INCORPORATION AND BYLAWS, WHICH SHALL:
 - a) BE ORGANIZED BY THE APPLICANT AND OPERATED WITH A FINANCIAL SUBSIDY FROM THE APPLICANT BEFORE THE SALE OF ANY LOTS WITHIN THE TND.
 - b) PROVIDE FOR THE CONDITIONS AND TERMS OF TRANSFERRING CONTROL OF THE ASSOCIATION FROM THE APPLICANT TO THE PROPERTY OWNERS.
 - c) BE RESPONSIBLE FOR MAINTENANCE OF INSURANCE AND TAXES ON ALL COMMON OPEN SPACE, ENFORCEABLE BY LEIS PLACED ON THE ASSOCIATION BY THE PARISH, AS PROVIDED BY THE ASSOCIATION BYLAWS.
 - d) AT ALL TIMES, CAUSE ALL OWNERS TO HAVE ACCESS TO THE COMMON OPEN SPACE WITHIN THE TND.
- 3) ESTABLISH ARCHITECTURAL STANDARDS THAT ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THIS ORDINANCE WHICH SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE BOARD OF DIRECTORS OF THE ASSOCIATION OR THE ARCHITECTURAL CONTROL COMMITTEE, AS DESCRIBED BELOW.
 - a) CREATE AN ARCHITECTURAL CONTROL COMMITTEE TO REVIEW DEVELOPMENT FOR COMPLIANCE WITH THE DESIGN STANDARDS TO ISSUE CERTIFICATES OF APPROVAL AND TO REVIEW AND APPROVE THE DEVELOPMENT'S ARCHITECT, DESIGNER, AND/OR OTHER PROFESSIONALS CONTRIBUTING TO THE DEVELOPMENT.
 - b) PROVIDE FOR OWNERSHIP, DEVELOPMENT, MANAGEMENT AND MAINTENANCE OF PRIVATE OPEN SPACE (EXCEPT PLAZAS OWNED BY INDIVIDUAL PROPERTY OWNERS) COMMUNITY PARKING FACILITIES, COMMUNITY MEETING HALL, AND OTHER COMMON AREAS.
 - c) PROVIDE FOR A MAINTENANCE PROGRAM FOR ALL PROPERTY WITHIN THE TND, INCLUDING LANDSCAPING AND TREES WITHIN THE STREETSCAPE.
- 4) REQUIRE THE COLLECTION OF ASSESSMENTS FROM MEMBERS IN AN AMOUNT SUFFICIENT TO PAY FOR ITS FUNCTIONS, AND BE EFFECTIVE FOR A TERM OF NOT LESS THAN FIFTY (50) YEARS.
- 5) DISABLED ACCESSIBILITY: SIDEWALKS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.

REQUIREMENTS FOR MIXED RESIDENTIAL USED & MIXED USE AREAS:
SINGLE-FAMILY DETACHED DWELLINGS SHALL ACCOUNT FOR AT LEAST FIFTY (50%) PERCENT OF THE TOTAL NUMBER OF RESIDENTIAL UNITS WITHIN THE TND DISTRICT. TWO-FAMILY UNITS, TOWNHOMES, AND MULTI-FAMILY UNITS SHALL COMPREHEND LESS THAN FIFTY (50%) PERCENT OF UNITS WITHIN THE TND DISTRICT.

CENTRALIZED MAIL KIOSK:
FINAL LOCATION(S) OF CENTRALIZED MAIL KIOSK(S) WILL BE DETERMINED AT THE FINAL DEVELOPMENT PLAN PHASE AND AFTER COLLABORATION WITH THE UNITED STATES POST MASTER. PRELIMINARY LOCATION(S) ARE INDICATED HEREIN AS (M).

CONNECTIVITY:
THOROUGHFARES AND UTILITIES WITHIN ROULAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) WILL CONNECT TO EXISTING THOROUGHFARES AND UTILITIES, OR DEAD-END AS STUBS INTENDED FOR CONNECTION TO FUTURE THOROUGHFARES, UNLESS OTHERWISE PROHIBITED BY TOPOGRAPHY, UNIFORMITY, CONSTRAINTS OR OTHER CONSIDERATIONS.

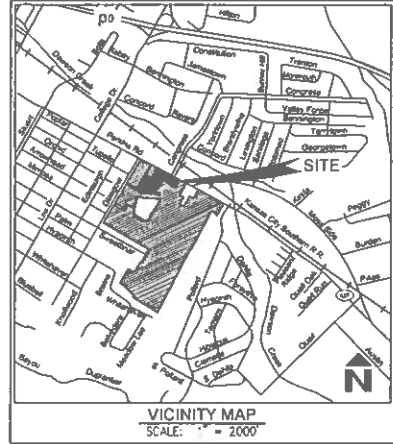
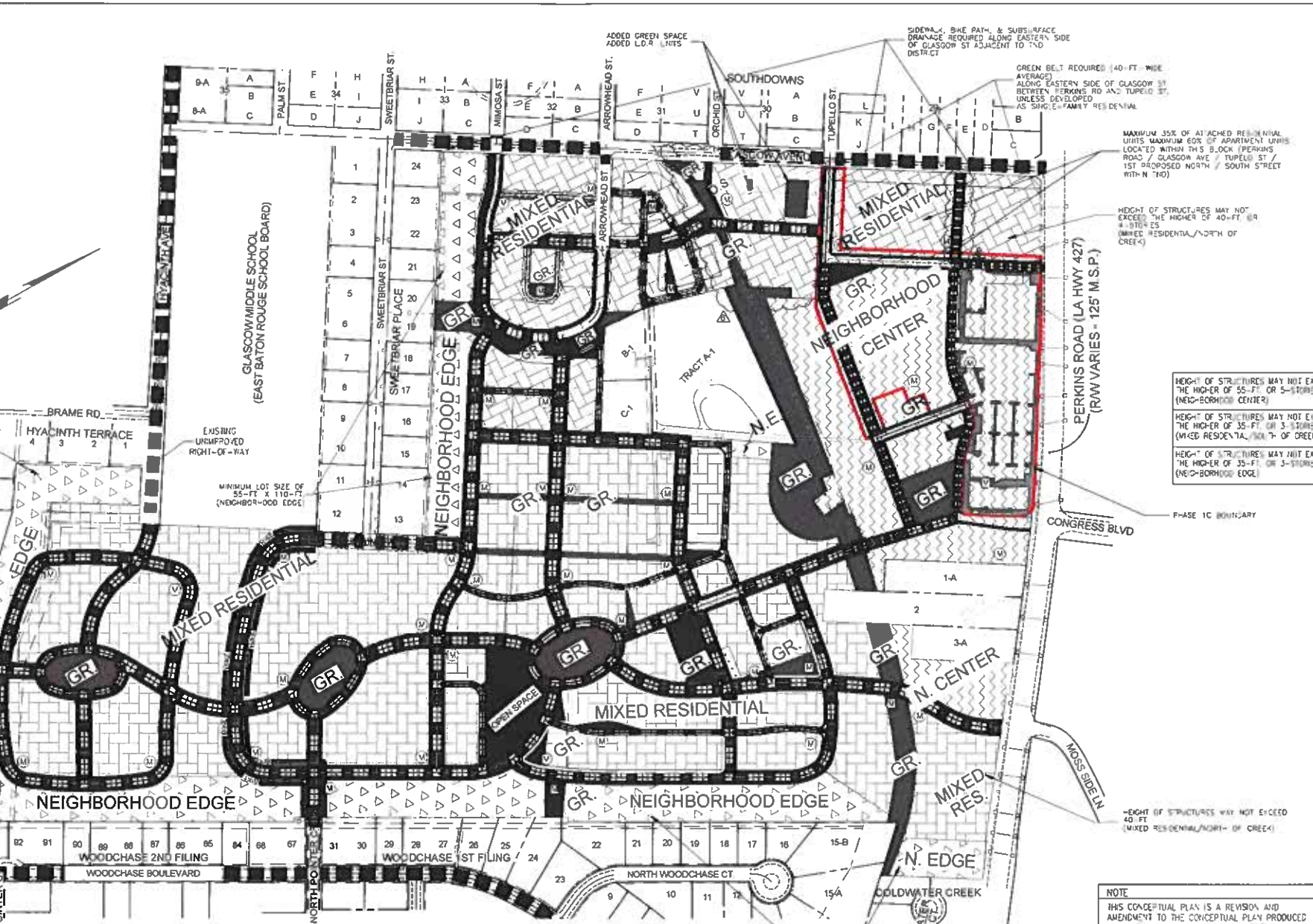
MIXED USE AREA(S):
ALL RESIDENTS SHALL BE WITHIN APPROXIMATELY 1/4-1/2 MILE DISTANCE FROM EXISTING OR PROPOSED COMMERCIAL, CIVIC, AND/OR OPEN SPACE AREAS. NINETY (90%) PERCENT OF THE LOTS WITHIN AREAS DEVOTED TO MIXED RESIDENTIAL USES SHALL BE WITHIN APPROXIMATELY 1/4-1/2 MILE OF COMMON OPEN SPACE AREAS.

PARKLAND AREAS:
TWENTY-FIVE (25%) PERCENT OF THE COMMON OPEN SPACE SHOWN HEREON WITHIN ROULAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) WILL BE DEDICATED AS PARKLAND.

STREET OWNERSHIP AND MAINTENANCE:
ALL STREETS, ALLEYS, AND PEDESTRIAN WAYS LOCATED WITHIN ROULAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) AND DESIGNATED AS PUBLIC ON FINAL DEVELOPMENT PLANS SHALL BE DEDICATED FOR PUBLIC USE AFTER A ONE (1) YEAR MAINTENANCE PERIOD UPON COMPLETION OF CONSTRUCTION. ALL PUBLIC STREETS AND ALLEYS SHALL BE OWNED AND MAINTAINED BY THE EAST BATON ROUGE CITY/PARISH DEPARTMENT OF PUBLIC WORKS. A SMALLER PORTION OF STREETS, ALLEYS, AND PEDESTRIAN WAYS WITHIN THE TND WILL BE DESIGNATED AS PRIVATE ON FINAL DEVELOPMENT PLANS AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE ROULAN PROPERTY OWNERS ASSOCIATION.

UTILITY FACILITY PROVISIONS:
PRELIMINARY PLANNING WITH THE APPROPRIATE UTILITY AGENCIES SERVING ROULAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) INDICATES THAT ALL UTILITY AGENCIES (PRIVATE AND PUBLIC) HAVE EXISTING FACILITIES ON ADJACENT OR IN PROXIMITY OF THE SUBJECT SITE THAT ARE CAPABLE OF SERVING THE DEVELOPMENT. THOSE UTILITY AGENCIES INCLUDE BATON ROUGE WATER COMPANY (WATER SUPPLY), ENTERGY CORP. (ELECTRIC AND GAS), AT & T (TELEPHONE), COX COMMUNICATIONS (CABLE), EAST BATON ROUGE CITY/PARISH DEPT. OF PUBLIC WORKS (SEWER AND DRAINAGE). UPON APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR EACH PHASE THE OWNER/DEVELOPER WILL CONTRACT WITH THE APPROPRIATE UTILITY AGENCIES TO EXTEND AND/OR CONNECT EXISTING FACILITIES TO ROULAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) TO PROVIDE ADEQUATE SERVICES WITHIN THE DEVELOPMENT.

EAST BATON ROUGE MASTER PLAN:
ROULAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) IS A TRADITIONAL NEIGHBORHOOD DEVELOPMENT THAT INCORPORATES THE CONCEPTS AND DESIGN STANDARDS OF SMART GROWTH WITHIN A TRADITIONAL NEIGHBORHOOD DEVELOPMENT. ROULAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) IS A "DESTINATION DEVELOPMENT" IN THAT THE DESIGN WILL ENCOURAGE MORE PEDESTRIAN AND BICYCLE TRAFFIC WITHIN THE DEVELOPMENT AND DE-EMPHASIZE THE TYPICAL VEHICULAR TRAFFIC PATTERNS OF TYPICAL SUBURBAN DEVELOPMENTS. INCORPORATING THE VARIOUS LAND USES (RESIDENTIAL, COMMERCIAL, PUBLIC) WITHIN ROULAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) FOLLOWS THE GOALS OF SMART GROWTH DEVELOPMENT. THE STREET DESIGN IS THAT OF TRADITIONAL NEIGHBORHOOD DEVELOPMENTS AND PRODUCES A TRAFFIC CALMING WHEN COMPARED TO TYPICAL STREET DESIGNS. THE CONNECTIVITY OF STREETS WITHIN ROULAN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) TO THE EXISTING STREET NETWORK ADJACENT TO THE SUBJECT PROPERTY IS IN COMPLIANCE WITH THE GOALS AND POLICIES OF DEVELOPMENT FOR EAST BATON ROUGE PARISH.



LAND USE LEGEND:

- NEIGHBORHOOD CENTER (N-CENTER)
- MIXED RESIDENTIAL AREA (MIXED RESIDENTIAL)
- NEIGHBORHOOD EDGE AREA (N-EDGE)
- GREEN SPACE (GREEN) (GR)
- COMMON OPEN SPACE AREAS WITHIN 1/4 MILE OF MIXED RESIDENTIAL USES

GENERAL DESCRIPTION:

TOTAL SITE AREA:	117.61 ACRES
NEIGHBORHOOD CENTER:	14.94 ACRES (13%)
MIXED RESIDENTIAL:	61.87 ACRES (53%)
NEIGHBORHOOD EDGE:	17.28 ACRES (15%)
(SEE TABLE HEREON FOR PERMISSIBLE USES)	
COMMON OPEN SPACE REQUIRED:	23.52 ACRES (20%)
COMMON OPEN SPACE PROVIDED:	23.52 ACRES (20%)
GREEN SPACE:	19.16 ACRES (16%)
NUMBER OF OFFICE/COMMERCIAL BUILDINGS:	TO BE DETERMINED
TOTAL RESIDENTIAL UNITS:	750 UNITS
RESIDENTIAL DENSITY:	6.4 UNITS/ACRE
TOTAL S.F. OFFICE/COMMERCIAL BUILDINGS:	100,000 SQ. FT.

NOTE:
CIVIC USE ALLOWED TO BE INCLUDED UNDER NEIGHBORHOOD CENTER PER UDC 8.217.B.3

CONCEPTUAL LAND USE DENSITY:

	ACREAGE	L.O.R. UNITS	L.D.R. DENSITY (UNITS/AC)	M.D.R. UNITS	M.D.R. DENSITY (UNITS/AC)	H.D.R. UNITS	H.D.R. DENSITY (UNITS/AC)	COM./OFF. (SQ. FT./AC)
NEIGHBORHOOD CENTER:	14.94 AC.	0-	0-	225	15.0	0-	0-	100,000
MIXED RESIDENTIAL (LOW DENSITY):	3.41 AC.	17	5.0	0-	0-	0-	0-	0-
MIXED RESIDENTIAL (MEDIUM DENSITY):	58.46 AC.	0-	0-	402	6.9	0-	0-	0-
NEIGHBORHOOD EDGE:	17.28 AC.	105	6.1	0-	N/A	0-	N/A	0-
COMMON OPEN SPACE:	23.52 AC.	N/A	N/A	N/A	N/A	N/A	N/A	N/A
T.N.D. TOTALS:	117.61 AC.	105	0.9	644	5.5	0-	0-	100,000

LOW DENSITY RESIDENTIAL (L.D.R.) (LESS THAN 8 UNITS/ACRE)
MEDIUM DENSITY RESIDENTIAL (M.D.R.) (8 - 17 UNITS/ACRE)
HIGH DENSITY RESIDENTIAL (H.D.R.) (GREATER THAN 17 UNITS/ACRE)
COMMERCIAL/OFFICE (COM./OFF.) SQ. FT. - BLDG. FOOTPRINT ONLY

ALLOWABLE RESIDENTIAL UNITS:
SINGLE-FAMILY: 376 UNITS
TWO-FAMILY: 4 UNITS
TOWN-HOME: 77 UNITS
MULTI-FAMILY: 293 UNITS

PRELIMINARY

STATE OF LOUISIANA
CORP. BOND NO. 56839
REGISTERED PROFESSIONAL ENGINEER
BY
Louis Blaud
9/31/19

SJB GROUP, LLC
QUALITY DESIGN
1000 P.O. BOX 179 • BATON ROUGE, LA 70801 • (504) 984-1000 • FAX (504) 984-1000

REVISIONS:

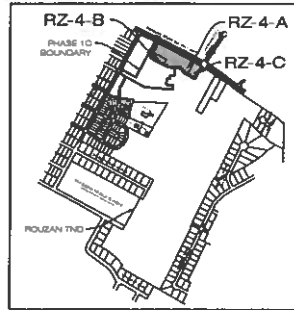
NO.	DATE	DESCRIPTION
4	09-15-19	REVISED PER SITE ADJUSTMENTS
5	11-09-19	REVISED LAND USE, UTILITIES, AND OPEN SPACE CALCULATIONS
6	01-23-19	EXTENDED ROADWAY BOUNDARY TO DRAINAGE, LAND USE CHANGED, UPDATED SHEETS

REVISION DESIGNED BY: [Signature]

DATE: 3-13-19
SHEET: 4 OF 18



VICINITY MAP
NTS



MAP KEY - PHASE 1C
NTS

TND NOTES:
REFER TO THIS FINAL DEVELOPMENT PLAN TND NOTES ON COVER PAGE.

STATEMENT OF OBJECTIVES:
REFER TO THIS FINAL DEVELOPMENT PLAN STATEMENT OF OBJECTIVES ON COVER PAGE.

PROPERTY NOTE:
FOR CLARITY PURPOSES DIMENSIONS OF THE SUBJECT PROPERTY ARE NOT SHOWN HEREON. FOR DIMENSIONS OF THE SUBJECT PROPERTY AND EXISTING TRACT DESIGNATIONS REFER TO THE SUBJECT PROPERTY MAP, SHEET S.0, HEREON.

SIGNAGE:
SIGNAGE SHALL INCLUDE TYPICAL TRAFFIC CONTROL AND STREET IDENTIFICATION SIGNAGE FOR PUBLIC STREETS THAT SHALL ADHERE TO THE ARCHITECTURAL STANDARDS SET FORTH BY THE ROUZAN DESIGN GUIDELINES AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. LOCATIONS ARE SHOWN ON THE CIRCULATION PLAN, SHEET 6.0. BUSINESS SIGNS WILL BE BUILDING MOUNTED AND APPROVED AT THE TIME OF THE ISSUANCE OF A BUILDING PERMIT.

RESIDENTIAL MAIL DELIVERY:
RESIDENTIAL MAIL SHALL BE DELIVERED TO MAIL BOXES IN LOBBIES OF BUILDINGS. A COMMERCIAL MAIL BOX IS CENTRALLY LOCATED ON THE SOUTHWEST SIDE OF THE GROCERY STORE PARKING. A DETAIL OF A TYPICAL MAIL BOX IS SHOWN ON SHEET S.2.

ARCHITECTURAL GUIDELINES:
FOR ARCHITECTURAL GUIDELINES REFER TO THE DESIGN GUIDELINES FOR ROUZAN T.N.D. SUBMITTED AS A SUPPLEMENTAL DOCUMENT TO THE CONCEPT PLAN FOR ROUZAN T.N.D.

SITE LIGHTING:
PEDESTRIAN STREET LIGHTS, 11'-11" FROM GRADE, ARE SPACED AT 75' INTERVALS ALONG THE ROUZAN SQUARE. AREA LIGHTS, 17'-3" FROM GRADE, SIMILAR IN DESIGN, ARE LOCATED IN THE GROCERY STORE PARKING LOT. LIGHTING ELEVATIONS ARE SHOWN ON SHEET S.2. LIGHTING OTHER THAN STREET LIGHTS, WILL BE BUILDING MOUNTED AND/OR LANDSCAPE LIGHTING AND WILL BE PROTECTED TO ILLUMINATE WITHIN THE ROUZAN T.N.D.

SIDEWALKS:
STANDARD SIDEWALKS SHALL BE A MINIMUM OF 5'-0" WIDE, CONSTRUCTED WITH 4-IN. THICK CONCRETE, AND SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. TYPICAL SIDEWALK STREETSCAPE SHALL INCLUDE THE SIDEWALK PAVEMENT MEANDERING BETWEEN THE BUILDINGS AND STREET WITH COMPLEMENTING LANDSCAPE.

REFUSE AREA:
REFUSE AREA SHOWN HEREON SHALL BE 2 PAIRS OF 6-YARD DUMPSTERS LOCATED ON THIS SHEET. SCREENING SHALL BE AN 8-FT. WALL TO COMPLEMENT SURROUNDING BUILDINGS. A DETAIL IS SHOWN ON SHEET S.2.

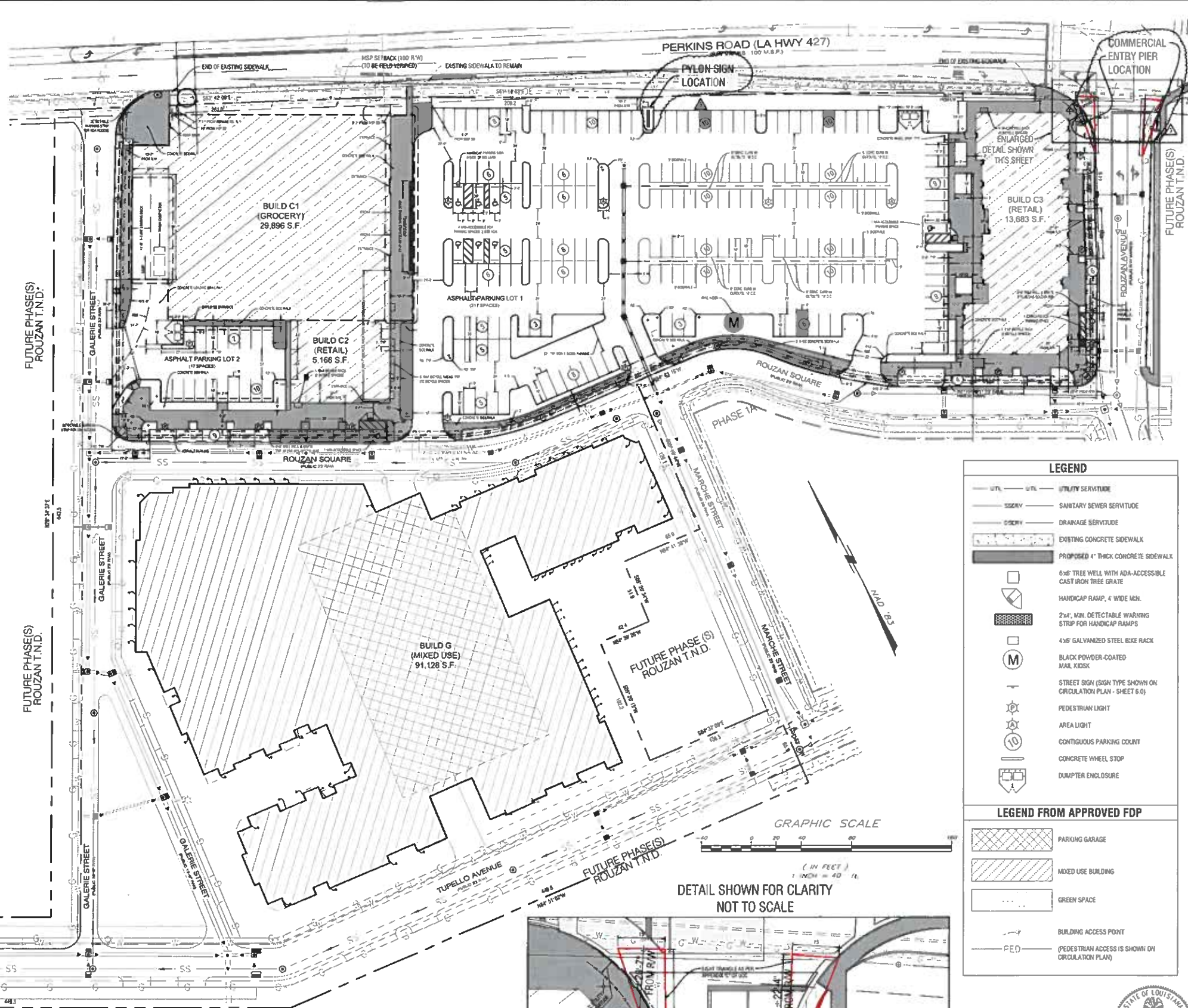
SETBACKS:
PER CHAPTER 8.217, C.7 OF THE UDC, THERE IS NO MINIMUM SETBACKS FOR MIXED USE AREAS, UNLESS OTHERWISE INDICATED ON THIS SHEET. ALL BUILDINGS SHOWN ABUT SIDEWALKS. ALL BUILDING LOCATIONS ARE DIMENSIONED WITH RESPECT TO PUBLIC RIGHTS-OF-WAY.

BIKE RACKS:
BIKE RACKS ARE LOCATED IN 3 GROUPS OF 5 RACKS IN TRACK RZ-4 AND 20 RACKS ARE LOCATED IN THE PARKING GARAGE (BUILDING G) OF TRACK RZ-3. EACH RACK SUPPORTS 2 SPACES USING A POST & LOOP DESIGN SHOWN IN APPENDIX B OF THE UDC. THE FURTHEST BIKE RACK IN EACH GROUP IS WITHIN 125 FT. OF A MAIN ENTRANCE. A DETAIL OF THE BIKE RACK IS SHOWN ON SHEET S.2.

ROAD SIGNS:
ALL FUTURE DETACHED SIGNAGE WILL BE SUBMITTED AS A REVISION TO THE FINAL DEVELOPMENT PLAN. ALL TRAFFIC SIGNS ARE SHOWN ON THE CIRCULATION PLAN, SHEET 6.0.

UTILITIES:
THERE IS EXISTING UTILITIES (WATER, GAS, SEWER, DRAINAGE, OVERHEAD POWER, FIBER OPTIC) ALONG THE SOUTH SIDE OF PERKINS ROAD (LA HWY 427) SHOWN ON THIS SHEET. SEE THE UTILITIES PLAN, SHEET S.0 FOR ALL EXISTING AND PROPOSED UTILITIES. PRIVATE AND PUBLIC SERVICES ARE SHOWN ON THIS SHEET AND IN TYPICAL ROADWAY SECTIONS ON SHEET 6.1.

PARCEL CURVE TABLE				
CURVE #	LENGTH	RADIUS	CHORD LENGTH	CHORD DIRECTION
C1	128.40	3797.82	128.39	S62°43'28"E
C2	212.07	3769.72	212.04	S60°41'58"E
C3	49.40	50.00	47.41	S00°18'42"W
C4	23.56	15.00	21.21	S73°36'56"W
C5	15.45	88.50	15.43	N56°23'04"W
C6	69.72	314.55	69.58	N45°04'25"W
C7	63.89	79.65	62.19	N61°44'31"W

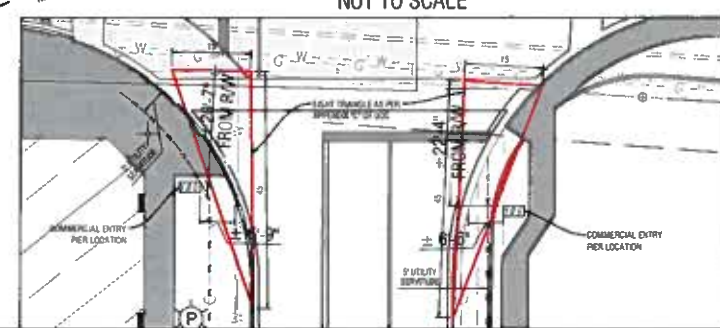
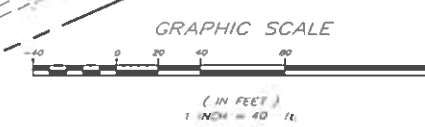


LEGEND

- UTILITY - UTILITY SERVICE
- SEWER - SANITARY SEWER SERVICE
- DRAINAGE - DRAINAGE SERVICE
- EXISTING CONCRETE SIDEWALK
- PROPOSED 4" THICK CONCRETE SIDEWALK
- 6x6 TREE WELL WITH ADA-ACCESSIBLE CAST IRON TREE GRATE
- HANDICAP RAMP, 4' WIDE MIN.
- 2x4 MIN. DETECTABLE WARNING STRIP FOR HANDICAP RAMPS
- 4x6 GALVANIZED STEEL BIKE RACK
- BLACK POWDER-COATED MAIL KIOSK
- STREET SIGN (SIGN TYPE SHOWN ON CIRCULATION PLAN - SHEET 6.0)
- PEDESTRIAN LIGHT
- AREA LIGHT
- CONTIGUOUS PARKING COURT
- CONCRETE WHEEL STOP
- DUMPSTER ENCLOSURE

LEGEND FROM APPROVED FOP

- PARKING GARAGE
- MIXED USE BUILDING
- GREEN SPACE
- BUILDING ACCESS POINT
- (PEDESTRIAN ACCESS IS SHOWN ON CIRCULATION PLAN)



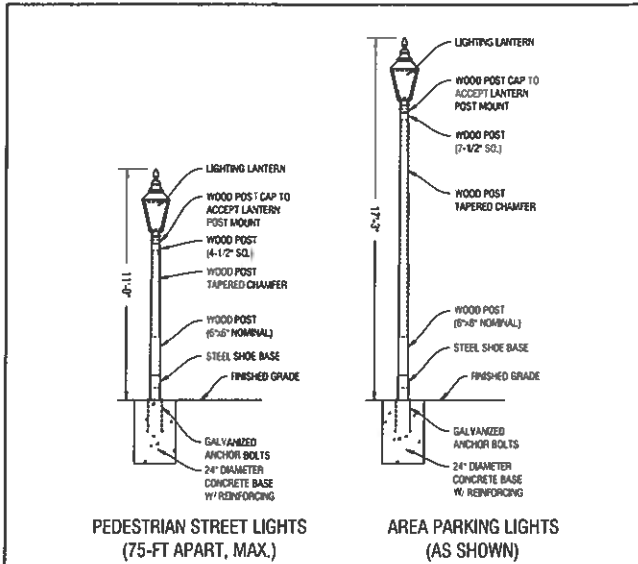
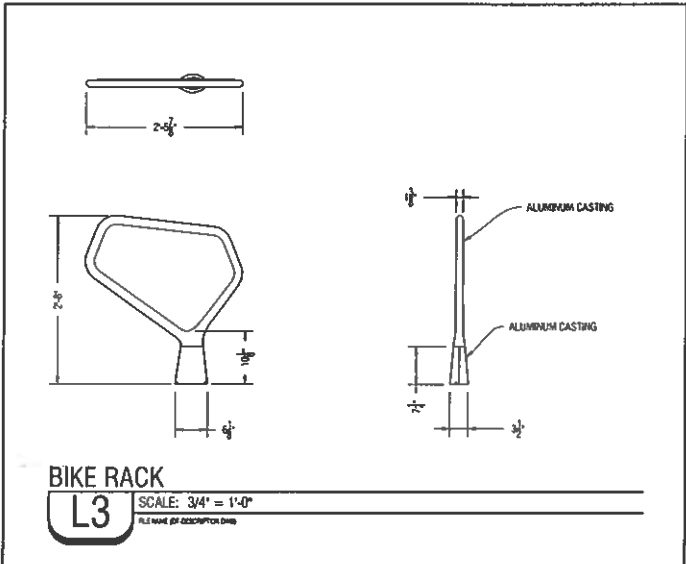
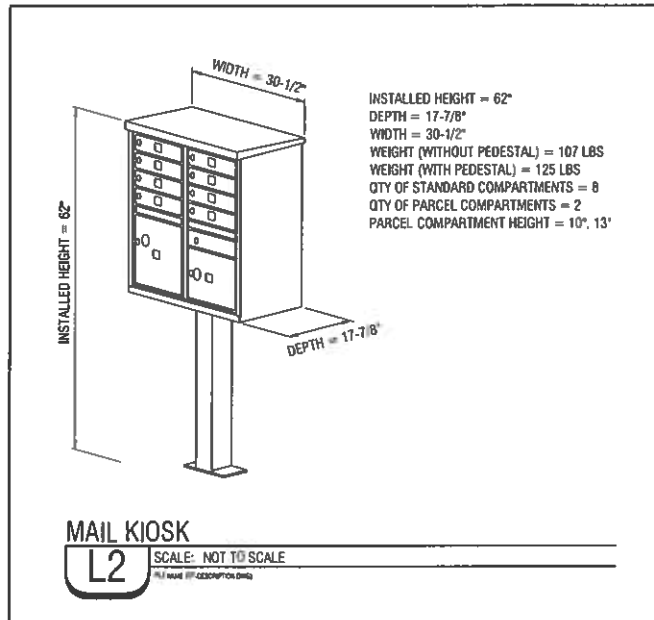
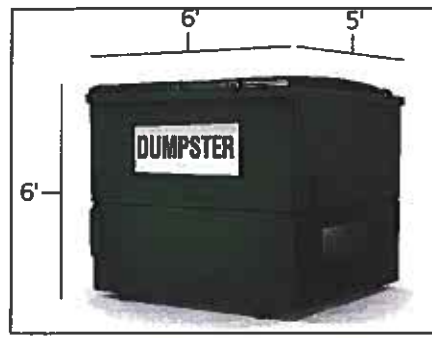
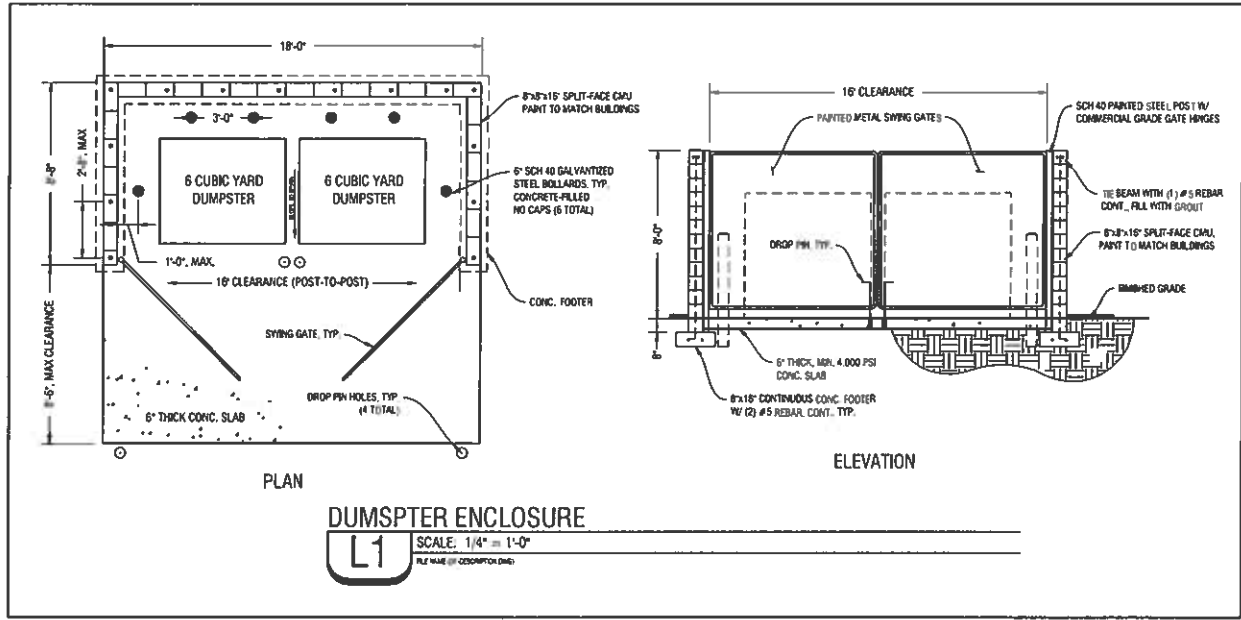
REGISTERED PROFESSIONAL:
THIS PLAN/DOCUMENT HAS BEEN PREPARED FOR CITY/TOWN PLANNING AND/OR ZONING PURPOSES ONLY. THE USE OF THIS PLAN/DOCUMENT FOR CONSTRUCTION, BIDDING, REGULATION, COMPLIANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF ANY PERMIT IS STRICTLY PROHIBITED. THIS PLAN/DOCUMENT HAS BEEN PREPARED BY THE REGISTERED ENGINEER, SURVEYOR, AND/OR LANDSCAPE ARCHITECT NOTED HEREON AND SIGNATURE OF SAID REGISTERED PROFESSIONAL DOES NOT DEEM THE PLAN/DOCUMENT AN OFFICIAL ENGINEERING, SURVEYING, OR LANDSCAPING PLAN/DOCUMENT.

PRELIMINARY
COREY BLANCHARD P.E. LA REG. NO. 36039



SHEET NUMBER		5.1	
PARISH/COUNTY	EAST BATON ROUGE	CITY	BATON ROUGE
PROJECT	11409.2		
ROUZAN T.N.D./FOPs - PHASE 1C			
VILLAGE CENTER PARTNERS/			
ENGLISHT-ROUZAN COM. DEV., L.L.C.			
FINAL DEVELOPMENT PLAN			
DESIGNED	S.A.	CHECKED	C.A.B.
DATE	03-15-19	DATE	03-15-19
ADDED SIGNAGE AND SIGNAGE DETAILS		C.A.B.	
PER C-P COMMENTS RECEIVED ON 04/06/2018		S.A.	
PER C-P COMMENTS RECEIVED ON 03/27/2018		S.A.	
PER C-P COMMENTS RECEIVED ON 03/27/2018		S.A.	
REVISION DESCRIPTION			

SIB GROUP, LLC
CITY DESIGN
1000 PINE ST., SUITE 100, BATON ROUGE, LA 70801
P: 504.779.1100 | F: 504.779.1101 | WWW.SIBGROUP.COM



PARKING SUMMARY - PHASE 1C REQUIREMENTS (SUBURBAN CHARACTER)
TRACT RZ-4 (PHASE 1C) PER TND ORDINANCE (MARCH 2018)

BUILDING	USE	CAPACITY (SF)	REQUIRED VEHICULAR PARKING SPACES (1/280 SF OF GFA)	PROVIDED VEHICULAR PARKING SPACES		EXCESS VEHICULAR PARKING		REQUIRED HANDICAP PARKING SPACES (ADA-COMPLIANCE)		PROVIDED HANDICAP PARKING SPACES (ADA-COMPLIANCE)		REQUIRED BICYCLE PARKING (1/15 VEHICLE)	PROVIDED BICYCLE PARKING SPACES
				QTY	%	STANDARD	VAN	STANDARD	VAN				
BUILD C1	GROCERY	29,888	85	178	83	108%	8	1	2	4	12	12	
BUILD C2	RETAIL	5,188	16	17	2	19%	1	1	1	1	1	2	
BUILD C3	RETAIL	13,883	39	39	0	0%	1	1	1	1	3	4	
ON-STREET	RETAIL	N/A	N/A	18	19	100%					N/A	N/A	
TOTAL PARKING SPACES:			139	253	114	82%	8	3	3	6	18	18	

A "Shared Parking Agreement" shall be executed between Building C3 tenants and the grocery store in Building C1 prior to occupancy.

352 parking spaces are distributed among 4 parking levels as shown on the Building/Structure Summary on Sheet 6 of the Approved FDP, May 18, 2015 (refer to Sheet 8.3 for Building G parking counts). Evenly distributed, approximately 88 parking spaces represent the impervious footprint of the parking area. At this rate, TOTAL PARKING COUNT would be 400 vehicular spaces (all Phase 1C). This exceeds the required amount of 328 by 74 spaces. This fall within the 128% allowable excess with pervious parking. Due to excess parking, a subsurface bioretention system shall be installed in order to treat first-flush rainfall event of 9,083 cubic feet of runoff. The subsurface bioretention system designed will provide 11,861 cubic feet of capacity within Phase 1C in order to treat the first-flush event.

NOTE: Standard parking spaces shall be 9'x18'. All handicap-accessible parking spaces shall be 6'x20' with a 9' wide accessible aisle. All van-accessible spaces shall be linked by an 8' wide access aisle. All on-street parking spaces shall be 9'x21'. All provided handicap parking spaces shall meet the requirements for the East Baton Rouge Parish UDC, Americans with Disability Act and other local, state and federal requirements.

BUILDING SUMMARY - PHASE 1C REQUIREMENTS

BUILDING	USE	TOTAL AREA (SF)	HEIGHT (FEET)	NO. OF STORES
BUILD C1	RETAIL	29,888	31	1
BUILD C2	RETAIL	5,188	28	1
BUILD C3	RETAIL	13,883	28	1
BUILD G	RESIDENTIAL	171,753	48 (TOTAL HT.)	4
	RETAIL GARAGE	8,497		
		29,884 (EACH FLOOR)		

ALL BUILDINGS LISTED HEREIN ARE LOCATED IN THE NEIGHBORHOOD CENTER AS SHOWN.

TOTAL AREA FOR NEIGHBORHOOD CENTER PER CONCEPT PLAN (ACRES):	18.81	NEIGHBORHOOD CENTER (BUILD G)
TOTAL RESIDENTIAL UNITS:	148	
RESIDENTIAL DENSITY (UNITS PER PH 1C / ACRES PER CONCEPT PLAN):	8.81	
TOTAL COMMERCIAL AREA (SQUARE FEET):	65,242	C1, C2, C3, G
COMMERCIAL DENSITY (AREA PER PH 1C / ACRES PER CONCEPT PLAN):	3.267	
TOTAL AREA FOR PHASE 1C (ACRES):	9.21	

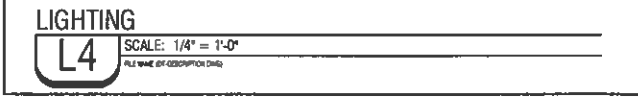


TABLE OF MIXED USES

TOTALS	BUILDING G (MIXED USE)							
	LOW DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	OFFICE/RETAIL	HIGH DENSITY RESIDENTIAL	COMMERCIAL/OFFICE	PUBLIC AND SEMI-PUBLIC	INDUSTRIAL	OPEN SPACE
No. OF UNITS	0	148	0	0	N/A	N/A	N/A	N/A
No. OF LOTS	0	1	0	4	0	0	0	4
SF OF BLDGS	N/A	64,434	N/A	46,745	46,328	0	0	N/A
SF OF PARKING		26,884		101,838				
ACRES	0	2.08	0	3.48	1.08	0	2.80	
% OF SITE	0%	23%	0%	38%	12%	0%	28%	

- NOTES:
- BUILDING G INCLUDES THE FOLLOWING OF MIXED USES: 171,753 SF OF RESIDENTIAL COMBINED (4 STORES), AND 8,497 SF OF RETAIL.
 - THE AREA CALCULATION FOR COMMERCIAL INCLUDES BUILDINGS C1, C2 AND C3 THAT AREA EXCLUSIVELY FOR COMMERCIAL USE.
 - OPEN SPACES INCLUDES ALL PRIVATE SIDEWALKS, OPEN GREEN SPACES, CONTIGUOUS GREEN AREAS >500 SF, AND LANDSCAPE BUFFERS.
 - PUBLIC AND SEMI-PUBLIC INCLUDES ALL PUBLIC ROADWAYS FROM BACK OF CURB IN PHASE 1C.
 - "SF OF PARKING" INCLUDES PARKING PAVEMENT AND NON-CONTIGUOUS GREEN SPACE <500 SF.

REGISTERED PROFESSIONAL:

THIS PLAN/DOCUMENT HAS BEEN PREPARED FOR CITY/PARISH PLANNING AND/OR ZONING PURPOSES ONLY. THE USE OF THIS PLAN/DOCUMENT FOR CONSTRUCTION, BIDDING, REGISTRATION, CONTRACTS, SALES, OR AS THE BASIS FOR THE ISSUANCE OF ANY PERMIT IS STRICTLY PROHIBITED. THIS PLAN/DOCUMENT HAS BEEN PREPARED BY THE REGISTERED ENGINEER, SURVEYOR, AND/OR LANDSCAPE ARCHITECT NOTED HEREON AND SIGNATURE OF SAID REGISTERED PROFESSIONAL DOES NOT DEEM THE PLAN/DOCUMENT AN OFFICIAL ENGINEERING, SURVEYING, OR LANDSCAPING PLAN/DOCUMENT.

PRELIMINARY

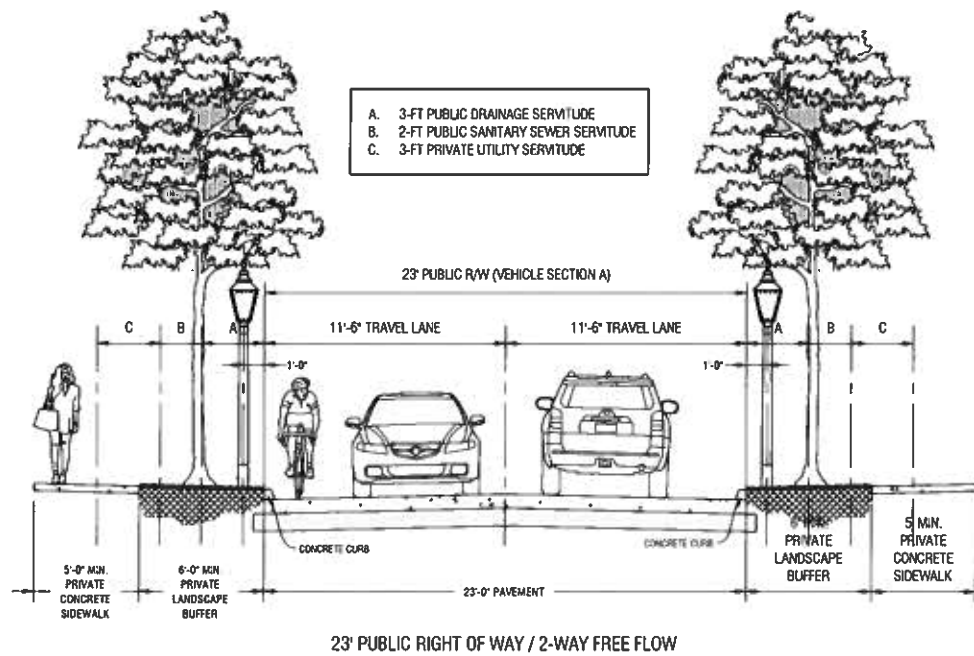
REGISTERED PROFESSIONAL ENGINEER

COREY BLANCHARD

REG. NO. 38059

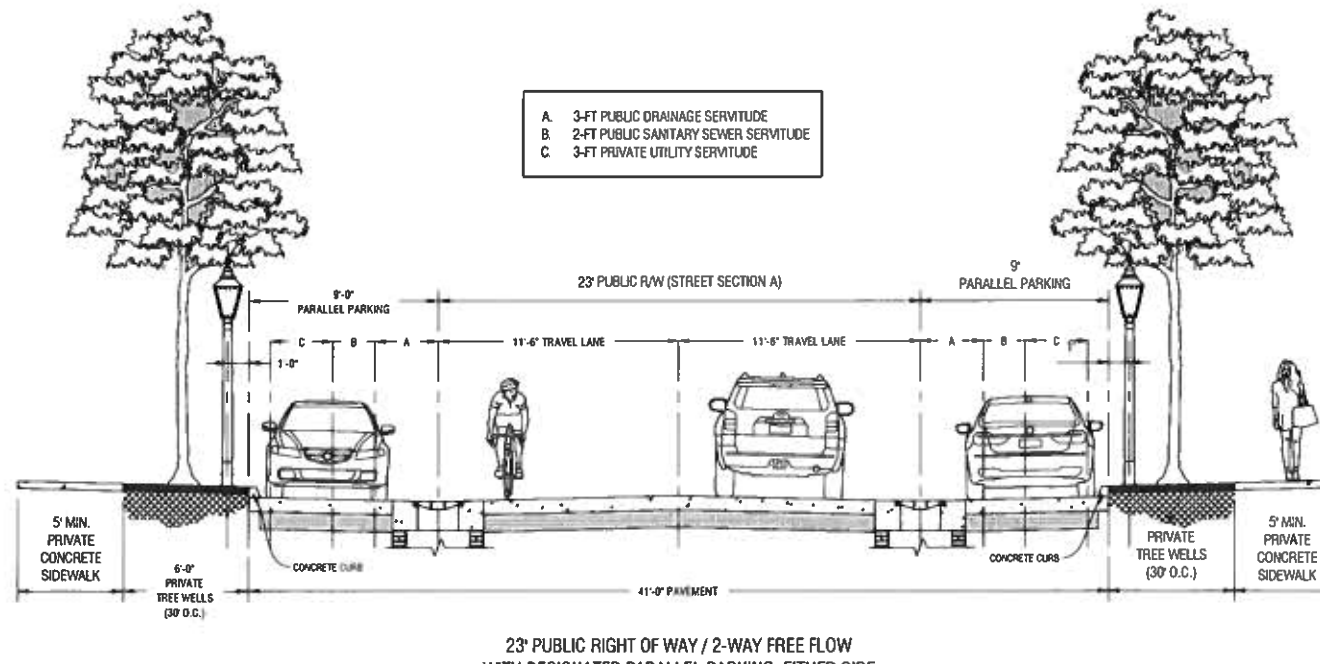
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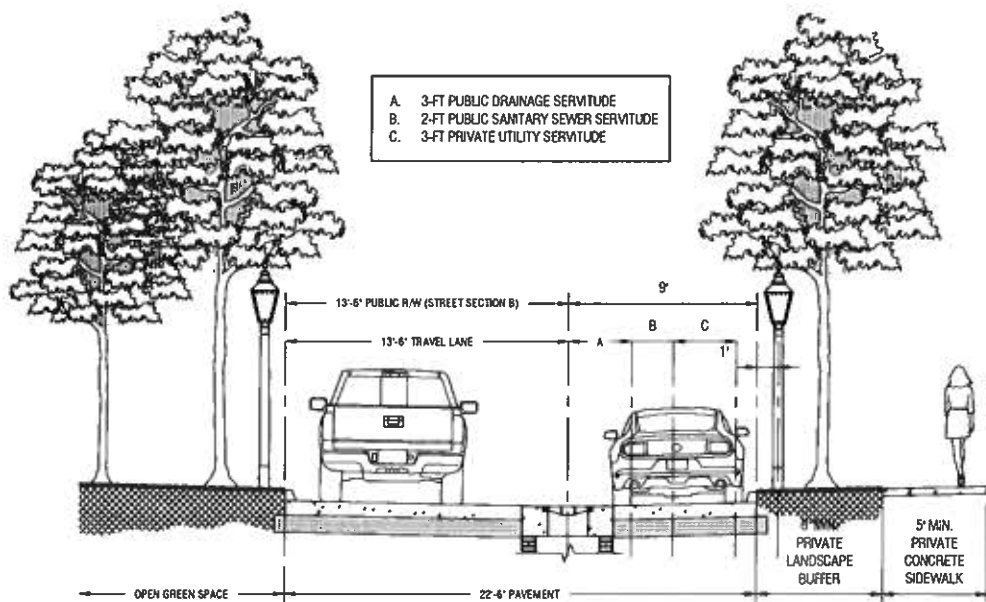
TYPICAL STREET SECTION 'A' (NO PARKING)

L1 SCALE: 1/4" = 1'-0"
 FILE NAME: 03/15/19



TYPICAL STREET SECTION 'A' (PARALLEL PARKING, BOTH SIDES)

L2 SCALE: 1/4" = 1'-0"
 FILE NAME: 03/15/19



TYPICAL STREET SECTIONS 'A' & B' (0 DEGREE PARKING)

L3 SCALE: 1/4" = 1'-0"
 FILE NAME: 03/15/19

PARKING SUMMARY - PHASE 1C REQUIREMENTS (SUBURBAN CHARACTER)
 TRACT RZ-4 (PHASE 1C) PER TND ORDINANCE (MARCH 2018)

BUILDING	USE	CAPACITY (SF)	REQUIRED VEHICULAR PARKING SPACES (1/350 SF OF GFA)	PROVIDED VEHICULAR PARKING SPACES	EXCESS VEHICULAR PARKING		REQUIRED HANDICAP PARKING SPACES (ADA-COMPLIANCE)		PROVIDED HANDICAP PARKING SPACES (ADA-COMPLIANCE)		REQUIRED BICYCLE PARKING (1/15 VEHICLE)	PROVIDED BICYCLE PARKING SPACES
					QTY	%	STANDARD	VAN	STANDARD	VAN		
BUILD C1	GROCERY	29,886	85	178	83	108%	8	1	2	4	12	12
BUILD C2	RETAIL	5,180	15	17	2	13%	1	1	1	1	1	2
BUILD C3	RETAIL	13,883	39	39	0	0%	1	1	1	1	3	4
ON-STREET	RETAIL	N/A	N/A	19	19	100%					N/A	N/A
TOTAL PARKING SPACES:				139	253	114	82%	8	3	3	6	18

A "Shared Parking Agreement" shall be executed between Building C3 tenants and the grocery store in Building C1 prior to occupancy.

352 parking spaces are distributed among 4 parking levels as shown on the Building/Structure Summary on Sheet 6 of the Approved FDP, May 18, 2015 (refer to Sheet 9.3 for Building G parking counts). Evenly distributed, approximately 88 parking spaces represent the impervious footprint of the parking area. At this rate, TOTAL PARKING COUNT would be 400 vehicular spaces (all Phase 1C). This exceeds the required amount of 326 by 74 spaces. This fall within the 125% allowable excess with pervious parking. Due to excess parking, a subsurface bioretention system will be installed in order to treat first-flush rainfall event of 9,083 cubic feet of runoff. The subsurface bioretention system designed will provide 11,651 cubic feet of capacity within Phase 1C in order to treat the first-flush event.

NOTE: Standard parking spaces shall be 9x18'. All handicap-accessible parking spaces shall be 8x20' with a 5' wide accessible aisle. All van-accessible spaces shall be flanked by an 8' wide access aisle. All on-street parking spaces shall be 8x21'. All provided handicap parking spaces shall meet the requirements for the East Baton Rouge Parish UDC, Americans with Disability Act and other local, state and federal requirements.

PRELIMINARY



Corey Blomard
 03/15/19

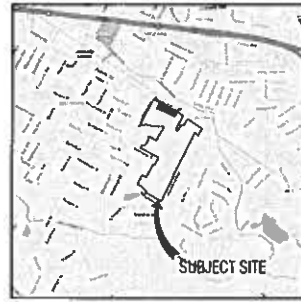
SHEET NUMBER 6.1
 EAST BATON ROUGE
 BATON ROUGE
 PROJECT 11409.2

ROUZAN T.N.D./FDPs - PHASE 1C
 VILLAGE CENTER PARTNERS/
 ENQUIST-ROUZAN COM. DEV., L.L.C.

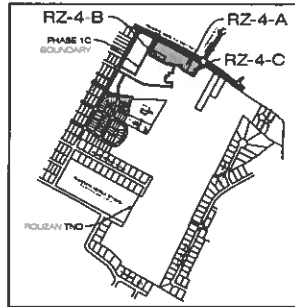
SJB GROUP, LLC
 U.S. 90
 SUITE 100
 BATON ROUGE, LA 70801
 TEL: (504) 766-2800
 FAX: (504) 766-2800

DATE 03-15-19
 SHEET 6 OF 18

03-15-19 COREY BLOMARD
 04/20/2018 PER C-2 COMMENTS RECEIVED ON 04/18/2018
 04/22/2018 PER C-2 COMMENTS RECEIVED ON 03/27/2018
 REVISION DESCRIPTION

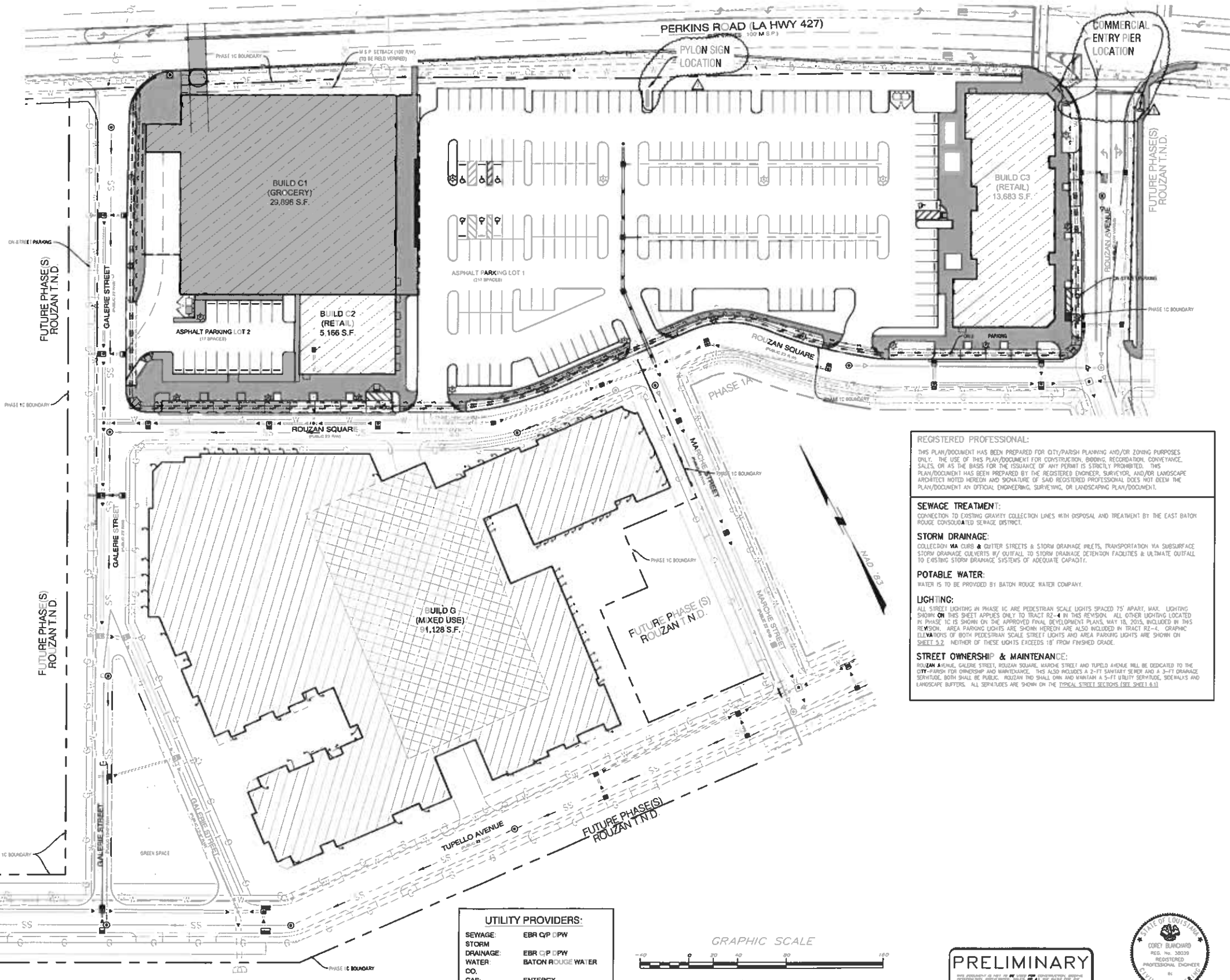


VICINITY MAP
N.T.S.



MAP KEY - PHASE 1C
N.T.S.

LEGEND	
FO	EXISTING FIBER OPTIC CABLE
CE	EXISTING OVERHEAD ELECTRIC CABLE
---	EXISTING STORM DRAINAGE PIPE
---	EXISTING STORM DRAINAGE INLETS
○	EXISTING STORM DRAINAGE MANHOLE
---	PROPOSED STORM DRAINAGE PIPE
---	PROPOSED STORM DRAINAGE INLETS (TRACT RZ-4)
---	PROPOSED STORM DRAINAGE INLETS
○	PROPOSED STORM DRAINAGE MANHOLE
---	PROPOSED PERFORATED DRAINAGE PIPE (W/ CATCH BASIN FOR BIOSHALE (TRACT RZ-4))
---	EXISTING SANITARY SEWER FORCE MAIN
---	EXISTING SANITARY SEWER PIPE
○	EXISTING SANITARY SEWER MANHOLE
---	PROPOSED SANITARY SEWER PIPE
○	PROPOSED SANITARY SEWER MANHOLE
---	EXISTING WATER MAINLINE
---	PROPOSED WATER MAINLINE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
⊙	PEDESTRIAN STREET LIGHT
⊙	AREA PARKING LIGHT
⊙	EXISTING POWER POLE
⊙	EXISTING TELEPHONE BOX
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING WATER METER
⊙	EXISTING WATER VALVE



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SEWAGE TREATMENT:
CONNECTION TO EXISTING GRAVITY COLLECTION LINES WITH DISPOSAL AND TREATMENT BY THE EAST BATON ROUGE CONSOLIDATED SEWAGE DISTRICT.

STORM DRAINAGE:
COLLECTION VIA CURB & GUTTER STREETS & STORM DRAINAGE INLETS, TRANSPORTATION VIA SUBSURFACE STORM DRAINAGE CULVERTS W/ OUTFALL TO STORM DRAINAGE DETENTION FACILITIES & ULTIMATE OUTFALL TO EXISTING STORM DRAINAGE SYSTEMS OF ADEQUATE CAPACITY.

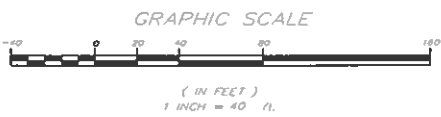
POTABLE WATER:
WATER IS TO BE PROVIDED BY BATON ROUGE WATER COMPANY.

LIGHTING:
ALL STREET LIGHTING IN PHASE 1C ARE PEDESTRIAN SCALE LIGHTS SPACED 75' APART, MAX. LIGHTING SHOWN ON THIS SHEET APPLIES ONLY TO TRACT RZ-4 IN THIS REVISION. ALL OTHER LIGHTING LOCATED IN PHASE 1C IS SHOWN ON THE APPROVED FINAL DEVELOPMENT PLANS, MAY 18, 2015, INCLUDED IN THIS REVISION. AREA PARKING LIGHTS ARE SHOWN HEREON ARE ALSO INCLUDED IN TRACT RZ-4. GRAPHIC ELEVATIONS OF BOTH PEDESTRIAN SCALE STREET LIGHTS AND AREA PARKING LIGHTS ARE SHOWN ON SHEET S.2, NEITHER OF THESE LIGHTS EXCEEDS 10' FROM FINISHED GRADE.

STREET OWNERSHIP & MAINTENANCE:
ROUZAN AVENUE, GALERIE STREET, ROUZAN SQUARE, MARQUEE STREET AND TUPELLO AVENUE WILL BE DEDICATED TO THE CITY-PARISH FOR OWNERSHIP AND MAINTENANCE. THIS ALSO INCLUDES A 2-FT SANITARY SEWER AND A 3-FT DRAINAGE SERVICE, BOTH SHALL BE PUBLIC. ROUZAN TND SHALL OWN AND MAINTAIN A 5-FT UTILITY SERVICE, SIDEWALKS AND LANDSCAPE BUFFERS. ALL SERVICE LINES ARE SHOWN ON THE TYPICAL STREET SECTIONS (SEE SHEET S.1).

UTILITY PROVIDERS:

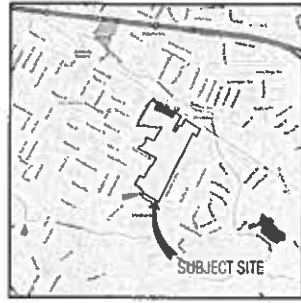
SEWAGE:	EBR C/P DPW
STORM DRAINAGE:	EBR C/P DPW
WATER:	BATON ROUGE WATER
CO.:	
GAS:	ENTERGY
ELECTRIC:	ENTERGY
TELEPHONE:	AT&T
CATV:	COX COMMUNICATIONS



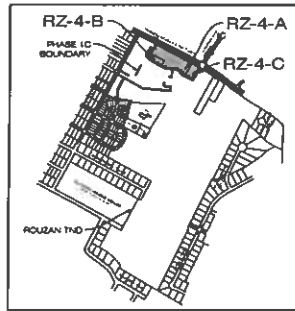
PRELIMINARY



SHEET NUMBER		7.0	
PARISH/COUNTY	EAST BATON ROUGE	CITY	BATON ROUGE
PROJECT	11409.2	ROUZAN T.N.D./FDPs - PHASE 1C VILLAGE CENTER PARTNERS/ ENQUISIT-ROUZAN COM. DEV., L.L.C. UTILITY SERVICE PLAN	
REGISTERED	S.E.	CHECKED	C.B.
DATE	03-15-19	DATE	03-15-19
SHEET	10 OF 10	BY	
ADD'D	03-15-19	ADD'D	03-15-19
PER C-P	04/29/2018	PER C-P	04/29/2018
COMMENTS RECEIVED ON	04/04/2018	COMMENTS RECEIVED ON	04/04/2018
REVISION DESCRIPTION		REVISION DESCRIPTION	



VICINITY MAP
NTS



MAP KEY - PHASE 1C
NTS

PER 18.3.4 STREET YARD - SUBURBAN CHARACTER

10 FT WIDE LANDSCAPE STRIP 10 FT WIDE PER 100 FEET USE IN A TWO-SECTION 3:1 SLOPE REQUIRED BETWEEN BACK OF CURB AND SIDEWALK. EXCEPT FOR DRIVEWAYS AND ACCESS WAYS AT POINTS OF ACCESS TO THE LOT. 1 CLASS A TREE PER 100 LINEAR FEET. TREE WELLS MAY BE USED AT 25 FEET MINIMUM IN AREA WHERE OVERHEAD UTILITIES ARE PRESENT. 1 CLASS B OR C TREE MAY REPLACE A CLASS A AT A RATE OF 1 CLASS B OR C EVERY 40 LINEAR FEET.

STREET NAME	LENGTH OF ROAD (FT)	REQUIRED	PROPOSED	TREE CLASS TYPE & SIZE
PERKINS ROAD	722	18	18	CLASS B TREES, 2-1/2" CALIPER
ROUZAN AVENUE	231	6	6	CLASS A TREES, 2-1/2" CALIPER
ROUZAN SQUARE	149	18	18	CLASS A TREES, 2-1/2" CALIPER
GALLES STREET	207	5	5	CLASS A TREES, 2-1/2" CALIPER

PER 18.3.5 PARKING LOT LANDSCAPING - SUBURBAN CHARACTER

NO PARKING SPACE SHALL BE LOCATED FURTHER THAN 100 FEET FROM A CLASS A OR B TREE. TREE WELLS FOR CLASS A SHALL BE 36 SF AND 25 FT FOR CLASS B. TREES MAY NOT BE PLANTED CLOSER THAN 2-1/2 FEET FROM PAVEMENT. ISLANDS PROVIDED WITHOUT TREES SHALL PROVIDE PLANT MATERIAL, NO 5 HOLE TYPE OF MATERIAL, WITH BE LESS MORE THAN 80% OF THE AREA. LANDSCAPED ISLANDS FOR EVERY 10 PARKING SPACES. ALL ROWS OF SPACES SHALL TERMINATE IN A CURBED LANDSCAPE ISLAND. TERMINAL ISLANDS SHALL HAVE A MINIMUM OF 5 FEET IN WIDTH AND HAVE A LENGTH NO SHORTER THAN 2 FEET LESS THAN THE ADJUTING PARKING SPACE. A CURBED MEDIAN ISLAND WITH A MINIMUM WIDTH OF 4 FEET IS REQUIRED. THE CLASS SHALL BE PROVIDED BETWEEN EVERY 6 SINGLE PARKING ROWS AND ALONG PRIMARY INTERNAL AND EXTERNAL ACCESS DRIVES.

LANDSCAPED ISLAND	REQUIRED	PROVIDED	COMMENT
INTERIOR ISLANDS FOR EVERY 10 SPACES	YES	YES	
TERMINAL ISLANDS	YES	YES	
MEDIAN ISLANDS	YES	YES	ALONG ACCESS DRIVES, ONLY 6 PARKING ROWS
CLASS A OR B TREES WITHIN 100 FT OF PARKING SPACES	YES	YES	

PER 18.4.1 SCREENING UTILITIES

ABOVE-GROUND UTILITIES AND APPURTENANCES TO UNDERGROUND UTILITIES THAT REQUIRE ABOVE-GROUND INSTALLATION, WITH THE EXCEPTION OF THOSE LOCATED IN THE RIGHT-OF-WAY, SHALL BE SCREENED BY CONTIGUOUS PLANTING OF SHRUBS, WITH A MINIMUM MATURE HEIGHT EQUAL TO THAT OF THE UTILITY STRUCTURE AND SHALL CONTAIN A BREAK FOR REQUIRED ACCESS. TREES AND SHRUBS SHALL NOT BE PLANTED WITHIN 10 FEET OF FIRE HYDRANTS, PUBLIC UTILITIES SUCH AS TRAFFIC METER BOXES, DIRECTIONAL TRAFFIC SIGNS AND OTHER SIMILAR PUBLIC UTILITIES.

SCREENING ABOVE-GROUND UTILITIES	REQUIRED	PROVIDED	COMMENT
SCREENING ABOVE-GROUND UTILITIES	YES	NO	NO ABOVE-GROUND UTILITY STRUCTURES

PER 8.2.7(C)(14): TND PARKING AREA LANDSCAPING SCREENING

ALL PARKING AND LOADING AREAS FRONTING PUBLIC THOROUGHFARES OR SIDEWALKS, AND ALL PARKING AND LOADING AREAS ADJUTING RESIDENTIAL DISTRICTS OR USES, SHALL PROVIDE A LANDSCAPED AREA AT LEAST 5 FEET WIDE ALONG THE PUBLIC THOROUGHFARE OR SIDEWALK. SCREENING AT LEAST 3 FEET IN HEIGHT SHALL BE PROVIDED ALONG PERKINS ROAD AND ROUZAN SQUARE. TREES AND SHRUBS SHALL NOT BE PLANTED WITHIN 10 FEET OF THE UTILITY STRUCTURE AND SHALL CONTAIN A BREAK FOR REQUIRED ACCESS. TREES AND SHRUBS SHALL NOT BE PLANTED WITHIN 10 FEET OF FIRE HYDRANTS, PUBLIC UTILITIES SUCH AS TRAFFIC METER BOXES, DIRECTIONAL TRAFFIC SIGNS AND OTHER SIMILAR PUBLIC UTILITIES.

TND LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED	COMMENT
5 FT WIDE LANDSCAPE AREA ALONG PUBLIC THOROUGHFARE	YES	YES	
SCREENING AT LEAST 3 FEET IN HEIGHT, 50% OF PAVEMENT (PARKING LOTS 1 AND 2)	YES	YES	3 FT EVERGREENS SHRUBS SPACING 30 FT ALONG PERKINS ROAD AND ROUZAN SQUARE
1 TREE PER 25 FT OF FRONTAGE	32	32	17 ALONG PERKINS RD - 15 ALONG ROUZAN SQUARE
ALL PARKING ISLANDS LANDSCAPED	YES	YES	

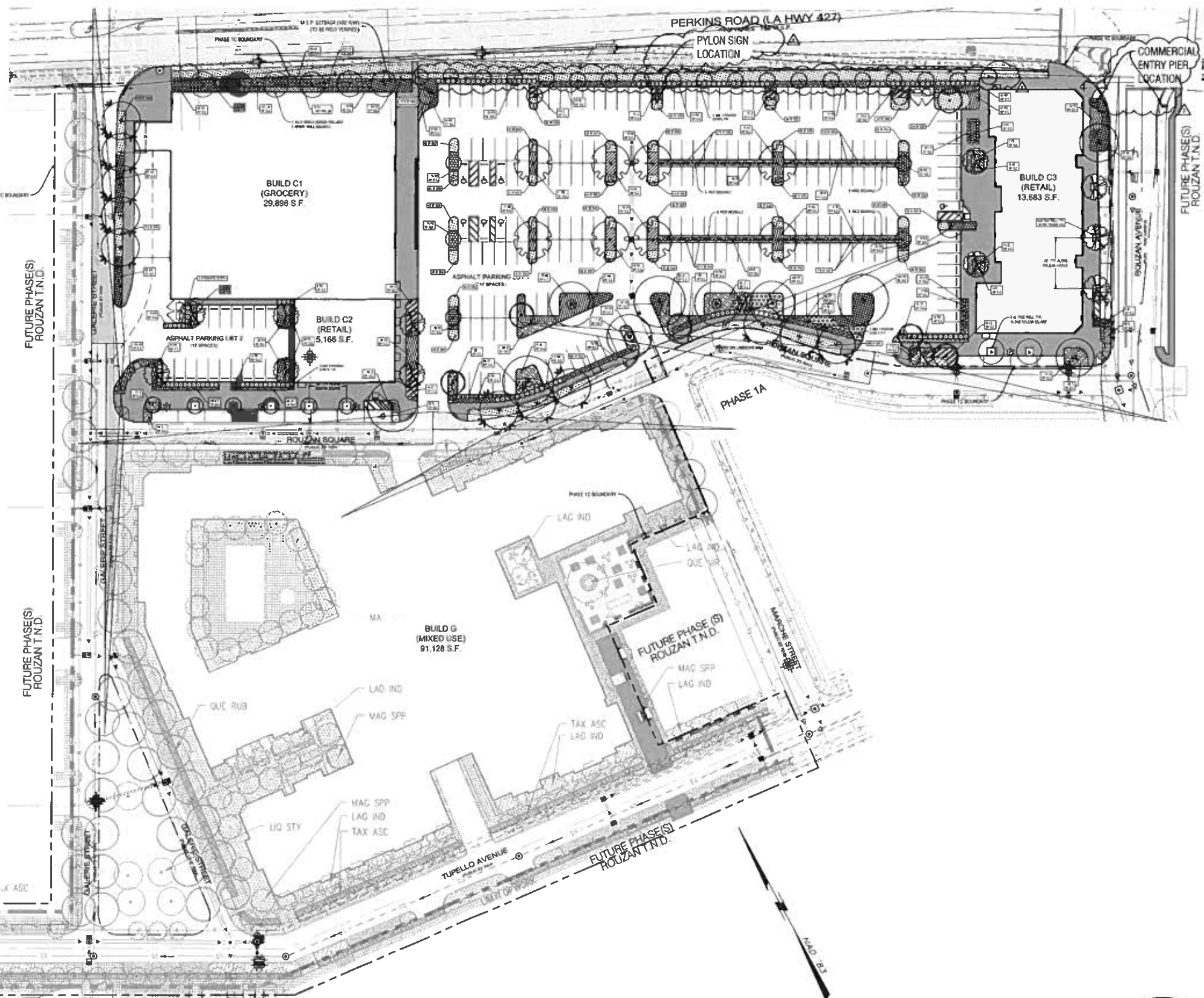
PARKING LOT 1 (217 SPACES)

TOTAL PARKING AREA (SF)	25% LANDSCAPE AREA (REQUIRED) (SF)	+ 20% SF OF ADDITIONAL LANDSCAPE AREA	TOTAL LANDSCAPE AREA PROVIDED (SF)
102,011	25,502	20,602	20,602

PARKING LOT 2 (17 SPACES)

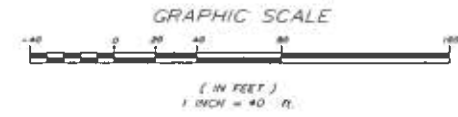
TOTAL PARKING AREA (SF)	25% LANDSCAPE AREA (REQUIRED) (SF)	+ 20% SF OF ADDITIONAL LANDSCAPE AREA	TOTAL LANDSCAPE AREA PROVIDED (SF)
4,565	1,141	N/A	1,107

NOTES:
ASHTO VISIBILITY TRIANGLES ARE SHOWN AT ALL INTERSECTIONS PER SECTION 18.7.2 OF THE LDC. NO TREES ARE SHRUBS ABOVE 8-1/2' ARE SHOWN IN THESE TRIANGLE CLEAR ZONES. NO TRIANGLES ARE SHOWN AT THE INTERSECTION OF ROUZAN AVENUE AND PERKINS ROAD BECAUSE THIS IS A SIGNALIZED INTERSECTION.



REGISTERED PROFESSIONAL:
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PLANT MATERIALS AND SIGHT TRIANGLES
ALL SHRUBS, ORNAMENTALS AND TREE SHRUBS ARE IDENTIFIED BY HATCH PATTERNS. QUANTITIES PER AREA ARE CALLED OUT ON THIS SHEET USING PLANT ABBREVIATIONS. THESE ABBREVIATIONS ARE DEFINED IN THE LEGEND ON SHEET 1.1. SHRUBS ARE SHOWN BY DIMENSIONS, BUT DO NOT HAVE CALLOUTS. TREE QUANTITIES ARE SHOWN IN THE LEGEND ON THIS SHEET. ASHTO SIGHT TRIANGLES ARE DEFINED ON SHEET 1.1.



PRELIMINARY
REVISIONS:
03-15-19 ADDED SIGNAGE AND SIGNAGE DETAILS
04/26/2018 PER C-P COMMENTS RECEIVED ON 04/26/2018
04/26/2018 PER C-P COMMENTS RECEIVED ON 04/27/2018
04/26/2018 PER C-P COMMENTS RECEIVED ON 04/27/2018



STB GROUP, LLC
QUALITY BY DESIGN
11405.2
11405.2

SHEET NUMBER	8.0
PARISH/COUNTY	EAST BATON ROUGE
CITY	BATON ROUGE
PROJECT	11405.2

ROUZAN T.N.D. / FDP'S - PHASE 1C
VILLAGE CENTER PARTNERS /
ENQUIG - ROUZAN COM. DEV., L.L.C.
LANDSCAPE PLAN

DESIGNED	DATE	CHECKED	DATE
03-15-19	03-15-19	03-15-19	03-15-19
04/26/2018	04/26/2018	04/26/2018	04/26/2018
04/26/2018	04/26/2018	04/26/2018	04/26/2018

LANDSCAPE LEGENDS AND NOTES FOR THE REVISED TRACT RZ-4 ONLY

LANDSCAPING AND SCREENING (TRACT RZ-4 ONLY)

3' HIGH EVERGREEN SCREEN PLANTS

- 7 GAL RHODODENDRON INDICUM 'GEORGE L. TABER' GEORGE L. TABER INDIAN AZALEA 3' HEIGHT MIN. (EVERGREEN SCREEN), QTY: 102 ABBREY: NI
- 7 GAL PODOCARPUS MACROPHYLLUS JAPANESE YEW 3' HEIGHT MIN. (EVERGREEN SCREEN), QTY: 194 ABBREY: PM

WOODY SHRUBS

- 3 GAL ACCA SELLOWIANA PINEAPPLE GUAVA 24"-26" HEIGHT X 18"-20" SPREAD, QTY: 64 ABBREY: AS
- 3 GAL ROSMARINUM OFFICINALIS ROSEMARY 22"-24" HEIGHT X 18"-20" SPREAD, QTY: 102 ABBREY: RO
- 3 GAL YSIBURUM OBOVATUM MRS. SCHILLERS DELIGHT MRS. SCHILLERS DELIGHT WALTERS YSIBURUM (NATIVE) 20"-22" HEIGHT X 20"-22" SPREAD, QTY: 732 ABBREY: VO
- 3 GAL LOROPETALUM CHINESE PLUM DELIGHT PLUM DELIGHT LOROPETALUM 18"-20" HEIGHT X 18"-20" SPREAD, QTY: 140 ABBREY: LC
- 3 GAL JUNIPERUS CHINENSIS 'PARSONS' PARSONS JUNIPER 10"-12" HEIGHT X 18"-20" SPREAD, QTY: 269 ABBREY: JC

GROUNDCOVER (VINES AND PERENNIALS)

- 3 GAL DIANELLA TASHANCA 'VARIEGATA' VARIEGATED FLAX LILY 3 BB MIN. 18"-20" HEIGHT, QTY: 221 ABBREY: DT
- 1 GAL TRACHELOSPERMUM JASMINOIDES CONFEDERATE JASMINE 3 RUNNER MIN. 12"-15" SPREAD, QTY: 288 ABBREY: TJ
- 1 GAL LIROPE MUSCARI EVERGREEN GIANT EVERGREEN GIANT LILY TURF 3 BB MIN. 12"-14" HEIGHT, QTY: 600 ABBREY: LM
- 1 GAL IRIS PSEUDOCORUS YELLOW FLAG IRIS 18"-20" HEIGHT, QTY: 180 ABBREY: IP

GRASSES

- 3 GAL MAHLENBERGIA CAPILLARIS MURLY GRASS (NATIVE) 28"-30" HEIGHT X 28"-30" SPREAD, QTY: 288 ABBREY: MC
- 3 GAL PENSETUM SETACEUM WHITE FOUNTAIN GRASS 28"-30" HEIGHT X 28"-30" SPREAD, QTY: 106 ABBREY: PS

SOD

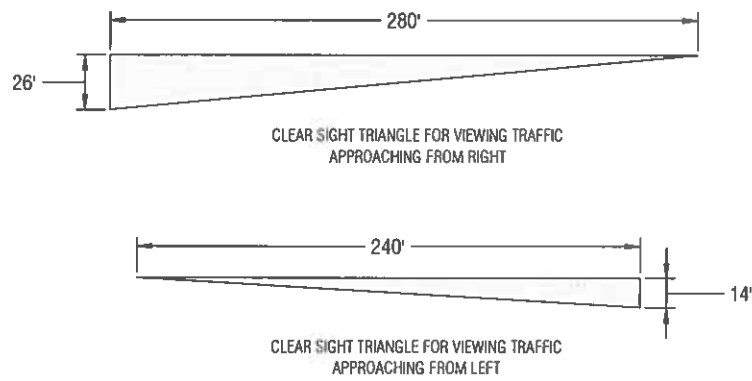
- CYNODON DACTYLON 'DISCOVERY' DISCOVERY BERMUDA SOD, COVERAGE: 13,655 SF (APPROX.)

CLASS A TREES (TRACT RZ-4 ONLY)

- (4) QUERCUS SHUMARDI SHUMARD OAK, 2-1/2" CALIPER (DECIDUOUS)
- (4) FRAXINUS AMERICANA WHITE ASH, 2-1/2" CALIPER (DECIDUOUS)
- (2) LIRODENDRON TUPIPERA TULIP POPLAR, 2-1/2" CALIPER (DECIDUOUS)
- (1) MAGNOLIA (RANDFLORA) D.D. BLANCHARD D.D. BLANCHARD SOUTHERN MAGNOLIA, 2-1/2" CAL. (EVERGREEN)
- (1) PRUNUS (SEROTINA) BLACK CHERRY, 2-1/2" CALIPER (DECIDUOUS)

CLASS B TREES (TRACT RZ-4 ONLY)

- (9) MAGNOLIA VIRGINIANA SWEET BAY MAGNOLIA, 2-1" CALIPER (SEMI-EVERGREEN)
- (12) ULMUS PARVIFOLIA LACEBARK ELM, 2-1/2" CALIPER (DECIDUOUS)
- (6) PERSEA BORBONA RED BAY, 2-1/2" CALIPER (EVERGREEN)
- (2) ILEX (ATTENUATA) SAVANNAH SAVANNAH HOLLY, 2-1/2" CALIPER (EVERGREEN)



AASHTO SIGHT TRIANGLES FOR 25 MPH DESIGN SPEED

NOTE: SIGHT TRIANGLES ABOVE APPLY TO 2-LANE, 2-WAY INTERSECTIONS AT < 30 MPH DESIGN SPEED. FOR THE INTERSECTION AT GALERIE STREET AND PERKINS ROAD, THE SIGHT DISTANCE TO THE RIGHT, OR dR, IS 280 FEET AND THE SIGHT DISTANCE TO THE LEFT, OR dL, IS 470 FEET. THIS APPLIES TO 4-LANE UNDIVIDED MAJOR ROAD WITH A 45 MPH DESIGN SPEED.

LANDSCAPE CALCULATIONS, SCHEDULE AND LEGEND FROM PREVIOUSLY APPROVED FINAL DEVELOPMENT PLANS, MAY 18, 2015

LANDSCAPE REQUIREMENT CALCULATIONS

DEVELOPED SITE AREA = 364,597 SF (14,600 POINTS)
 STREET YARD PLANTING = 109,180 SF (18,200 POINTS)
 VEHICULAR USE AREA = 45 PARKING SPACES (400 POINTS)
 TOTAL LANDSCAPE REQUIREMENTS = (33,200 POINTS)

LANDSCAPE POINTS

TREE	SPECIES	CLASS	CALIPER	#	POINTS
LIVE OAK	QUERCUS VIRGINIANA	A	4	1	200
RED OAK	QUERCUS RUBRA	A	3	45	6750
RED MAPLE	ACER RUBRUM	A	3	10	1500
POND CYPRESS	TAXODIUM ASCENDENS	A	3	57	8550
MEDICAN SYCAMORE	PLATANUS MEXICANA	A	3	6	900
CHINESE PISTACHE	PISTACHIA CHINENSIS	A	3	33	4950
SWEET GUM	LIQUIDAMBAR STRYACIFLUA	A	3	5	750
GRAPE MYRTLE	LAGERSTROMIA INDICA	B	2	22	1100
MAGNOLIA	MAGNOLIA SPP.	B	2	40	2000
TREE TOTAL				219	26,700
SHRUB				7133	71,330
TOTAL					98,030

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE SPEC.	FORM	SPACING	REMARKS	DETAIL NO. / SHEET NO.	SPEC. SECTION
TREES								
ACE RLS	ACER RUBRUM	RED MAPLE	SPECIMEN QUALITY HEIGHT: WIDTH:	SINGLE TRUNK FORM	REFER TO PLAN FOR LOCATION	PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
CAR QLA	CARYA GLABRA	COASTAL PIGNUT HICKORY	SPECIMEN QUALITY HEIGHT: WIDTH:	SINGLE TRUNK FORM	REFER TO PLAN FOR LOCATION	PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
CH FR	CHONDANTHUS VIRGATUS	WHITE FRANGE TREE	SPECIMEN QUALITY HEIGHT: WIDTH:	MULTI TRUNK FORM	REFER TO PLAN FOR LOCATION	PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
LAG IND	LAGERSTROMIA INDICA	GRAPE MYRTLE	SPECIMEN QUALITY HEIGHT: WIDTH:	MULTI TRUNK FORM	REFER TO PLAN FOR LOCATION	PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
LIQ STR	LIQUIDAMBAR STRYACIFLUA	SWEET GUM	SPECIMEN QUALITY HEIGHT: WIDTH:	SINGLE TRUNK FORM	REFER TO PLAN FOR LOCATION	PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
MAG SPP	MAGNOLIA SPP.	MAGNOLIA	SPECIMEN QUALITY HEIGHT: WIDTH:	SINGLE TRUNK FORM	REFER TO PLAN FOR LOCATION	PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
NYS SYL	NYSSA SYLVATICA	BLACK Tupelo	SPECIMEN QUALITY HEIGHT: WIDTH:	SINGLE TRUNK FORM	REFER TO PLAN FOR LOCATION	PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
PN TAE	PRUNUS TAEDA	LOBLOLLY PINE	SPECIMEN QUALITY HEIGHT: WIDTH:	SINGLE TRUNK FORM	REFER TO PLAN FOR LOCATION	PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
PIA CH	PISTACHIA CHINENSIS	CHINESE PISTACHE	SPECIMEN QUALITY HEIGHT: WIDTH:	SINGLE TRUNK FORM		PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
PLA MEX	PLATANUS MEXICANA	MEDICAN SYCAMORE	SPECIMEN QUALITY HEIGHT: WIDTH:	SINGLE TRUNK FORM		PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
QUE RUB	QUERCUS RUBRA	RED OAK	SPECIMEN QUALITY HEIGHT: WIDTH:	SINGLE TRUNK FORM		PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
QUE VIR	QUERCUS VIRGINIANA	LIVE OAK	SPECIMEN QUALITY HEIGHT: WIDTH:	SINGLE TRUNK FORM		PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
TAX ASC	TAXODIUM ASCENDENS	POND CYPRESS	SPECIMEN QUALITY HEIGHT: WIDTH:	SINGLE TRUNK FORM		PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX
TAX DIS	TAXODIUM DISTICHUM	BALD CYPRESS	SPECIMEN QUALITY HEIGHT: WIDTH:	SINGLE TRUNK FORM		PREMIUM, SPECIMEN-QUALITY STOCK, MATCHED HEIGHT, FULL, SYMMETRICAL, STRAIGHT UNBLENISHED TRUNK, ROBUST HEAVY CALIPER, SHINED TRUNK, DENSE FROND CANOPY. ALL TO BE FIELD-TAGGED BY LANDSCAPE ARCHITECT.	X / LXXX	XX XX XX

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE SPEC.	FORM	SPACING	REMARKS	DETAIL NO. / SHEET NO.	SPEC. SECTION
SHRUBS AND GRASSES								
BUX MC	BUXUS MICROPHYLLA	BOXWOOD	SIZE HEIGHT: WIDTH:	-	-	PREMIUM NURSERY QUALITY STOCK, MATCHED, FULL, DENSE, SYMMETRICAL, WELL-ROOTED IN CONTAINER BUT NOT ROOT-BOUND.	X / LXXX	XX XX XX
CAM JAP	CAMELLIA JAPONICA	CAMELLIA	SIZE HEIGHT: WIDTH:	-	-	PREMIUM NURSERY QUALITY STOCK, MATCHED, FULL, DENSE, SYMMETRICAL, WELL-ROOTED IN CONTAINER BUT NOT ROOT-BOUND.	X / LXXX	XX XX XX
LR MUS	LIROPE MUSCARI	LILY TURF	SIZE HEIGHT: WIDTH:	-	-	PREMIUM NURSERY QUALITY STOCK, MATCHED, FULL, DENSE, SYMMETRICAL, WELL-ROOTED IN CONTAINER BUT NOT ROOT-BOUND.	X / LXXX	XX XX XX
RHO SPP	RHODODENDRON SPP.	EVERGREEN AZALEA	SIZE HEIGHT: WIDTH:	-	-	PREMIUM NURSERY QUALITY STOCK, MATCHED, FULL, DENSE, SYMMETRICAL, WELL-ROOTED IN CONTAINER BUT NOT ROOT-BOUND.	X / LXXX	XX XX XX
ROS SPP	ROSA SPP.	ROSE	SIZE HEIGHT: WIDTH:	-	-	PREMIUM NURSERY QUALITY STOCK, MATCHED, FULL, DENSE, SYMMETRICAL, WELL-ROOTED IN CONTAINER BUT NOT ROOT-BOUND.	X / LXXX	XX XX XX
GROUNDCOVERS								
THY MUL	THYMUS VULGARIS	THYME	SIZE HEIGHT: WIDTH:	-	-	PREMIUM NURSERY QUALITY STOCK, MATCHED, FULL, BUT NOT ROOT-BOUND.	X / LXXX	XX XX XX
TRA AS	TRACHELOSPERMUM ASATRUM	ASIAN JASMINE	SIZE HEIGHT: WIDTH:	-	-	PREMIUM NURSERY QUALITY STOCK, MATCHED, FULL, DENSE, SYMMETRICAL, WELL-ROOTED IN CONTAINER BUT NOT ROOT-BOUND.	X / LXXX	XX XX XX
TURF	TURF	SOD	SIZE HEIGHT: WIDTH:	-	-	PREMIUM NURSERY QUALITY STOCK, MATCHED, FULL, DENSE, SYMMETRICAL, WELL-ROOTED IN CONTAINER BUT NOT ROOT-BOUND.	X / LXXX	XX XX XX
VINES								
TRA AS	TRACHELOSPERMUM ASATRUM	ASIAN JASMINE	SIZE HEIGHT: WIDTH:	-	-	PREMIUM NURSERY QUALITY STOCK, MATCHED, FULL, DENSE, SYMMETRICAL, WELL-ROOTED IN CONTAINER BUT NOT ROOT-BOUND.	X / LXXX	XX XX XX
PAR FR	PARDENOCISSUS TRICHOCLADA	BOSTON IVY	SIZE HEIGHT: WIDTH:	-	-	PREMIUM NURSERY QUALITY STOCK, MATCHED, FULL, DENSE, SYMMETRICAL, WELL-ROOTED IN CONTAINER BUT NOT ROOT-BOUND.	X / LXXX	XX XX XX
-	-	-	SIZE HEIGHT: WIDTH:	-	-	PREMIUM NURSERY QUALITY STOCK, MATCHED, FULL, DENSE, SYMMETRICAL, WELL-ROOTED IN CONTAINER BUT NOT ROOT-BOUND.	X / LXXX	XX XX XX

PRELIMINARY



SHEET NUMBER 8.1

PARISH / COUNTY EAST BATON ROUGE

CITY BATON ROUGE

PROJECT 11409.2

ROUZAN T.N.D. / FDPs - PHASE 1C

VILLAGE CENTER PARTNERS / ENGQUIST - ROUZAN COM. DEV., L.L.C.

LANDSCAPE PLAN

SIB GROUP, LLC

QUAN LIU, P.E., S.D.S.

DATE 03-15-19

BY 12 OF 18

REVISION DESCRIPTION

03-15-19 ADD SIGNAGE AND SIGNAGE DETAILS

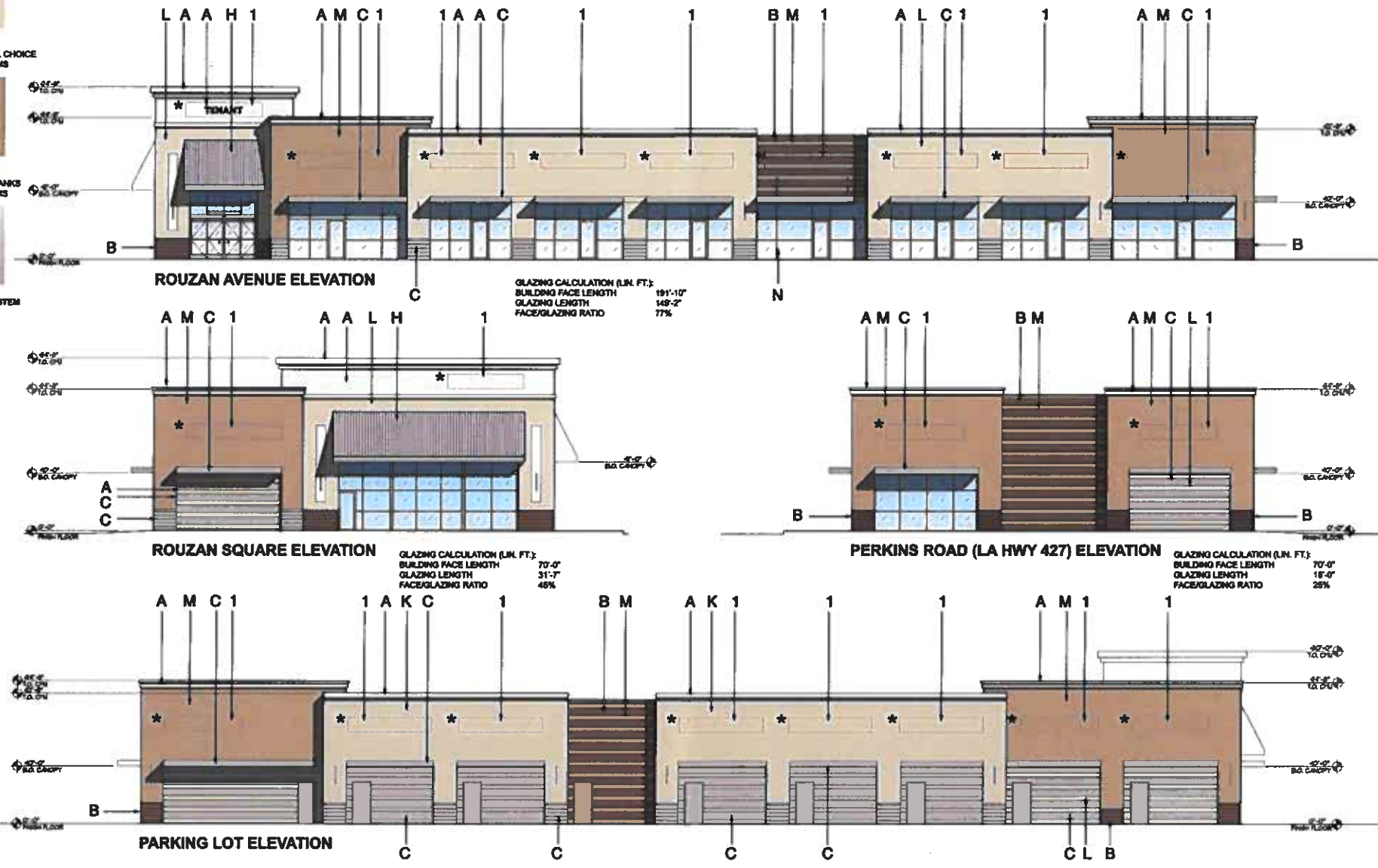
04/24/2016 PER C-P COMMENTS RECEIVED ON 04/09/2016

04/24/2016 PER C-P COMMENTS RECEIVED ON 03/27/2016

03-15-19 PER C-P COMMENTS RECEIVED ON 03/27/2016

- A. PAINT COLOR (EIFS/STUCCO) SW 7005 PURE WHITE SHERWIN WILLIAMS
- B. PAINT COLOR (EIFS/STUCCO ACCENT) SW 7053 ADAPTIVE SHADE SHERWIN WILLIAMS
- C. PAINT COLOR (EIFS/STUCCO) SW 7058 MARCH WIND SHERWIN WILLIAMS
- D. PAINT COLOR (EIFS/STUCCO) SW 6754 ESPALIER SHERWIN WILLIAMS
- E. WOOD TEXTURED BREAK METAL DB482U + 1111R2L DECORAL SYSTEMS
- F. PRE-CAST CONCRETE TEXTURE BOARD FORMED w/ 1" GAP TEXTURE CLEAR SEALED
- G. CORRUGATED METAL PANEL S-CURVE w/ GALVALUME FINISH BENSIDGE MANUFACTURING
- H. STANDING SEAM METAL ROOFING V-PANEL GALVALUME FINISH BENSIDGE MANUFACTURING
- I. PAINT COLOR (EIFS/STUCCO) SW 6183 CONSERVATIVE GRAY SHERWIN WILLIAMS
- J. PAINT COLOR (EIFS/STUCCO) SW 7011 NATURAL CHOICE SHERWIN WILLIAMS
- K. PAINT COLOR (EIFS/STUCCO) SW 7334 OUTERBANKS SHERWIN WILLIAMS
- L. ALUMINUM STOREFRONT SYSTEM CLEAR ANODIZED

Architectural Elements
 Pre-Cast Concrete Plinth
 Projecting Cornice
 Decorative Metal Canopy
 Stucco Building Face
 Painted Stucco Accent Banda



1. SIGNAGE INTERNALLY LIT, PRE-PANED ALUMINUM FRAMED ACRYLIC LETTERS. COLOR T.B.D.

* ALL RETAIL BUILDING SIGN AREAS SHALL BE 30 SQUARE FEET EACH FOR BUILDING C3.

NOTE:
 ALL WALL SIGNS WERE PREVIOUSLY APPROVED UNDER REVISION 2. NO CHANGES AT THIS TIME

PRELIMINARY

FITCH
03 / 28 / 18

RETAIL BUILDING
BATON ROUGE LA

SHEET NUMBER 9.1	
PARTY/COUNTY EAST BATON ROUGE	BATON ROUGE
CITY	PROJECT 11409.2
ROUZAN T.N.D. / FDPs - PHASE 1C VILLAGE CENTER PARTNERS / ENGQUIST - ROUZAN COM. DEV., L.L.C.	
BUILDING ELEVATIONS	
DESIGNED S.A. CUB	CHECKED S.A. CUB
DATE 3-15-18	SHEET 14 OF 18
SJB GROUP, LLC 1001 PINE BLVD., SUITE 100, BATON ROUGE, LA 70801 • TEL: 225-389-2000 • FAX: 225-389-2001 Q. LIU, P.E., LEED AP, AIA, FIDIC, LEED AP BD+C, LEED AP O+M, LEED AP S.D., LEED AP S.M., LEED AP S.P., LEED AP S.U., LEED AP S.W., LEED AP S.Y., LEED AP S.Z., LEED AP S.1, LEED AP S.2, LEED AP S.3, LEED AP S.4, LEED AP S.5, LEED AP S.6, LEED AP S.7, LEED AP S.8, LEED AP S.9, LEED AP S.10, LEED AP S.11, LEED AP S.12, LEED AP S.13, LEED AP S.14, LEED AP S.15, LEED AP S.16, LEED AP S.17, LEED AP S.18, LEED AP S.19, LEED AP S.20, LEED AP S.21, LEED AP S.22, LEED AP S.23, LEED AP S.24, LEED AP S.25, LEED AP S.26, LEED AP S.27, LEED AP S.28, LEED AP S.29, LEED AP S.30, LEED AP S.31, LEED AP S.32, LEED AP S.33, LEED AP S.34, LEED AP S.35, LEED AP S.36, LEED AP S.37, LEED AP S.38, LEED AP S.39, LEED AP S.40, LEED AP S.41, LEED AP S.42, LEED AP S.43, LEED AP S.44, LEED AP S.45, LEED AP S.46, LEED AP S.47, LEED AP S.48, LEED AP S.49, LEED AP S.50, LEED AP S.51, LEED AP S.52, LEED AP S.53, LEED AP S.54, LEED AP S.55, LEED AP S.56, LEED AP S.57, LEED AP S.58, LEED AP S.59, LEED AP S.60, LEED AP S.61, LEED AP S.62, LEED AP S.63, LEED AP S.64, LEED AP S.65, LEED AP S.66, LEED AP S.67, LEED AP S.68, LEED AP S.69, LEED AP S.70, LEED AP S.71, LEED AP S.72, LEED AP S.73, LEED AP S.74, LEED AP S.75, LEED AP S.76, LEED AP S.77, LEED AP S.78, LEED AP S.79, LEED AP S.80, LEED AP S.81, LEED AP S.82, LEED AP S.83, LEED AP S.84, LEED AP S.85, LEED AP S.86, LEED AP S.87, LEED AP S.88, LEED AP S.89, LEED AP S.90, LEED AP S.91, LEED AP S.92, LEED AP S.93, LEED AP S.94, LEED AP S.95, LEED AP S.96, LEED AP S.97, LEED AP S.98, LEED AP S.99, LEED AP S.100	

505 DESIGN

CHARLOTTE:
508 West Fifth Street, 250 Charlotte, NC 28202
Telephone: 704 348 7000
Facsimile: 704 348 7005

BOULDER:
1360 Walnut Street, 102 Boulder, CO 80302
Telephone: 720 565 0505
Facsimile: 720 565 0504

SAN FRANCISCO:
461 Bush Street, 300 San Francisco, CA 94108
Telephone: 415 421 9900

Project Site Monumentation Schematic Design

ROUZAN

Rouzan Commercial Center
PROJECT
Engquist-Rouzan Commercial Development, LLC
OWNER

KK, TG
505 DESIGN TEAM

PROJECT ARCHITECT:
KTGY 1 (949) 851-2133
17911 Von Karman Ave., Camille Lo
Suite 200 Irvine, CA 92614

SJB GROUP, LLC
QUALITY DESIGN
10000 Irvine Blvd., Suite 1000, Irvine, CA 92618
Tel: (949) 450-1100

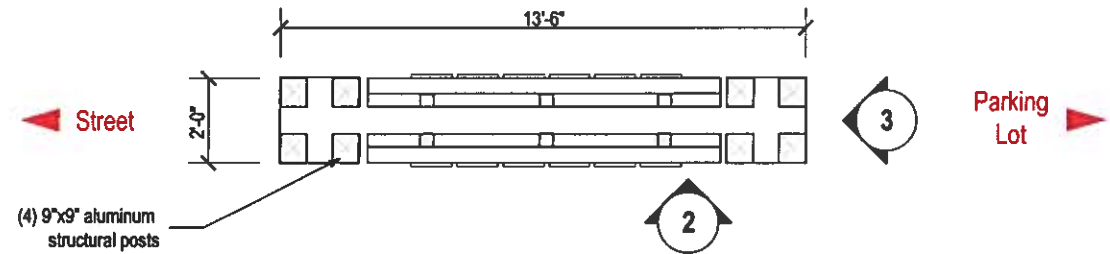
ORIGINAL ISSUE: 22 Feb, 2019

NO.	DATE	DESCRIPTION

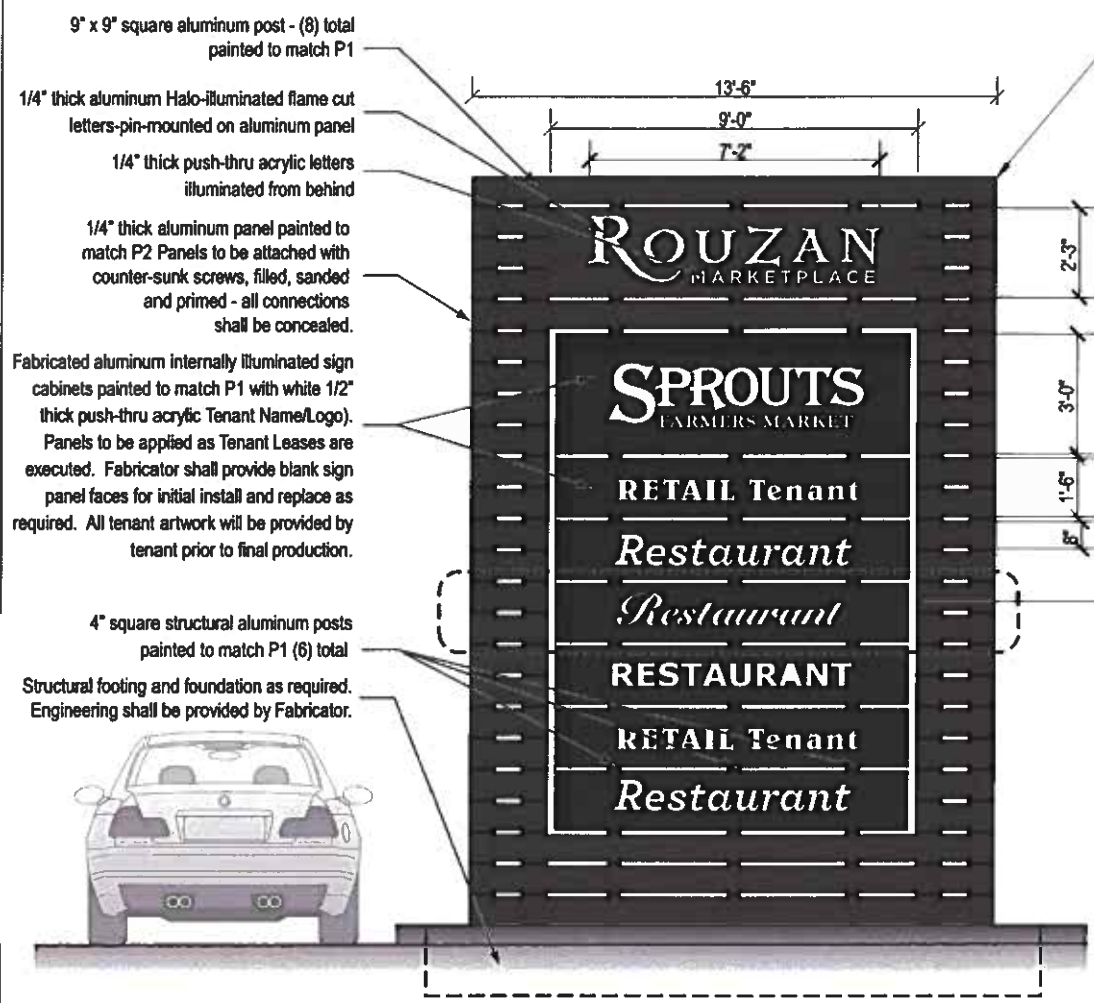
Sign Type 1 - Commercial Pylon Elevations

These drawings are for the sole purpose of expressing visual design intent and are not intended for construction purposes. All aspects engineering, fabrication, installation, and any resulting documentation are the responsibility of the Fabricator.

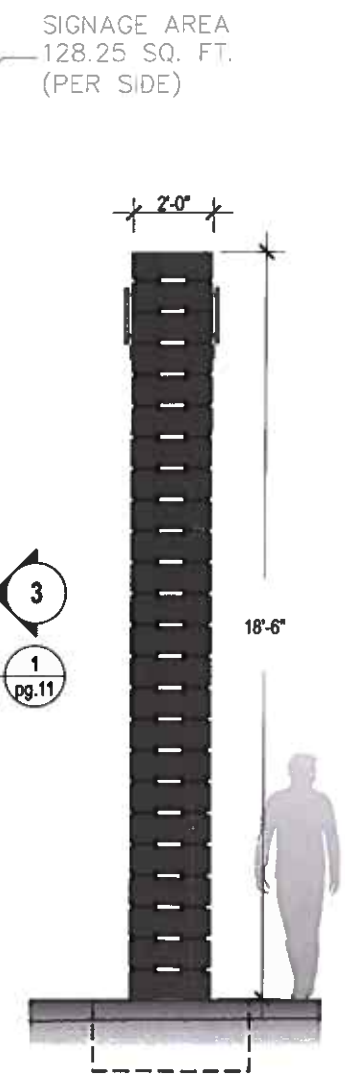
PARISH COUNTY	EAST BATON ROUGE
CITY	BATON ROUGE
PROJECT	11409.2
ROUZAN T.N.D./FDRS -PHASE 1C VILLAGE CENTER PARTNERS/ ENGQUIST-ROUZAN COM. DEV., L.L.C.	
SIGN TYPE 1 DETAILS	
DESIGNED	SA
CHECKED	CB
DATE	BY
3-15-19	SA
04/20/2018	SA
04/22/2018	SA



1 Sign Type 1 - Plan View
Scale: 1/4" = 1'-0"



2 Sign Type 1 - Front Elevation (Sign is double sided)
Scale: 1/4" = 1'-0"



3 Sign Type 1 - Side Elevation
Scale: 1/4" = 1'-0"



4 Sign Type 1 - Illumination Intent
Scale: 1/4" = 1'-0"

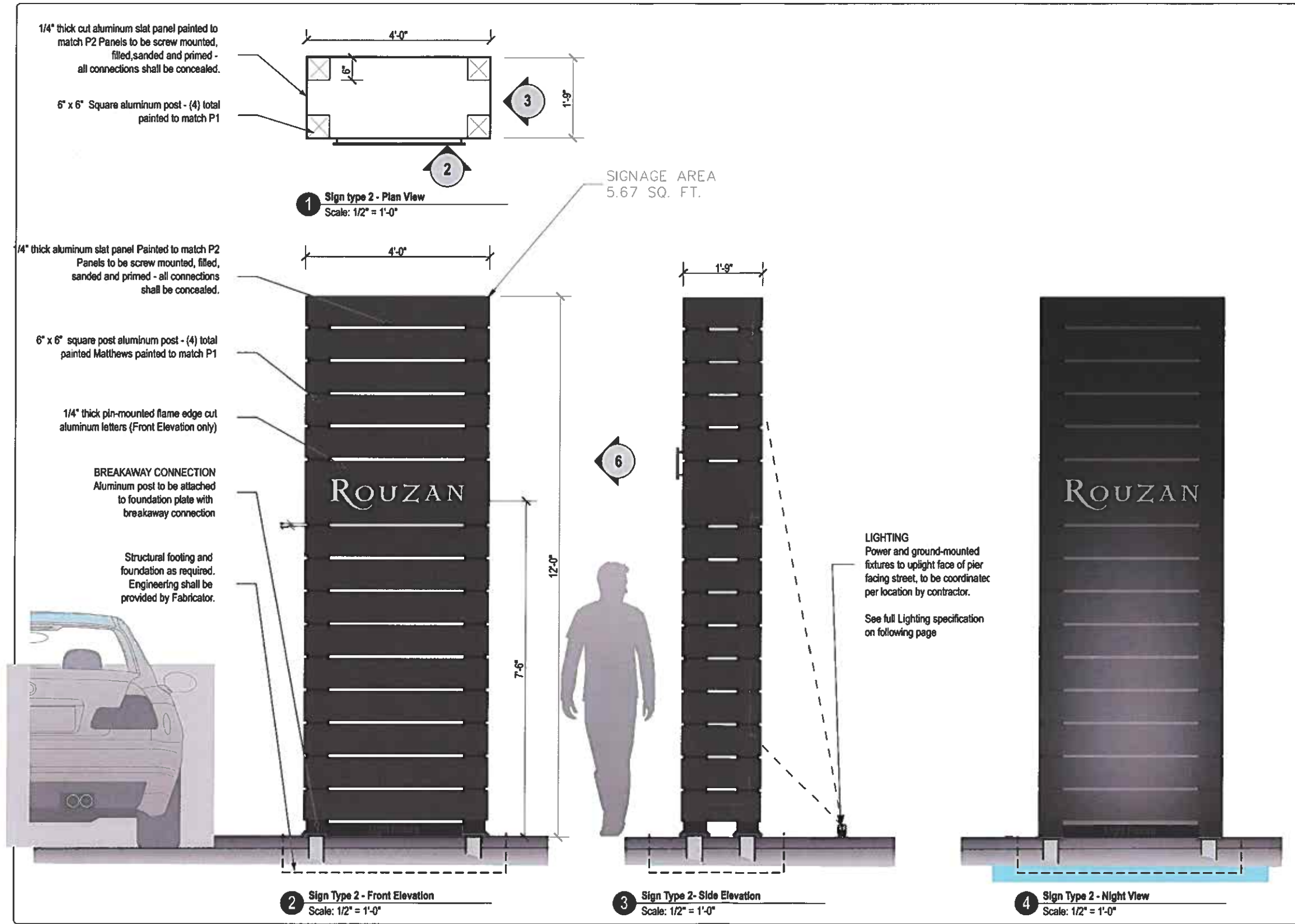
- (4) 9"x9" aluminum structural posts
- 9" x 9" square aluminum post - (8) total painted to match P1
- 1/4" thick aluminum Halo-illuminated flame cut letters-pin-mounted on aluminum panel
- 1/4" thick push-thru acrylic letters illuminated from behind
- 1/4" thick aluminum panel painted to match P2 Panels to be attached with counter-sunk screws, filled, sanded and primed - all connections shall be concealed.
- Fabricated aluminum internally illuminated sign cabinets painted to match P1 with white 1/2" thick push-thru acrylic Tenant Name/Logo). Panels to be applied as Tenant Leases are executed. Fabricator shall provide blank sign panel faces for initial install and replace as required. All tenant artwork will be provided by tenant prior to final production.
- 4" square structural aluminum posts painted to match P1 (6) total
- Structural footing and foundation as required. Engineering shall be provided by Fabricator.

SIGNAGE AREA
128.25 SQ. FT.
(PER SIDE)

Push-thru white acrylic tenant names/logos -
To glow white at night.

Halo-illuminated flame cut letters-
pin-mounted on aluminum silhouette panel
To be backed with warm white LED Components

1/4" thick push-thru acrylic letters
(glow white at night)



1/4" thick cut aluminum slat panel painted to match P2 Panels to be screw mounted, filled, sanded and primed - all connections shall be concealed.

6" x 6" Square aluminum post - (4) total painted to match P1

1/4" thick aluminum slat panel Painted to match P2 Panels to be screw mounted, filled, sanded and primed - all connections shall be concealed.

6" x 6" square post aluminum post - (4) total painted Matthews painted to match P1

1/4" thick pin-mounted frame edge cut aluminum letters (Front Elevation only)

BREAKAWAY CONNECTION
Aluminum post to be attached to foundation plate with breakaway connection

Structural footing and foundation as required. Engineering shall be provided by Fabricator.

SIGNAGE AREA
5.67 SQ. FT.

LIGHTING
Power and ground-mounted fixtures to upright face of pier facing street, to be coordinate per location by contractor.

See full Lighting specification on following page

1 Sign type 2 - Plan View
Scale: 1/2" = 1'-0"

2 Sign Type 2 - Front Elevation
Scale: 1/2" = 1'-0"

3 Sign Type 2 - Side Elevation
Scale: 1/2" = 1'-0"

4 Sign Type 2 - Night View
Scale: 1/2" = 1'-0"

505 DESIGN

CHARLOTTE:
508 West Fifth Street, 250
Charlotte, NC 28202 Telephone 704 348 7000
Facsimile 704 348 7005

BOULDER:
1360 Walnut Street, 102
Boulder, CO 80302 Telephone 720 565 0505
Facsimile 720 565 0504

SAN FRANCISCO:
468 Bush Street, 300
San Francisco, CA 94108 Telephone 415 421 9900

Project Site Monumentation
Schematic Design

ROUZAN

Rouzan Commercial Center
PROJECT

Engquist-Rouzan Commercial Development, LLC
OWNER

KK, TG
505DESIGN TEAM

PROJECT ARCHITECT:
KITGY (949) 851-2133
17911 Von Karman Ave, Carlsbad, CA
Suite 208 Irvine, CA 92614

ORIGINAL ISSUE: 22 Feb, 2019

DESIGNED		CHECKED		DATE	
S.A.	C.B.	S.A.	C.B.	DATE	BY
				3-15-19	TG
				18	CP

Commercial Entry Pier Elevation

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SHEET NUMBER **9.5**

PARISH COUNTY	EAST BATON ROUGE
CITY	BATON ROUGE
PROJECT	11409.2

ROUZAN T.N.D./FDPs - PHASE 1C
VILLAGE CENTER PARTNERS/
ENGQUIST-ROUZAN COM. DEV., L.L.C.

STB GROUP, LLC
QUALITY BY DESIGN
P.O. BOX 175 • SUITE 100 • IRVINE, CA 92614 • TEL: (949) 851-2133 • FAX: (949) 851-2134

DATE	REVISION	BY
3-15-19	ADD SIGNAGE AND SIGNAGE DETAILS	TT
04/20/2018	PER C-P COMMENTS RECEIVED ON 01/26/2018	TT
04/22/2018	PER C-P COMMENTS RECEIVED ON 03/27/2018	TT

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