

INDEX TO SHEETS

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PUD-14-6
COPPER OAKS SUBDIVISION
PHASE III, SECOND FILING
FINAL DEVELOPMENT PLAN
MICKENS ROAD PUD (2019)

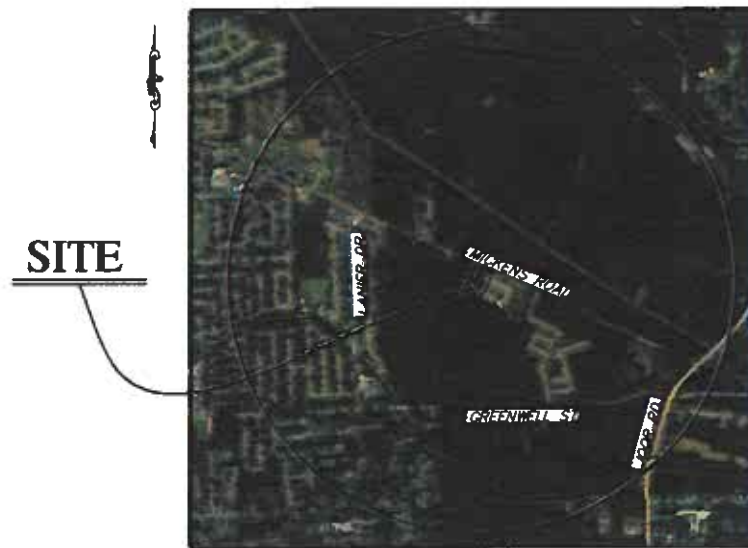
TRACT A OF COPPER OAKS SUBDIVISION, FIRST FILING
 LOCATED IN SECTION 43, T-6-S, R-1-E
 GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA
 CPPC LOT ID: 530150337

OWNER:
GREENWELL LAND ACQUISITIONS, LLC
 12829 NEW BRITTANY BOULEVARD, BUILDING 16
 FORT MEYERS, FL 33907
 PHONE: (239) 275-8029
 FAX: (239) 275-0648
 EMAIL: bmillier@national-development.com

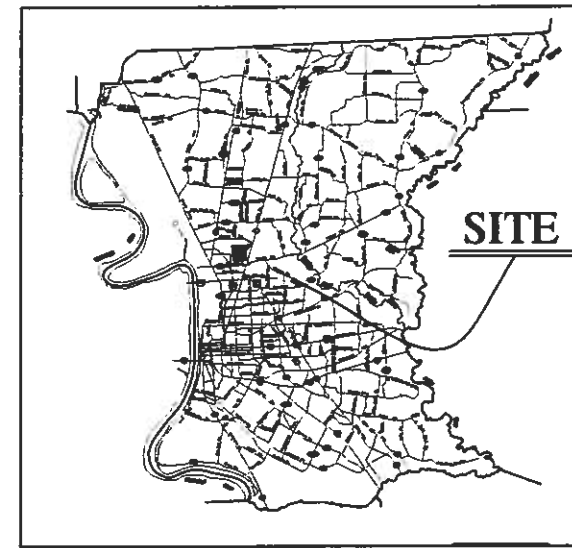
ENGINEER:
GWS ENGINEERING, INC.
 7520 PERKINS ROAD, SUITE 290
 BATON ROUGE, LA 70808
 PHONE: (225) 769-1788
 FAX: (225) 769-1954
 EMAIL: kkennedy@gwsengr.com

LANDSCAPE ARCHITECT:
REICH ASSOCIATES
 301 T.J. JEMISON BLVD.
 BATON ROUGE, LA 70802
 PHONE: (225) 336-5890
 FAX: (225) 336-58924
 EMAIL: bill@reichassociates.net

UTILITY PROVIDERS:
 ELECTRIC: ENTERGY OF LA, LLC
 GAS: ENTERGY OF LA, LLC
 TELEPHONE: COX COMMUNICATIONS
 WATER: BATON ROUGE WATER COMPANY
 SANITARY SEWER: WSTN



SITE VICINITY MAP



PARISH MAP



PLANNING SUMMARY:

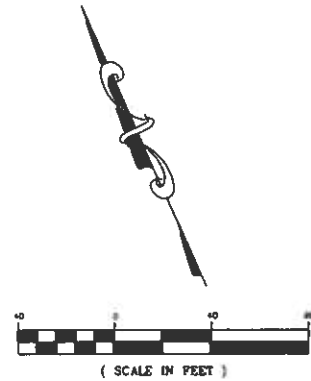
EXISTING ZONING: PUD
COMPREHENSIVE PLAN LAND USE CATEGORY: COMPACT NEIGHBORHOOD
CHARACTER AREA: SUBURBAN
EXISTING ZONING OF ADJOINING PARCELS: C2, PUD
ACREAGE: 4.397 ACRES
NUMBER OF LOTS: 20
DENSITY: 4.6 UNITS/ACRE LOW DENSITY RESIDENTIAL
PROPOSED USES: SINGLE FAMILY RESIDENTIAL
RESIDENTIAL HEIGHT: 27'-0" MAX
RESIDENTIAL NUMBER OF STORIES: ONE-TWO



PRELIMINARY
FOR REVIEW AND COMMENT ONLY
 These drawings were prepared for conceptual consideration and
 should in no way be construed as detailed engineering drawings to
 be used for design and/or construction purposes.

GWS Engineering, Inc.
 Engineering Consultants - Land Surveyors
 7520 Perkins Rd • Suite 290 • Baton Rouge, LA 70808

P.C SET 3/25/19



AERIAL PHOTO
SCALE: 1"=400'

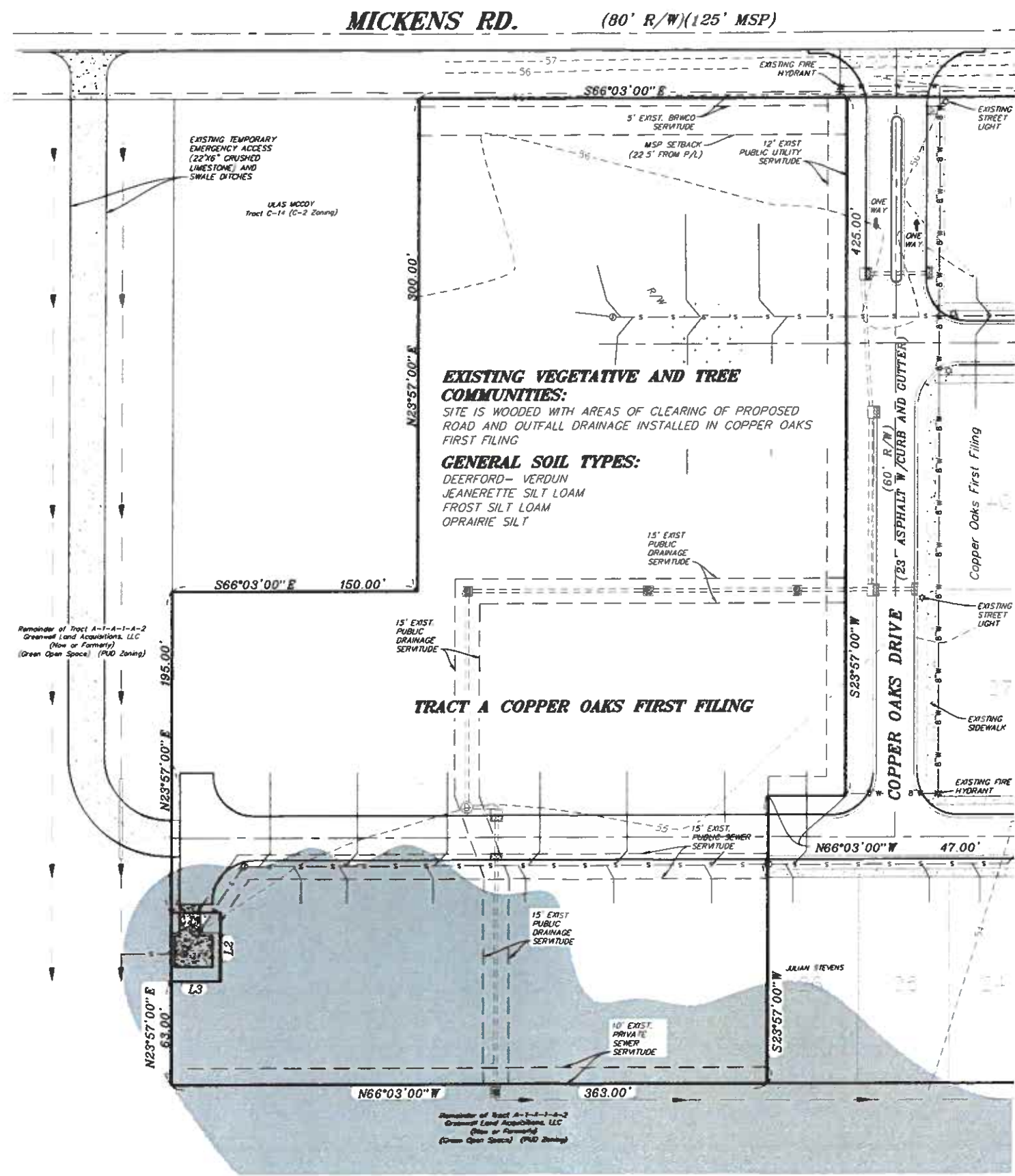
NOTE:
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 22033 C 0190E, DATED MAY 02, 2008, THIS PROPERTY IS LOCATED IN FLOOD ZONE X.
BASE FLOOD AND RECORD INUNDATION ELEVATIONS ARE SUBJECT TO CHANGE AND THE CURRENT BASE FLOOD ELEVATION SHOULD BE VERIFIED WITH THE ENGINEERING DIVISION OF THE DEPARTMENT OF DEVELOPMENT.

LEGEND

	EXISTING GRATE INLET		EXISTING DRAINAGE PIPE
	EXISTING CURB INLET		EXISTING DITCH
	EXISTING JUNCTION BOX		EXISTING 8" WATER LINE
	EXISTING SIDE DRAIN		EXISTING OVERHEAD ELECTRIC
	EXISTING WATER VALVE		EXISTING SEWER LINE
	EXISTING SEWER MANHOLE		EXISTING FIRE HYDRANT
	WETLANDS		

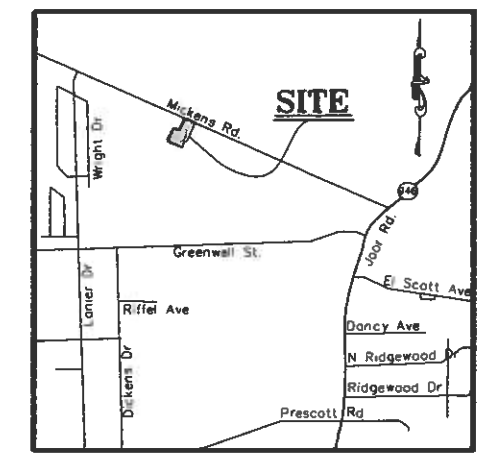


PRELIMINARY
FOR REVIEW AND COMMENT ONLY
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LINE TABLE

LINE #	DISTANCE	DIRECTION
L1	30.00'	N66° 03' 00" W
L2	42.00'	N23° 57' 00" E
L3	30.00'	N66° 03' 00" W



VICINITY MAP
SCALE: 1"=2000'

GENERAL INFORMATION:
EXISTING ZONING: PUD
COMPREHENSIVE PLAN LAND USE CATEGORY: CN
EXISTING ZONING OF ADJACENT PARCELS: C2, PUD
TOTAL ACREAGE: 4.39± ACRES
UTILITIES:
SANITARY SEWER: WSTN
WATER: BATON ROUGE WATER COMPANY
ELECTRIC: ENTERGY OF LOUISIANA
GAS: ENTERGY OF LOUISIANA
CABLE: COX COMMUNICATIONS
CHARACTER AREA: SUBURBAN
FLOOD ZONE: X
BASE FLOOD ELEVATION: 51'
INUNDATION ELEVATION: 52.5'
NO. OF LOTS: 20
DENSITY: 4.6 LOTS/ACRE
FIRE DISTRICT: HOOPER ROAD FIRE DISTRICT #6
SCHOOLS:
ELEMENTARY: GLEN OAKS PARK
MIDDLE: NORTH BANKS MIDDLE
HIGH: GLEN OAKS HIGH
PARKS WITHIN ONE MILE: BREC MAPLEWOOD PARK
SCHOOLS WITHIN ONE MILE: GLEN OAKS PARK ELEMENTARY
NEAREST FIRE STATION: DISTRICT SIX (1.4 MILES AWAY)
NEAREST HOSPITAL: OLOL (7.3 MILES AWAY)

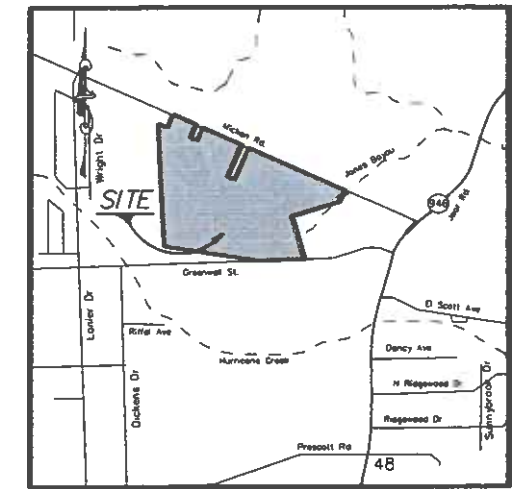
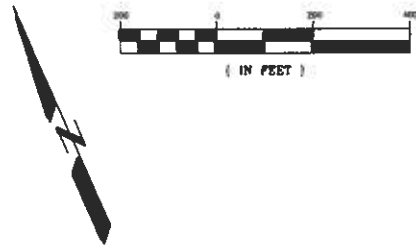
EXISTING SITE CONDITIONS
OF
COPPER OAKS
SUBDIVISION
SECOND FILING
MICKENS ROAD PUD
PHASE III
BEING TRACT A OF
COPPER OAKS SUBDIVISION
FIRST FILING

LOCATED IN SECTION 43, T-6-S, R-1-E
GREENSBURG LAND DISTRICT,
EAST BATON ROUGE PARISH, LOUISIANA
FOR
GREENWELL LAND ACQUISITIONS, LLC

SHEET 2 OF 13

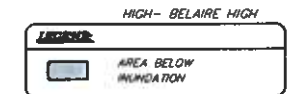
F.B. NO.:	PG. NO.:
DESIGNED: HMK	CADFILE: 18-13FDP1
DETAILED: UMc	DATE: 03/22/2019
CHECKED: GWS	

GWS Engineering, Inc.
Engineering Consultants - Land Surveyors
7520 Perkins Rd • Suite 290 • Baton Rouge, LA 70808
Phone (225) 769-1788 GWSEngineering.com



VICINITY MAP
1" = 1000'

- GENERAL NOTES:**
- BUILDING SETBACKS:
FRONT - 17'
SIDE - 5'
REAR - 20'
 - EXISTING ZONING: PUD CONCEPT
 - PROPOSED ZONING: PUD
 - EXISTING HORIZON LAND USE: LOW DENSITY RESIDENTIAL
 - PROPOSED HORIZON LAND USE: PUD
 - SEWER: WSTN
 - WATER: BATON ROUGE WATER
 - ELECTRIC: ENTERGY
 - GAS: ENTERGY
 - CABLEVISION: COX CABLE
 - TELEPHONE: BELLSOUTH
 - FIRE DISTRICT: HOOPER ROAD FIRE DISTRICT #6
 - 100 YEAR ELEV: 51.0'
 - FLOOD ZONES: AE & X
 - INUNDATION ELEV: 52.5'
 - ENTIRE SITE IS WOODED
 - ACREAGE: 162.16±
 - SCHOOLS:
ELEMENTARY- GLEN OAKS PARK
MIDDLE- GLEN OAKS MIDDLE



APPROVED CONCEPT PLAN

FOR
MICKENS ROAD
PLANNED UNIT DEVELOPMENT
BEING TRACT A-1-A-1
OF THE
NELL P. STIPE ET AL PROPERTY

LOCATED IN SECTION 43 AND 44, T-6-S, R-1-E
GREENSBURG LAND DISTRICT
EAST BATON ROUGE PARISH, LOUISIANA

FOR
NATIONAL DEVELOPMENT OF AMERICA, LLC.
1520 ROYAL PALM SQUARE BOULEVARD
SUITE 360
FORT MYERS, FLORIDA 33919

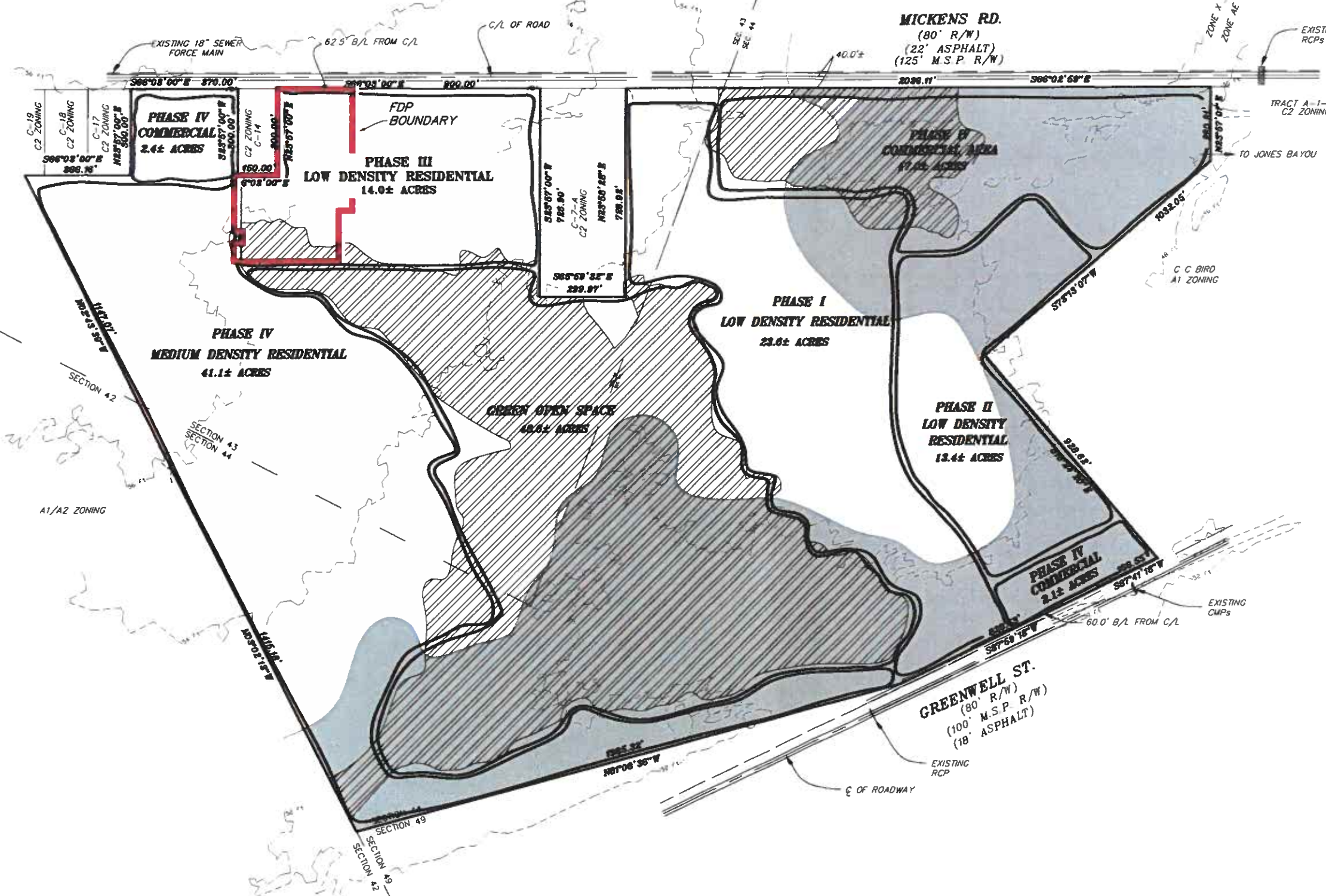


TABLE OF LAND USES

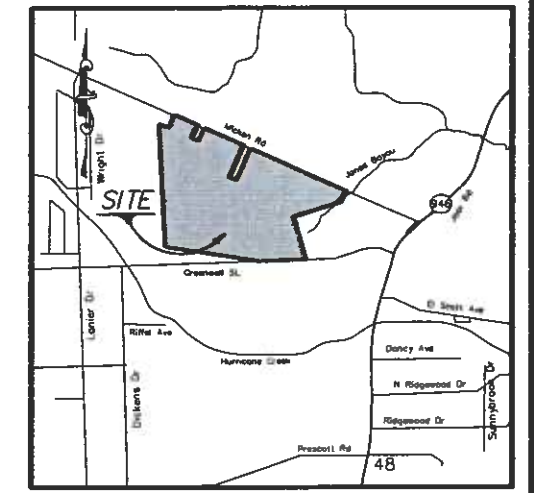
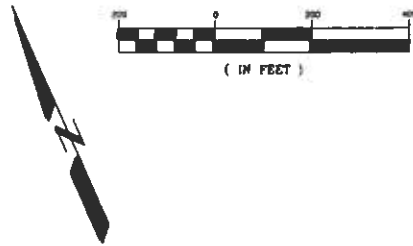
	HIGH DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	LOW DENSITY RESIDENTIAL	COMMERCIAL	GREEN OPEN SPACE
TOTAL # OF UNITS	—	328	199	—	—
TOTAL SQUARE FEET OF BUILDINGS	—	—	—	260,000	—
TOTAL ACREAGE	—	41.1	51.0	21.5	48.6
PERCENTAGE OF SITE	—	25.3%	31.4%	13.3%	30%
TOTAL STORIES OF BUILDINGS	—	3	2	2	—
RATIO	—	8 UNITS/AC.	3.9 UNITS/AC.	10,924 SF/AC.	—

SHEET 3 OF 13

DESIGNED BMA	PG NO
DATE 6/10/18	LAO/FILE 9508CP5
CHECKED GWS	SHEET NO 3

GWS Engineering, Inc.
Engineering Consultants - Land Surveyors
7520 Perkins Rd • Suite 280 • Baton Rouge, LA 70808

ACCORDING TO THE FEDERAL EMERGENCY FLOOD INSURANCE RATE MAP NO. 220058 0080 D, DATED MAY 17, 1993, THIS PROPERTY IS LOCATED IN FLOOD ZONES AE & X



VICINITY MAP
1" = 1000'

GENERAL NOTES:
 EXISTING ZONING: PUD CONCEPT
 PROPOSED ZONING: PUD
 EXISTING HORIZON LAND USE: LOW DENSITY RESIDENTIAL
 PROPOSED HORIZON LAND USE: PUD
 SEWER: WSTN
 WATER: BATON ROUGE WATER
 ELECTRIC: ENTERGY
 GAS: ENTERGY
 CABLEVISION: COX CABLE
 TELEPHONE: BELLSOUTH
 FIRE DISTRICT: HOOPER ROAD FIRE DISTRICT #6
 100 YEAR ELEV.: 51.0'
 FLOOD ZONES: AE & X
 INUNDATION ELEV.: 52.5'
 ENTIRE SITE IS WOODED
 ACREAGE: 182.16±
 SCHOOLS:
 ELEMENTARY - GLEN OAKS PARK
 MIDDLE - GLEN OAKS MIDDLE
 HIGH - BELAIRE HIGH



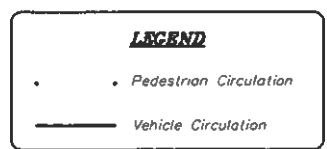
**APPROVED
CIRCULATION PLAN**

FOR
MICKENS ROAD
PLANNED UNIT DEVELOPMENT

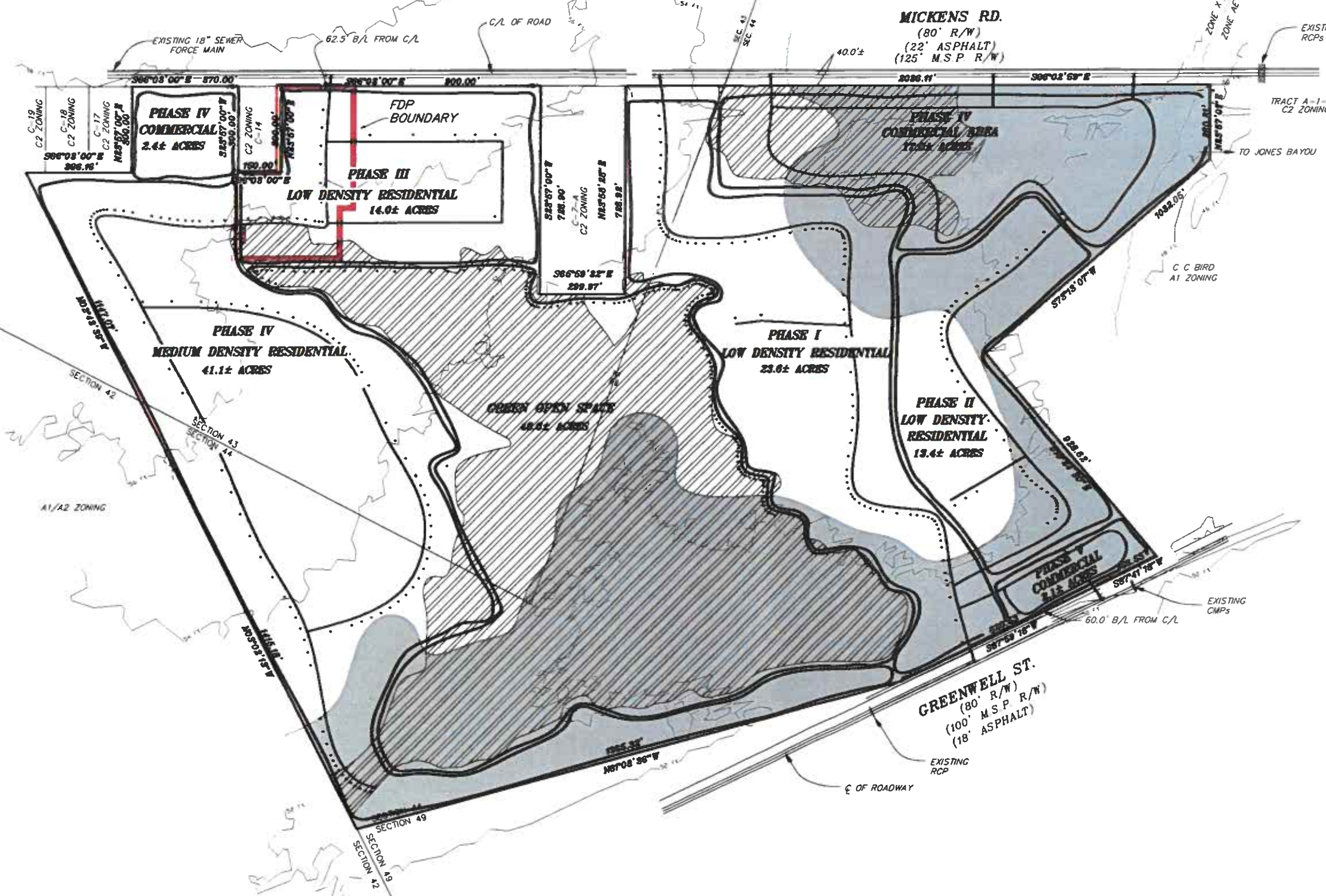
BEING TRACT A-1-A-1
 OF THE
NELL P. STIPE ET AL PROPERTY

LOCATED IN SECTION 43 AND 44, T-6-S, R-1-E
 GREENSBURG LAND DISTRICT
 EAST BATON ROUGE PARISH, LOUISIANA

FOR
NATIONAL DEVELOPMENT OF AMERICA, LLC.
 1520 ROYAL PALM SQUARE BOULEVARD
 SUITE 360
 FORT MYERS, FLORIDA 33919

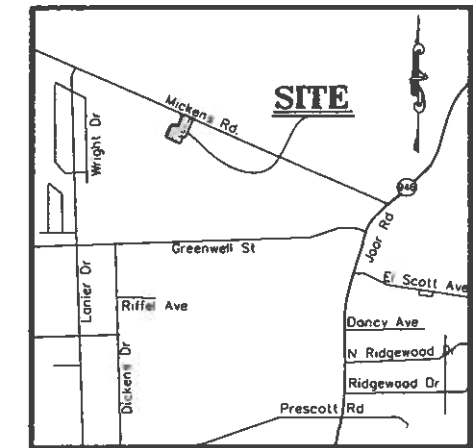
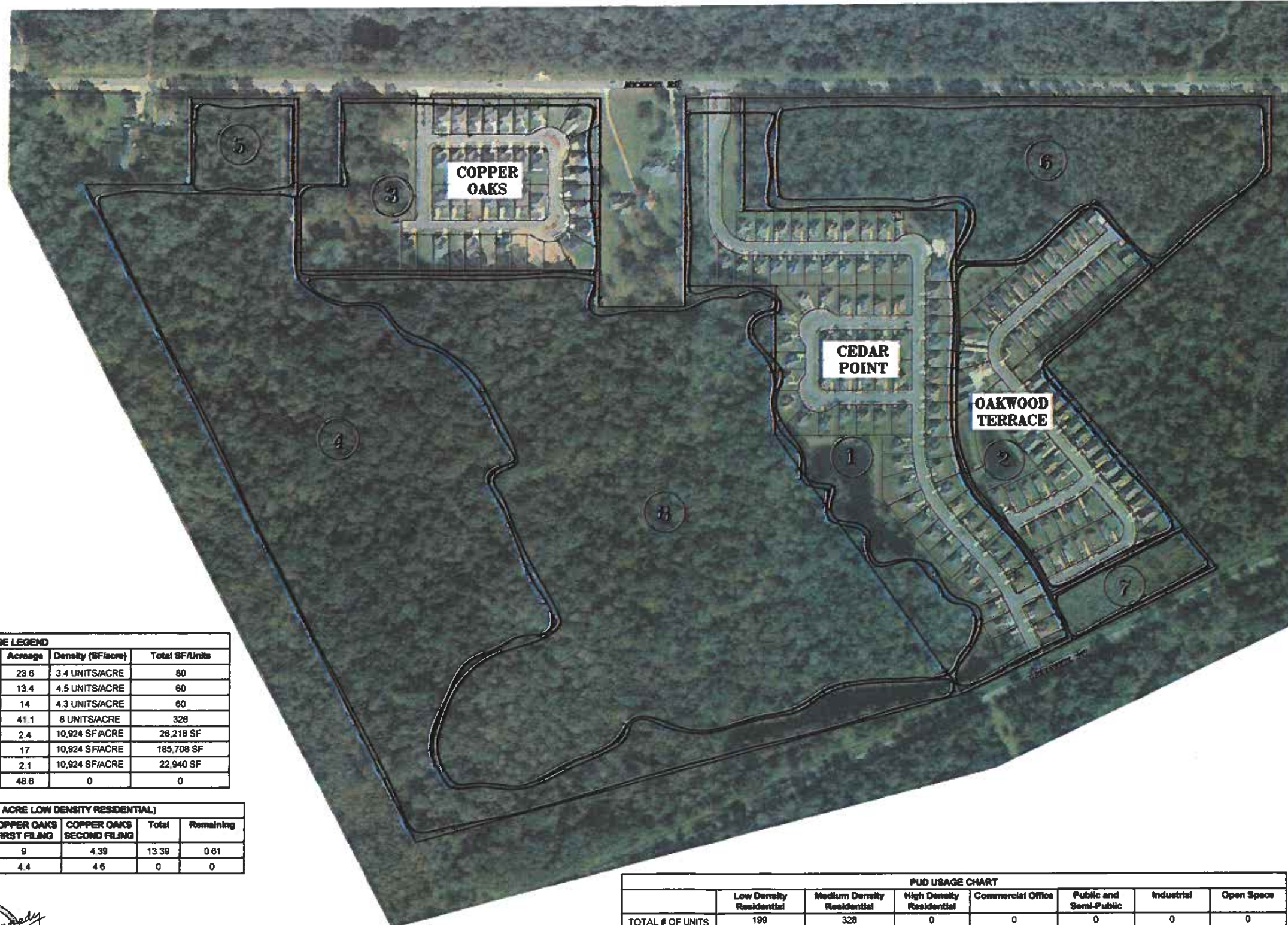
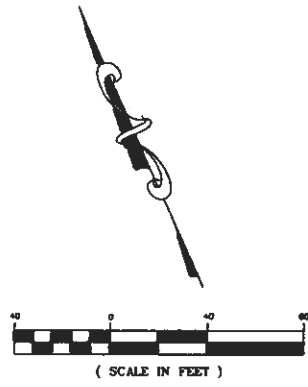


ACCORDING TO THE FEDERAL EMERGENCY FLOOD INSURANCE RATE MAP NO. 220058 0080 D, DATED MAY 17, 1993, THIS PROPERTY IS LOCATED IN FLOOD ZONES AE & X.



SHEET 4 OF 13	
DESIGNED BMA	CADFILE: 9308cvcap3
CHECKED GWS	SHEET NO. 4

GWS Engineering, Inc.
 Engineering Consultants - Land Surveyors
 7520 Perkins Rd • Suite 290 • Baton Rouge, LA 70808



VICINITY MAP
SCALE 1"=2000'

USAGE LEGEND				
Area	Use	Acreege	Density (SF/acre)	Total SF/Units
1	LOW DENSITY RESIDENTIAL	23.6	3.4 UNITS/ACRE	80
2	LOW DENSITY RESIDENTIAL	13.4	4.5 UNITS/ACRE	60
3	LOW DENSITY RESIDENTIAL	14	4.3 UNITS/ACRE	60
4	MEDIUM DENSITY RESIDENTIAL	41.1	8 UNITS/ACRE	328
5	COMMERCIAL	2.4	10,924 SF/ACRE	26,218 SF
6	COMMERCIAL	17	10,924 SF/ACRE	185,708 SF
7	COMMERCIAL	2.1	10,924 SF/ACRE	22,940 SF
8	GREEN OPEN SPACE	48.6	0	0

COMPONENT AREA (14.06 ACRE LOW DENSITY RESIDENTIAL)					
	CONCEPT PLAN	COPPER OAKS FIRST FILING	COPPER OAKS SECOND FILING	Total	Remaining
ACREAGE	14	9	4.39	13.39	0.61
DENSITY (UNITS/ACRE)	3.9	4.4	4.6	0	0

PUD USAGE CHART							
	Low Density Residential	Medium Density Residential	High Density Residential	Commercial Office	Public and Semi-Public	Industrial	Open Space
TOTAL # OF UNITS	199	328	0	0	0	0	0
TOTAL SF OF BUILDINGS	0	0	0	260,000	0	0	0
TOTAL ACREAGE	51	41.1	0	21.5	0	0	48.6
DENSITY	3.9 UNITS/ACRE	8.0 UNITS/ACRE	0	12093 SF/ACRE	0	0	0
PERCENT OF SITE	31.4%	25.3%	0.0%	13.3%	0.0%	0.0%	30.0%

**OVERALL DEVELOPMENT/
PHASE PLAN**

OF
**COPPER OAKS
SUBDIVISION
SECOND FILING
MICKENS ROAD PUD
PHASE III**

**BEING TRACT A OF
COPPER OAKS SUBDIVISION
FIRST FILING**

LOCATED IN SECTION 43, T-6-S, R-1-E
GREENSBURG LAND DISTRICT,
EAST BATON ROUGE PARISH, LOUISIANA

FOR
GREENWELL LAND ACQUISITIONS, LLC



**PRELIMINARY
FOR REVIEW AND COMMENT ONLY**

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SHEET 5 OF 13

F.B. NO.:	PG. NO.:
DESIGNED: MMK	CADFILE: 18-13FDP1
DETAILED: LMc	DATE: 03/22/2018
CHECKED: GWS	

GWS Engineering, Inc.
Engineering Consultants - Land Surveyors

7520 Perkins Rd. • Suite 290 • Baton Rouge, LA 70808
Phone: (225) 769-1788 GWSEngineering.com



LINE TABLE		
LINE #	DISTANCE	DIRECTION
L1	30.00'	N66° 03' 00" W
L2	42.00'	N23° 57' 00" E
L3	30.00'	N66° 03' 00" W
L4	11.57'	N66° 03' 00" W
L5	11.57'	N66° 03' 00" W

CURVE TABLE						
CURVE	LENGTH	RADIUS	CHORD	TANGENT	BEARING	DELTA
C1	24.64'	25.00'	23.65'	13.42'	S85°43'08"W	56°27'44"
C2	42.11'	65.50'	41.39'	21.81'	N75°54'21"E	36°50'11"
C3	50.22'	65.50'	49.00'	26.42'	S63°42'38"E	43°55'51"
C4	49.60'	65.50'	48.42'	26.05'	S20°03'13"E	43°22'59"
C5	48.25'	65.50'	47.17'	25.28'	S22°44'32"W	42°12'29"
C6	51.02'	65.50'	49.74'	26.88'	S66°09'40"W	44°37'47"
C7	51.56'	65.50'	50.24'	27.20'	N68°58'27"W	45°06'00"
C8	42.11'	65.50'	41.39'	21.81'	N28°00'21"W	36°50'11"
C9	24.64'	25.00'	23.65'	13.42'	S37°49'08"E	56°27'44"

GENERAL DESCRIPTION:

THIS PROJECT IS PART OF THE MICKENS ROAD PLANNED UNIT DEVELOPMENT AND IS LOCATED IN THE 14 ACRE LOW DENSITY RESIDENTIAL COMPONENT AREA. THE PROPOSED DEVELOPMENT WAS PREVIOUSLY SUBDIVIDED AS TRACT A OF COPPER OAKS SUBDIVISION, FIRST FILING. THIS TRACT CONTAINS 4.397 ACRES.

SINCE THIS TRACT IS INCLUDED IN AN AREA DESIGNATED ON THE CONCEPT PLAN AS A 14 ACRE LOW DENSITY RESIDENTIAL COMPONENT, NO ADDITIONAL USES OR GREEN SPACE ARE REQUIRED FOR THIS DEVELOPMENT.

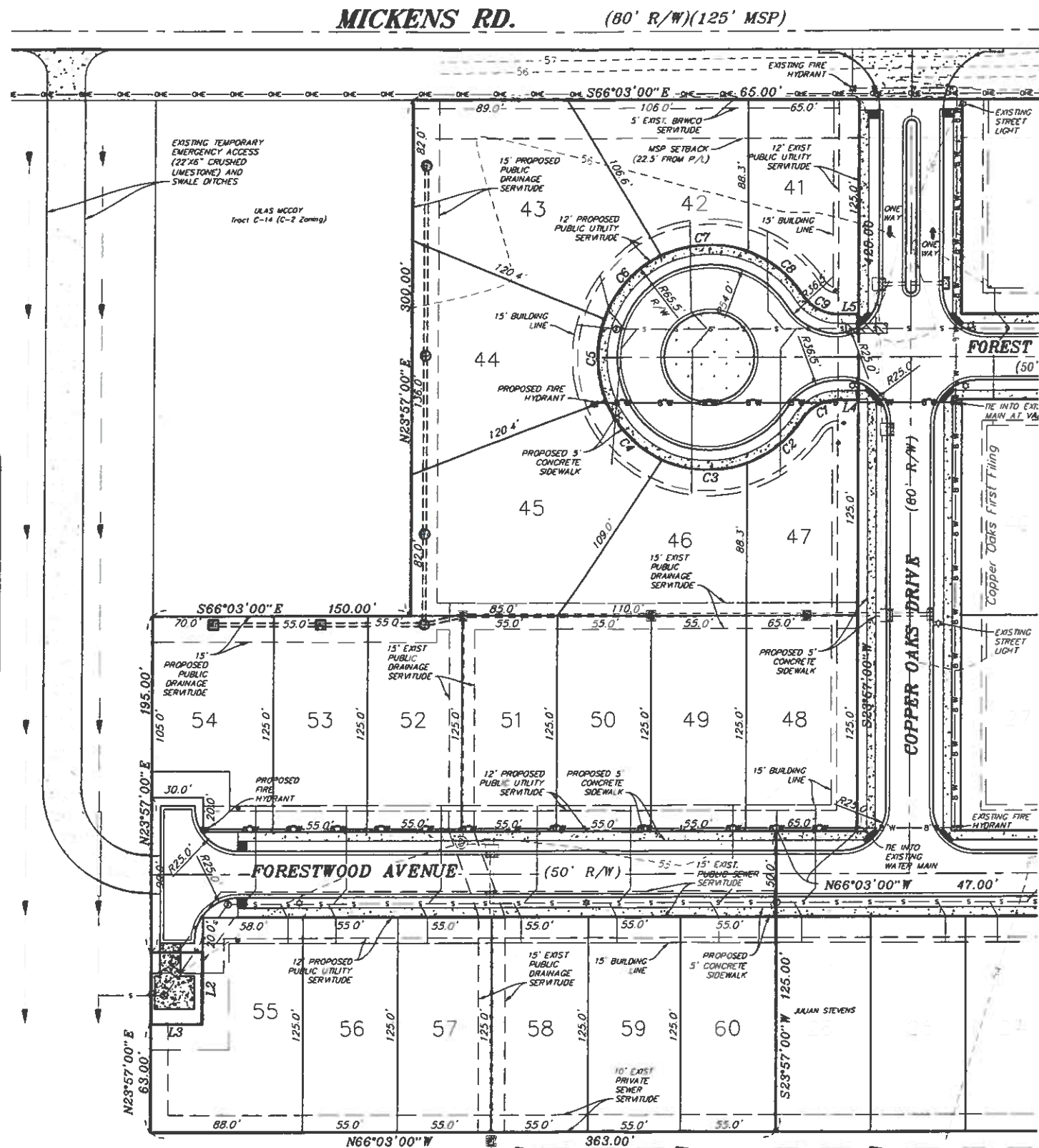
THE PROPOSED DEVELOPMENT WILL INCLUDE 20 SINGLE FAMILY RESIDENTIAL LOTS AND HOMES AT A DENSITY OF 4.6 UNITS/ACRE.

THE PROPOSED DEVELOPMENT WILL BEGIN CONSTRUCTION WITHIN 12 MONTHS AND BE COMPLETED WITHIN 12 MONTHS THEREAFTER.



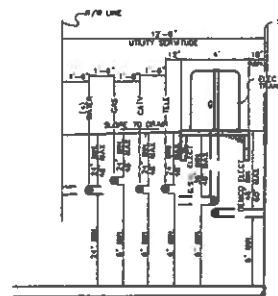
PRELIMINARY
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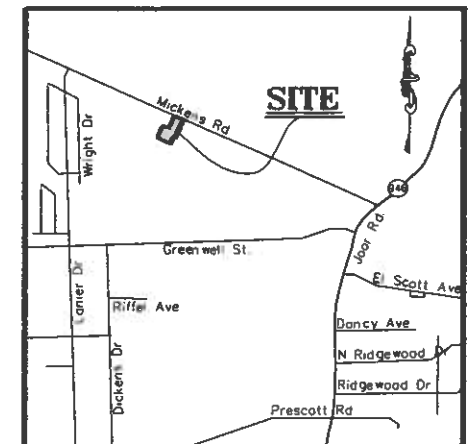


Remainder of Tract A-1-A-1-A-2
Greenwell Land Acquisitions, LLC
(Now or Formerly)
(Green Open Space) (PUD Zoning)

UTILITIES:
THE SEWER AND DRAINAGE COLLECTION SYSTEM FOR THIS FILING WAS INSTALLED DURING THE CONSTRUCTION OF COPPER OAKS SUBDIVISION, FIRST FILING. THERE ARE NO PROPOSED MODIFICATIONS TO THIS SYSTEM.
GAS, WATER, ELECTRIC AND PHONE CURRENTLY SERVING COPPER OAKS, FIRST FILING WILL BE EXTENDED TO SERVE THIS FILING.



UTILITY SERVITUDE ALLOCATION



VICINITY MAP
SCALE: 1" = 2000'

	TABLE OF USES						
	LOW DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	HIGH DENSITY RESIDENTIAL	COMMERCIAL OFFICE	PUBLIC AND SEMI-PUBLIC	INDUSTRIAL	OPEN SPACE
TOTAL # OF UNITS	0	0	0	0	0	0	0
TOTAL # OF LOTS	20						
TOTAL SQUARE FOOTAGE OF BUILDINGS	0	0	0	0	0	0	0
TOTAL ACREAGE	4.39	0	0	0.00	0.00	0	0
PERCENT OF SITE	100%	0%	0%	0%	0%	0%	0%

THERE IS NO REMAINING LOW DENSITY RESIDENTIAL AREA IN TRACT A.

PROPOSED SETBACKS	
FRONT	15'
SIDE	8'
REAR	25'

GENERAL NOTES:

- ENTIRE SITE IS PROPOSED FOR LOW-DENSITY RESIDENTIAL.
- NO SIGN IS PROPOSED.
- ACREAGE: 4.39
- BUILDINGS/LOTS 20
- DENSITY: 4.6 UNITS PER ACRE
- COMMON OPEN SPACE NOT REQUIRED IN THE PUD COMPONENT
- FLOOD ZONE: X
- REFUSE CURBSIDE PICKUP
- MAIL: INDIVIDUAL MAILBOXES
- POPULATION PROJECTIONS: 20 HOMES (3-4 BEDROOMS ANTICIPATED)
- STREETS: RESIDENTIAL LOCAL (WIDE)

FINAL DEVELOPMENT PLAN
OF
COPPER OAKS SUBDIVISION
SECOND FILING
MICKENS ROAD PUD
PHASE III
BEING TRACT A OF COPPER OAKS SUBDIVISION
FIRST FILING

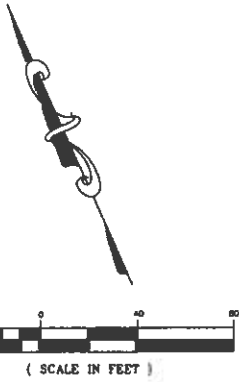
LOCATED IN SECTION 43, T-6-S, R-1-E GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA

FOR
GREENWELL LAND ACQUISITIONS, LLC

SHEET 6 OF 13

F.S. NO.:	P.C. NO.:
DESIGNED: RMK	CADFILE: 18-13FDPI
DETAILED: LMC	DATE: 03/22/2019
CHECKED: GWS	

GWS Engineering, Inc.
Engineering Consultants - Land Surveyors
7520 Perkins Rd • Suite 290 • Baton Rouge, LA 70808
Phone (225) 769-1788 GWSEngineering.com



CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	TANGENT	BEARING	DELTA
C1	24.64'	25.00'	23.65'	13.42'	S85°43'08"W	56°27'44"
C2	42.11'	65.50'	41.39'	21.81'	N75°54'21"E	36°50'11"
C3	50.22'	65.50'	49.00'	26.42'	S63°42'38"E	43°55'51"
C4	49.60'	65.50'	48.42'	26.05'	S20°03'13"E	43°22'59"
C5	48.25'	65.50'	47.17'	25.28'	S22°44'32"W	42°12'29"
C6	51.02'	65.50'	49.74'	26.88'	S66°09'40"W	44°37'47"
C7	51.56'	65.50'	50.24'	27.20'	N68°58'27"W	45°06'00"
C8	42.11'	65.50'	41.39'	21.81'	N28°00'21"W	36°50'11"
C9	24.64'	25.00'	23.65'	13.42'	S37°49'08"E	56°27'44"

LINE TABLE

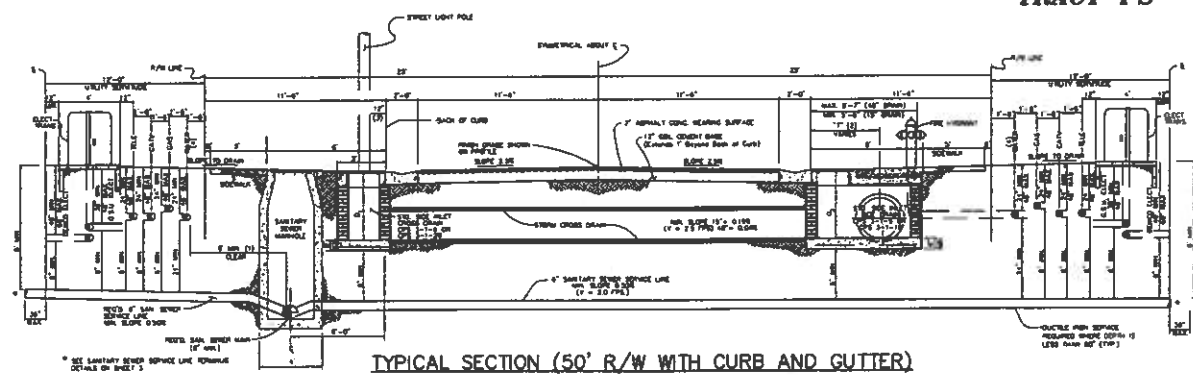
LINE #	DISTANCE	DIRECTION
L1	30.00'	N66°03'00"W
L2	42.00'	N23°57'00"E
L3	30.00'	N66°03'00"W
L4	11.57'	N66°03'00"W
L5	11.57'	N66°03'00"W

PARKING CHART

	FORMULA	UNITS	REQUIRED	PROPOSED
RESIDENTIAL USES	2 PER UNIT RURAL AND SUBURBAN AREAS	20	40	40 MINIMUM PROPOSED IN CARPORTS AND DRIVES
TOTALS			40	40 MIN.



PRELIMINARY
 FOR REVIEW AND COMMENT ONLY
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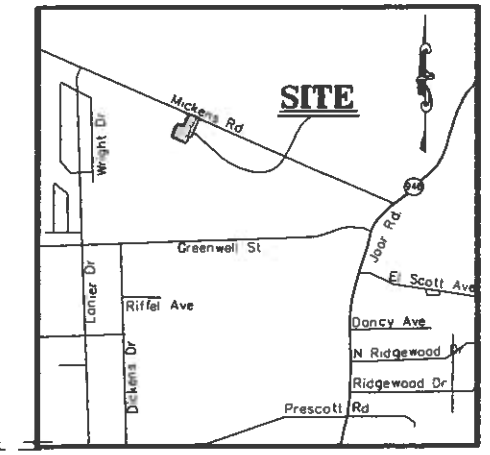
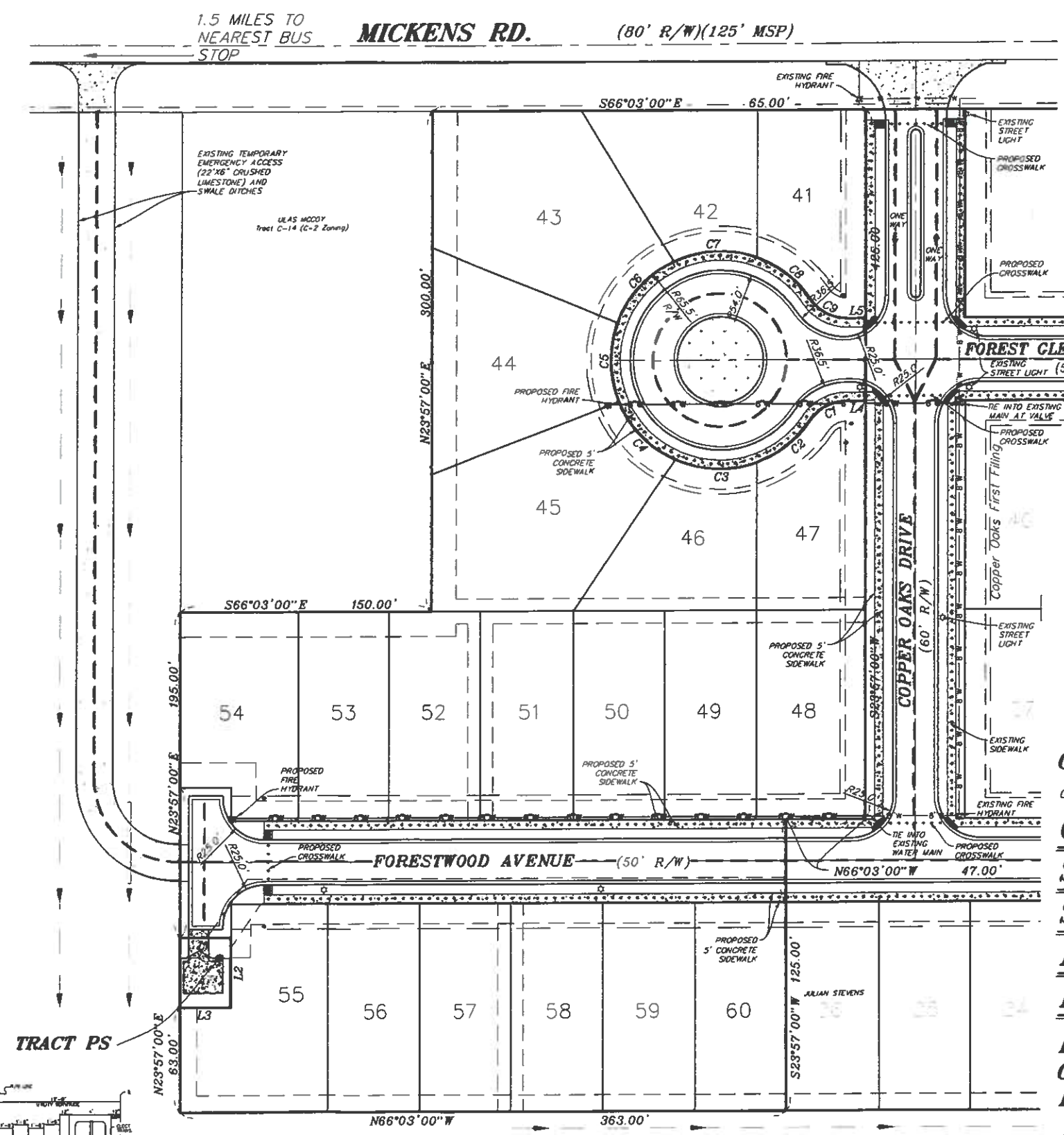


TYPICAL SECTION (50' R/W WITH CURB AND GUTTER)

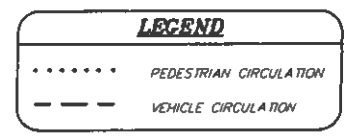
NTS

- FOOT NOTES:**
- (1) MINIMUM CLEARANCE PER SEC. 12.013 OF THE STATE BOARD OF HEALTH SANITARY CODE.
 - (2) SEE OPS 1-1-1.5 FOR REQUIRED 1" STORM DRAIN PIPE LOCATION.
 - (3) SEE SECTION 2.111 (A) (1) OF THE CODE OF ORDINANCES.
 - (4) IF MAN HOLE REQS. FOR FIRE PROTECTION (SEE SEC. 7-10 (J) & (K) OF CODE OF ORDINANCES).

NOTE:
 STREET SECTION IS TO BE RESIDENTIAL LOCAL WIDE. STREETS AND SIDEWALKS TO BE PUBLIC OWNERSHIP AND MAINTENANCE



VICINITY MAP
 SCALE 1" = 2000'



CIRCULATION PLAN
 OF
COPPER OAKS SUBDIVISION
SECOND FILING
MICKENS ROAD PUD
PHASE III
 BEING TRACT A OF
COPPER OAKS SUBDIVISION
FIRST FILING

LOCATED IN SECTION 43, T-6-S, R-1-E GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA FOR
GREENWELL LAND ACQUISITIONS, LLC

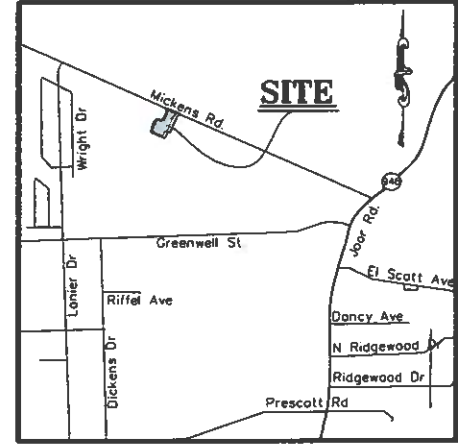
SHEET 7 OF 13

F.B. NO.:	PG. NO.:
DESIGNED: KMR	CADFILE: 18-13FDP1
DETAILED: LMC	DATE: 03/22/2019
CHECKED: GWS	

GWS Engineering, Inc.
 Engineering Consultants - Land Surveyors
 7520 Perkins Rd • Suite 290 • Baton Rouge, LA 70808
 Phone: (225) 769-1788 GWSEngineering.com

MICKENS RD. (80' R/W)(125' MSP)

UTILITIES:
 THE SEWER AND DRAINAGE COLLECTION SYSTEM FOR THIS FILING WAS INSTALLED DURING THE CONSTRUCTION OF COPPER OAKS SUBDIVISION, FIRST FILING. THERE ARE NO PROPOSED MODIFICATIONS TO THIS SYSTEM.
 GAS, WATER, ELECTRIC AND PHONE CURRENTLY SERVING COPPER OAKS, FIRST FILING WILL BE EXTENDED TO SERVE THIS FILING.



VICINITY MAP
 SCALE: 1"=2000'



PTD8K - LED Equivalent to 150W HPS Non-cut-off 11' editionary Post Top Luminaire



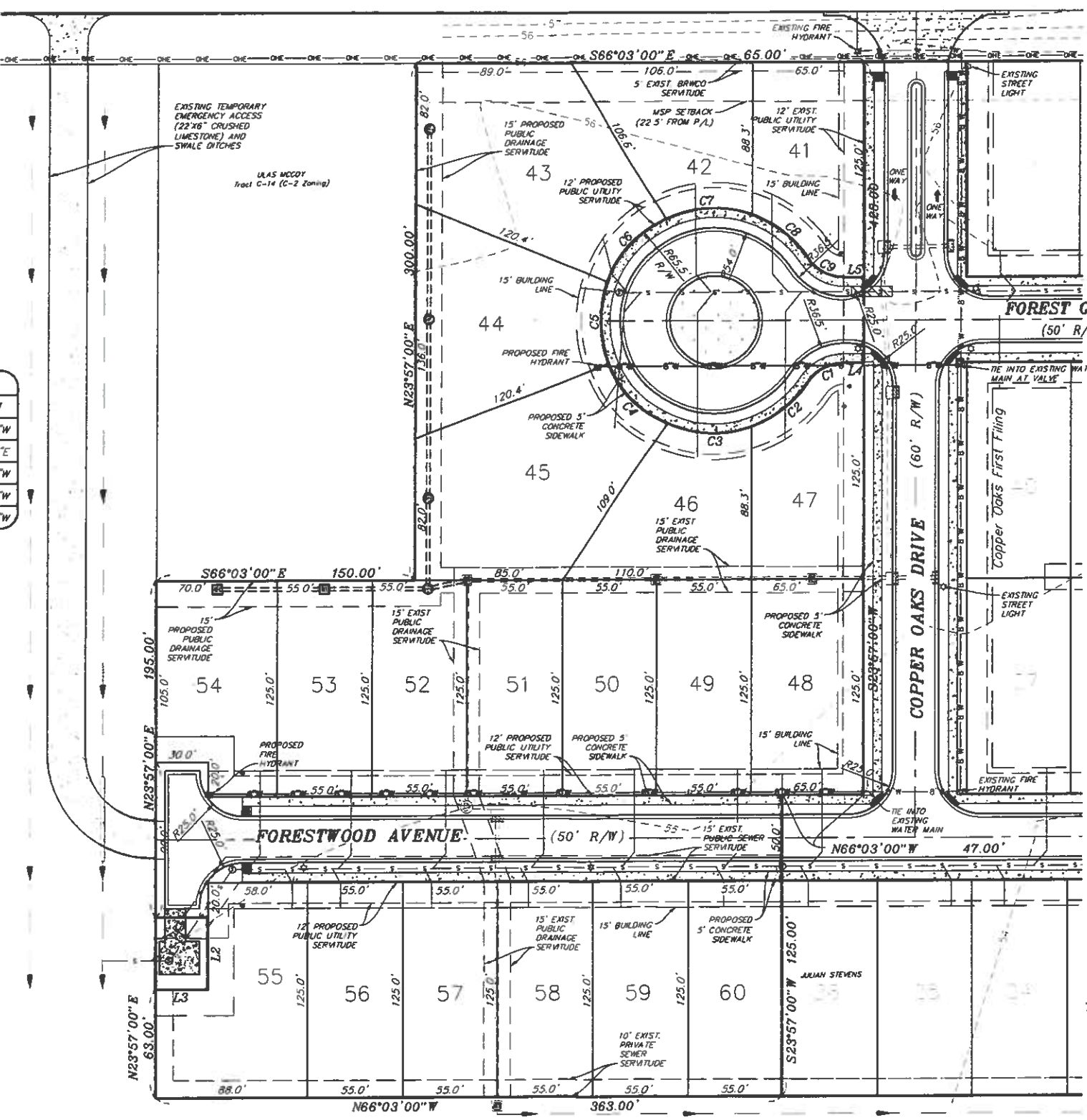
LINE TABLE

LINE #	DISTANCE	DIRECTION
L1	30.00'	N66° 03' 00"W
L2	42.00'	N23° 57' 00"E
L3	30.00'	N66° 03' 00"W
L4	11.57'	N66° 03' 00"W
L5	11.57'	N66° 03' 00"W

ENERGY PROPOSED STREET LIGHT - 20' HEIGHT
 The maximum spacing of lighting fixtures shall be two hundred (200) feet and the minimum shall be sixty (60) feet. The minimum initial lumens shall be ninety-five hundred (9,500). The utility company shall ensure that the degree of illumination in divided or boulevard type streets is consistent with the degree of illumination required by the UDC.

LEGEND

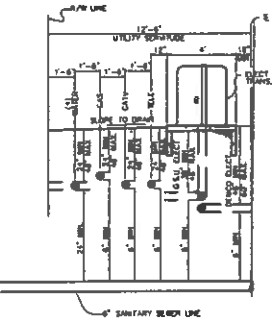
	EXISTING GRATE INLET		EXISTING DRAINAGE PIPE
	EXISTING CURB INLET		EXISTING DITCH
	EXISTING JUNCTION BOX		PROPOSED DRAINAGE PIPE
	PROPOSED YARD DRAIN		EXISTING 8" WATER LINE
	PROPOSED GRATE INLET		PROPOSED 8" WATER LINE
	EXISTING SIDE DRAIN		EXISTING SEWER LINE
	EXISTING WATER VALVE		EXIST. OVERHEAD ELECTRIC LINE
	EXISTING SEWER MANHOLE		EXISTING FIRE HYDRANT
	PROPOSED LIGHT STANDARD		PROPOSED FIRE HYDRANT



CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	TANGENT	BEARING	DELTA
C1	24.64'	25.00'	23.65'	13.42'	S85°43'08"W	56°27'44"
C2	42.11'	65.50'	41.39'	21.81'	N75°54'21"E	36°50'11"
C3	50.22'	65.50'	49.00'	26.42'	S63°42'38"E	43°55'51"
C4	49.60'	65.50'	48.42'	26.05'	S20°03'13"E	43°22'59"
C5	48.25'	65.50'	47.17'	25.28'	S22°44'32"W	42°12'29"
C6	51.02'	65.50'	49.74'	26.88'	S66°09'40"W	44°37'47"
C7	51.56'	65.50'	50.24'	27.20'	N68°58'27"W	45°06'00"
C8	42.11'	65.50'	41.39'	21.81'	N28°00'21"W	36°50'11"
C9	24.64'	25.00'	23.65'	13.42'	S37°49'08"E	56°27'44"

UTILITY SERVICE PLAN
 OF
COPPER OAKS SUBDIVISION
SECOND FILING
MICKENS ROAD PUD
PHASE III
 BEING TRACT A OF
COPPER OAKS SUBDIVISION
FIRST FILING



UTILITY SERVICE ALLOCATION

LOCATED IN SECTION 43, T-6-S, R-1-E GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA

FOR
GREENWELL LAND ACQUISITIONS, LLC



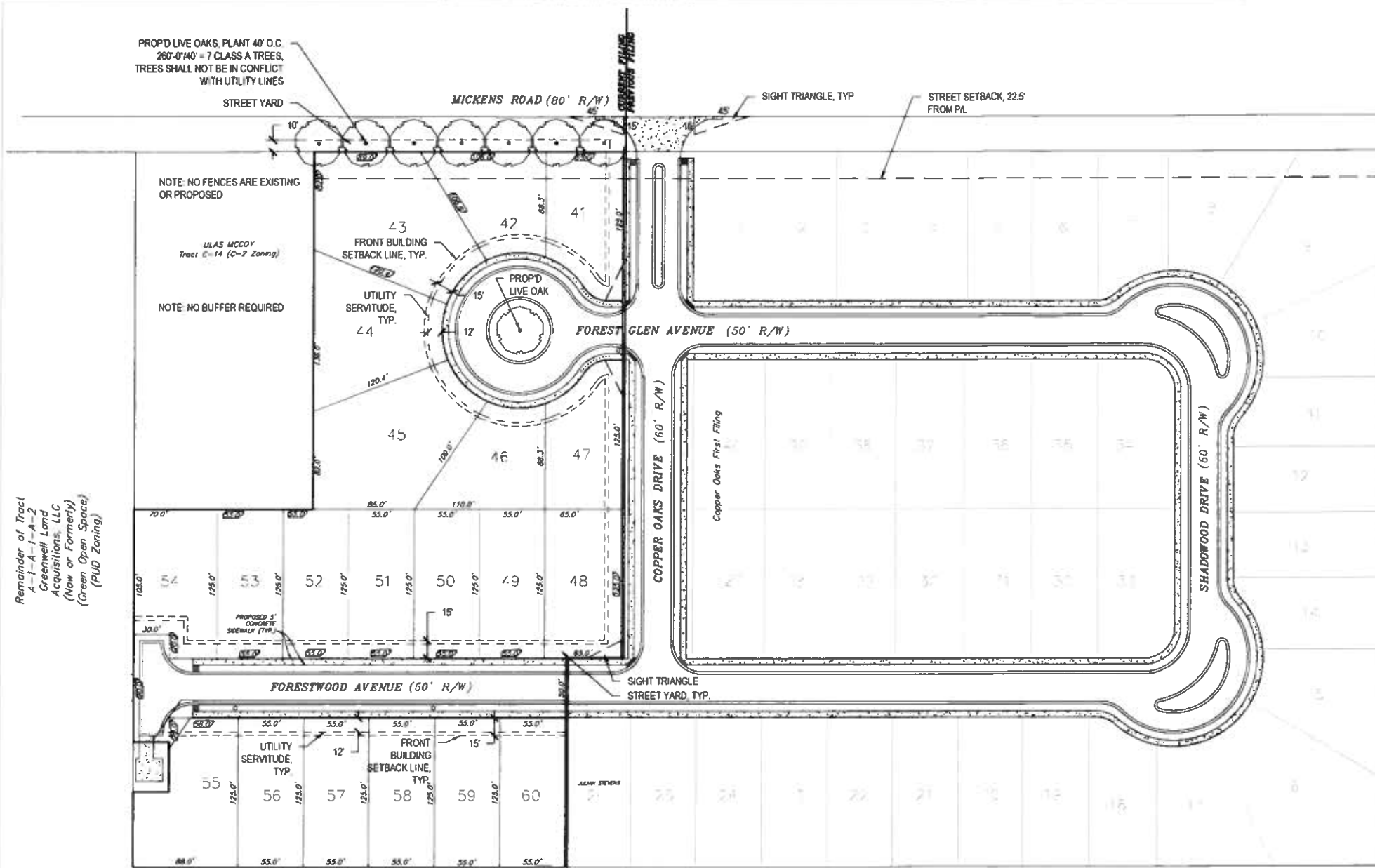
PRELIMINARY FOR REVIEW AND COMMENT ONLY

These drawings were prepared for conceptual consideration and should in no way be construed as detailed engineering drawings to be used for design and/or construction purposes.

SHEET 8 OF 13

F.S. NO.:	PG. NO.:
DESIGNED: HMK	CADFILE: 10-13FDP1
DETAILED: LMC	DATE: 03/22/2019
CHECKED: GWS	

GWS Engineering, Inc.
 Engineering Consultants - Land Surveyors
 7520 Perkins Rd. • Suite 200 • Baton Rouge, LA 70808
 Phone (225) 769-1788 ©WSEngineering.com



01 LANDSCAPE ORDINANCE PLAN
SCALE: 1"=50'-0"

02 ORDINANCE REQUIREMENTS
SCALE: N.T.S.

PROPERTY DETAILS
8600-8700 UND MICKENS RD
PLANNING DISTRICT: 5 LOT & BLOCK MAP NO. 15
ZONING: PUD (PLANNED UNIT DEVELOPMENT)
CHARACTER AREA: SUBURBAN
DEVELOPMENT PLAN AREA: 4.39 ACRES

BATON ROUGE UNIFIED CODE REQUIREMENTS
SUBURBAN CHARACTER AREA STREET YARD PER UDC 18.3.4.C (APPLICABLE TO MICKENS RD.):
(1) A LANDSCAPE STRIP IS REQUIRED ALONG THE ENTIRE STREET FRONTAGE AND BETWEEN THE STREET AND THE SIDEWALK, EXCLUSIVE OF DRIVEWAYS AND ACCESS WAYS AT POINTS OF INGRESS AND EGRESS TO THE LOT.
(2) THE LANDSCAPE STRIP SHALL HAVE A MINIMUM WIDTH OF 10 FEET OR 10 PERCENT OF THE LOT DEPTH, WHICHEVER IS LESS.
(3) TREE SPACING:
A. THE NUMBER OF TREES REQUIRED IS ONE CLASS A TREE PER 40 LINEAR FEET
B. WHERE OVERHEAD UTILITIES EXIST, CLASS B OR CLASS C TREES SHALL REPLACE CLASS A TREES AT THE RATE OF ONE CLASS B OR CLASS C TREE FOR EVERY 40 FEET.

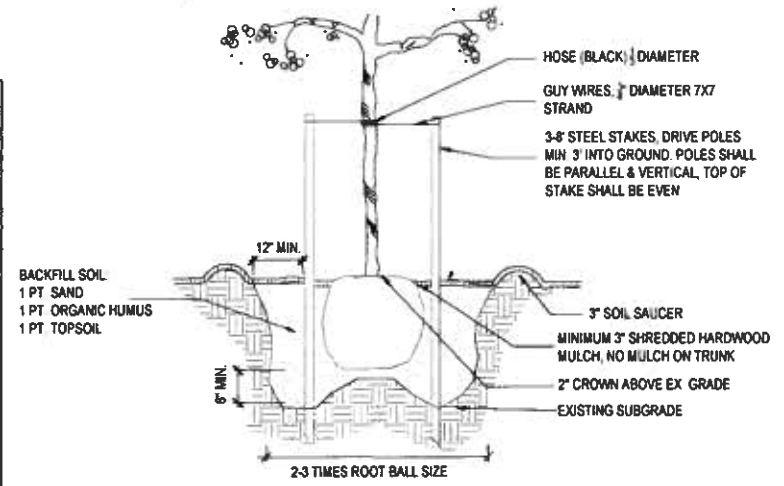
MAJOR SUBDIVISION REQUIREMENTS PER UDC 4.6.A.16.b (APPLICABLE TO NEW SUBDIVIDED LOTS):
LOTS WITH MORE THAN FORTY (40) FEET OF STREET FRONTAGE MEASURED AT THE BUILDING SETBACK LINE WITHIN MAJOR SUBDIVISIONS MUST HAVE:
(1) AT LEAST ONE (1) CLASS A TREE OR TWO (2) CLASS B TREES (SEE SECTION 18.15 FOR DEFINITIONS OF THESE TYPES OF TREES) MUST BE PLANTED ON THE LOT BETWEEN THE FRONT LOT LINE AND THE FRONT BUILDING SETBACK LINE.
(2) SUCH TREE OR TREES SHALL HAVE AT LEAST A TWO (2) INCH CALIPER MEASURED SIX (6) INCHES FROM THE GROUND.
(3) THE REQUIRED TREE OR TREES SHALL BE PLANTED NO LATER THAN SIX (6) MONTHS AFTER THE OCCUPANCY OF A HOUSE ON THE LOT.
(4) TREE PLANTING IS PROHIBITED WITHIN THE SIGHT TRIANGLES OF APPENDIX A.
(5) EXISTING TREES AT THE REQUESTED LOCATION THAT ARE NOT REMOVED IN CONNECTION WITH THE CONSTRUCTION, MAY SATISFY THIS REQUIREMENT.

03 PLANT SCHEDULE
SCALE: N.T.S.

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	QV	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	15 GAL	8
		CLASS 'A' TREE		
		* 7 TREES REQUIRED TO MEET MICKENS RD. STREET YARD REQUIREMENTS		
27 TOTAL CLASS A TREES REQUIRED				
MICKENS RD (280'-0" FRONTAGE): 7 CLASS A TREES, 40' O.C., TREES SHALL NOT BE IN CONFLICT WITH UTILITY LINES.				
FOREST GLEN AVENUE: 7 CLASS A TREES, ONE PLANTED PER LOT BETWEEN THE FRONT LOT LINE AND THE FRONT BUILDING SETBACK LINE (LOTS 41-47). TREES SHALL NOT BE PLANTED WITHIN 12' UTILITY SERVITUDE AT FRONT LOT LINE				
FORESTWOOD AVENUE: 13 CLASS A TREES, ONE PLANTED PER LOT BETWEEN THE FRONT LOT LINE AND THE FRONT BUILDING SETBACK LINE (LOTS 48-60). TREES SHALL NOT BE PLANTED WITHIN 12' UTILITY SERVITUDE AT FRONT LOT LINE				
NOTES: - LOTS 41 - 60 MUST PLANT REQUIRED TREES WITHIN SIX MONTHS OF OCCUPANCY OF THE HOUSE PER UDC 4.6.A.16.b. - STREET TREES SHALL NOT BE PLANTED IN SIGHT TRIANGLES				

04 LANDSCAPE STANDARDS:
SCALE: N.T.S.

- ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE RULES OF GOOD ARBORICULTURAL PRACTICE AS SET FORTH BY THE ANSI A300 AND IN THE LOUISIANA NURSERYMANS MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY, LATEST EDITION, AS PUBLISHED BY THE LOUISIANA NURSERY AND LANDSCAPE ASSOCIATION, AND CURRENTLY IN EFFECT AT THE TIME OF SUCH WORK.
- PLANT MATERIAL SHALL BE TRUE TO NAME, VARIETY AND SIZE AND SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- PLANT MATERIALS SHALL BE COLD HARDY FOR THE SPECIFIC LOCATION WHERE THEY ARE TO BE PLANTED.
- PLANT MATERIALS SHALL BE ABLE TO SURVIVE ON NATURAL RAINFALL ONCE ESTABLISHED WITH NO LOSS OF HEALTH.
- ALL PLANT HEIGHTS SHALL BE MEASURED FROM THE TOP OF THE ROOT BALL TO THE TIP OF THE HIGHEST BRANCH.
- CLASS 'A' TREES AND STREET YARD TREES:
 - ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM TWO INCH CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING
 - MULTI TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE AND ONE-HALF INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF TEN FEET TALL AT TIME OF PLANTING.
- CLASS 'B' TREES:
 - ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM ONE AND ONE-HALF INCH CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.
 - MULTI TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.
- CLASS 'C' TREES:
 - ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM ONE AND ONE-HALF INCH CALIPER AND MEASURE A MINIMUM OF FIVE FEET TALL AT TIME OF PLANTING
 - MULTI TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF FIVE FEET TALL AT TIME OF PLANTING.
- SHRUBS:
 - SHRUBS SHALL BE A MINIMUM OF 20 INCHES IN HEIGHT IN A MINIMUM THREE GALLON CONTAINER, UNLESS THEY ARE PLANTED AS A SCREEN FOR AN L3 BUFFER.
 - WHEN PLANTED AS A SCREEN FOR AN L2 BUFFER OR A PARKING LOT, THE MAXIMUM SPACING FOR 20 INCH HIGH SHRUBS SHALL BE 36 INCHES ON CENTER.
 - SHRUBS PLANTED AS AN L3 BUFFER SHALL BE A MINIMUM OF FOUR FEET IN HEIGHT.
 - WHEN PLANTED AS AN L3 BUFFER, THE MAXIMUM SPACING FOR FOUR-FOOT HIGH SHRUBS SHALL BE 36 INCHES ON CENTER.
 - SPACING FOR OTHER REQUIRED PLANT MATERIAL SHALL BE DETERMINED BY THE DEVELOPMENT DIRECTOR.
- GROUND COVER SHALL BE OF A TYPE THAT WILL PROVIDE 80 PERCENT COVERAGE WITHIN FIVE YEARS OF PLANTING.



05 TREE PLANTING & STAKING DETAIL
SCALE: N.T.S.

REICH
LANDSCAPE ARCHITECTURE
3011 E. Jettison Blvd., Baton Rouge, LA 70802
225.333.3100 | www.reichla.com

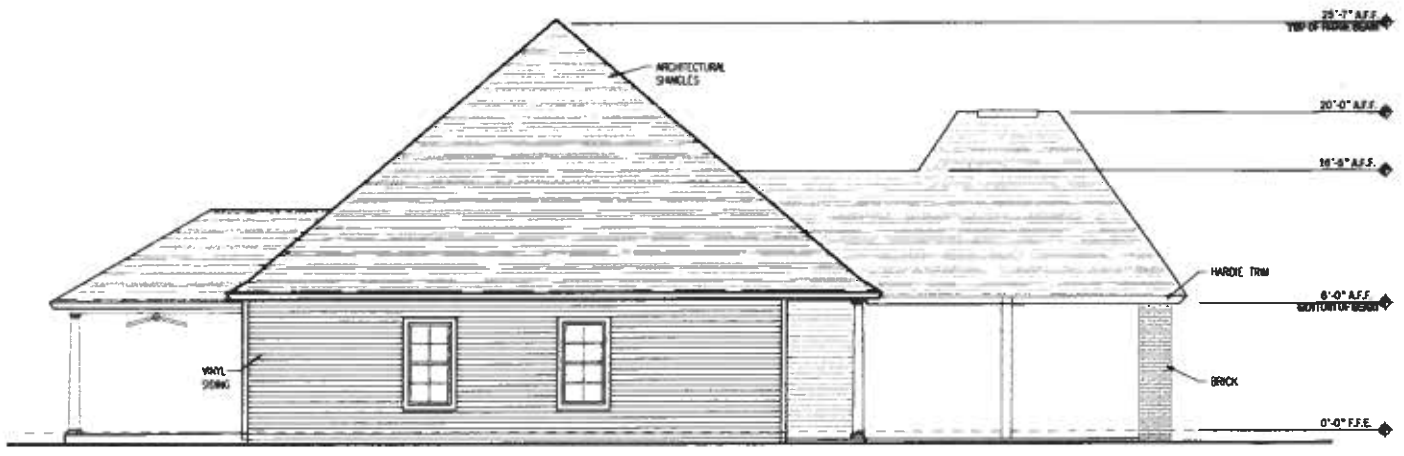
COPPER OAKS SUBDIVISION
SECOND FILING
MICKENS ROAD
BATON ROUGE, LA 70811

REVISION	DATE



MARCH 26, 2019
ISSUE
FOR PERMIT
SHEET TITLE
LANDSCAPE ORDINANCE PLAN
SHEET NO
L1

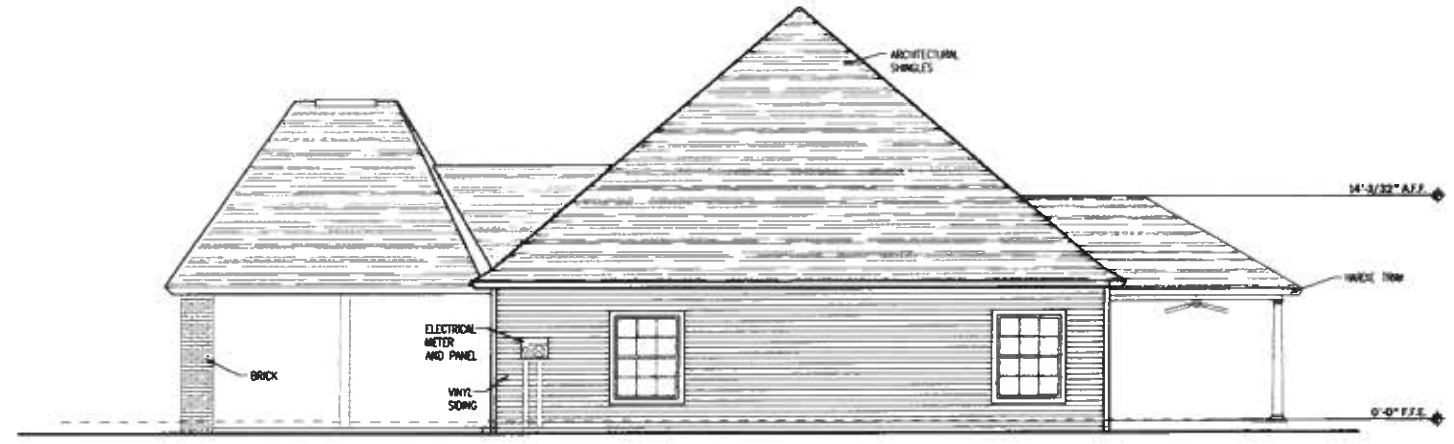
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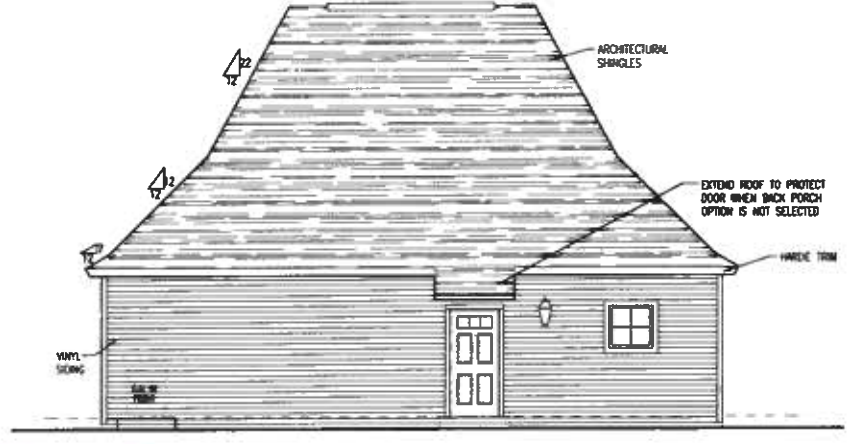
2 LEFT ELEVATION
3/16" = 1'-0"



1 FRONT ELEVATION
3/16" = 1'-0"

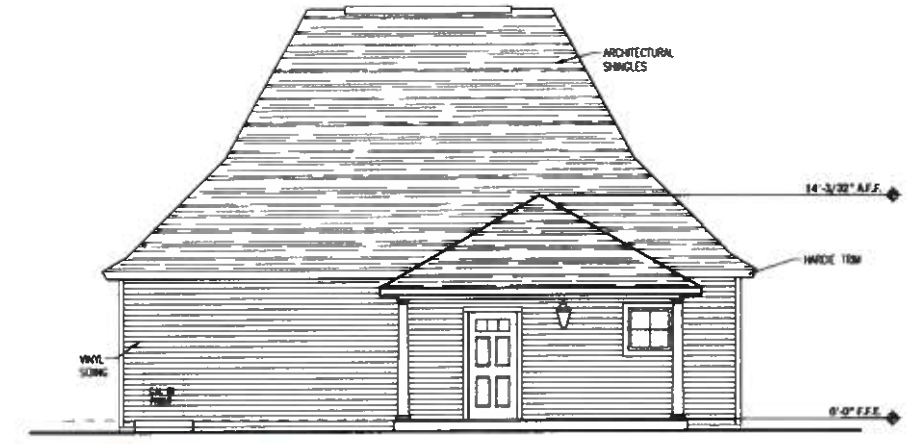


4 RIGHT ELEVATION
3/16" = 1'-0"



3 REAR ELEVATION
3/16" = 1'-0"

ARCHITECTURAL THEME
THESE HOMES WERE DESIGNED TO EXPRESS A FRENCH COUNTRY LOOK, WHILE SCALED IN SUCH A WAY TO RESPOND TO THE SITE AND SURROUNDINGS. MATERIALITY IS BRICK AND SIDING, COUPLED WITH INSULATED GLAZING AND ARCHITECTURAL SHINGLES.



5 REAR ELEVATION WITH OPTIONAL PORCH
3/16" = 1'-0"

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS

DATE: MARCH 22, 2019
REVISIONS:

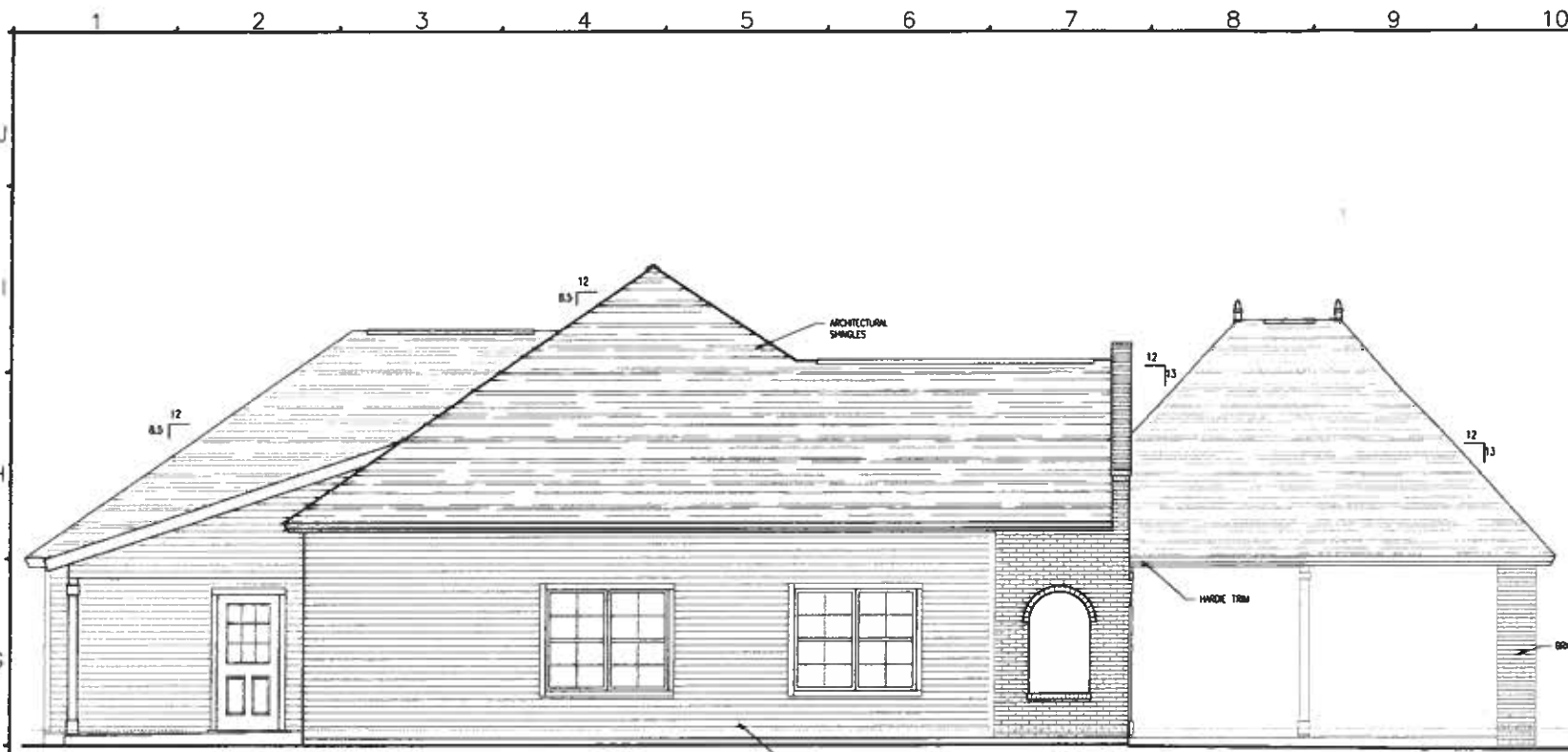
DIDIER ARCHITECTURE
Didier Didier, Architect & Associates, LLC
1231 Old Jefferson Hwy, Suite 6, Duderotte, Louisiana 70719 www.didierarchitecture.com

COPPER OAKS SUBDIVISION PHASE II
COPPER OAKS PARTNERS, LLC
3 BEDROOM 2 BATH UNIT
BATON ROUGE, LOUISIANA

JOB NUMBER: 19-000
SET NUMBER:
SHEET: **A101**

J
T
G
F
E
D
C
B
A

1 2 3 4 5 6 7 8 9 10 11 12 13 14 16 17



2 LEFT ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

ARCHITECTURAL THEME
THESE HOMES WERE DESIGNED TO EXPRESS A FRENCH COUNTRY LOOK, WHILE SCALED IN SUCH A WAY TO RESPOND TO THE SITE AND SURROUNDINGS. MATERIALITY IS BRICK AND SIDING, COUPLED WITH INSULATED GLAZING AND ARCHITECTURAL SHINGLES.



4 RIGHT ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS.

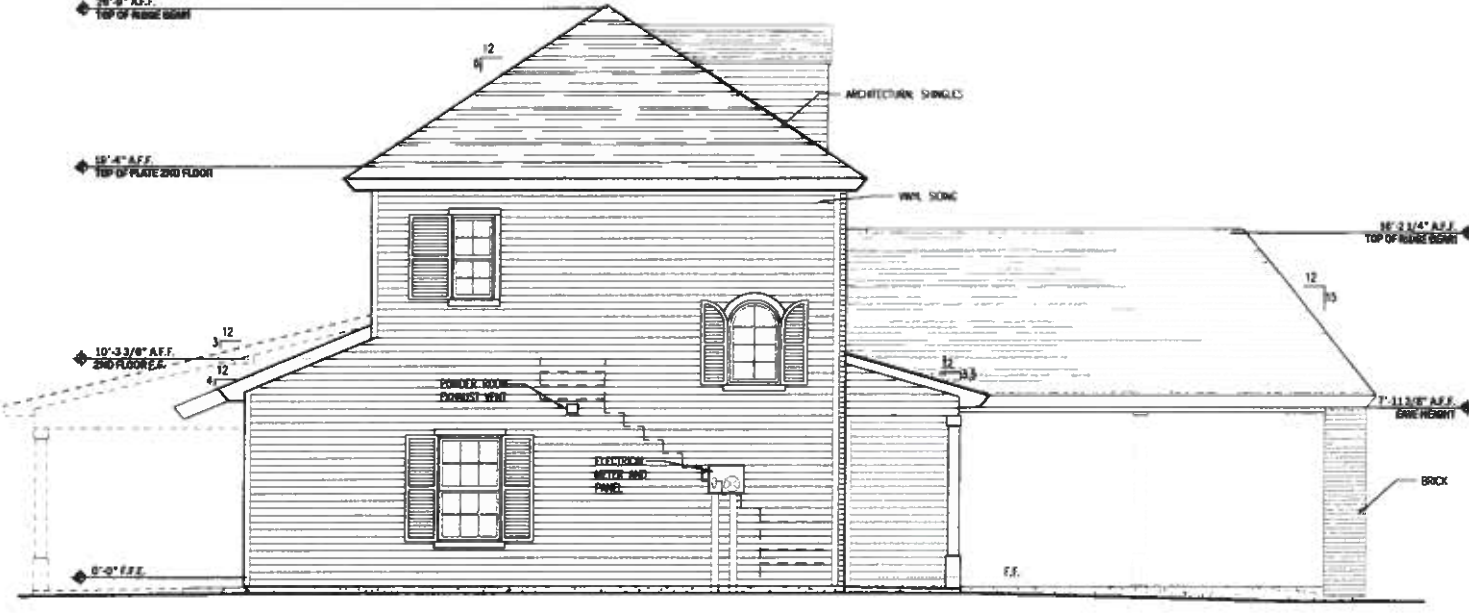
DATE	MARCH 22, 2019
REVISIONS	

DIDIER ARCHITECTURE
Didier Didier, Architect & Associates, LLC
1731 Old Jefferson Hwy, Suite C, Oakville, Louisiana 70759 www.didierarchitecture.com

COPPER OAKS SUBDIVISION PHASE II
COPPER OAKS PARTNERS, LLC
4 BEDROOM 2 BATH 1 STORY
BATON ROUGE, LOUISIANA

JOB NUMBER	19-000
SET NUMBER	
SHEET	A102

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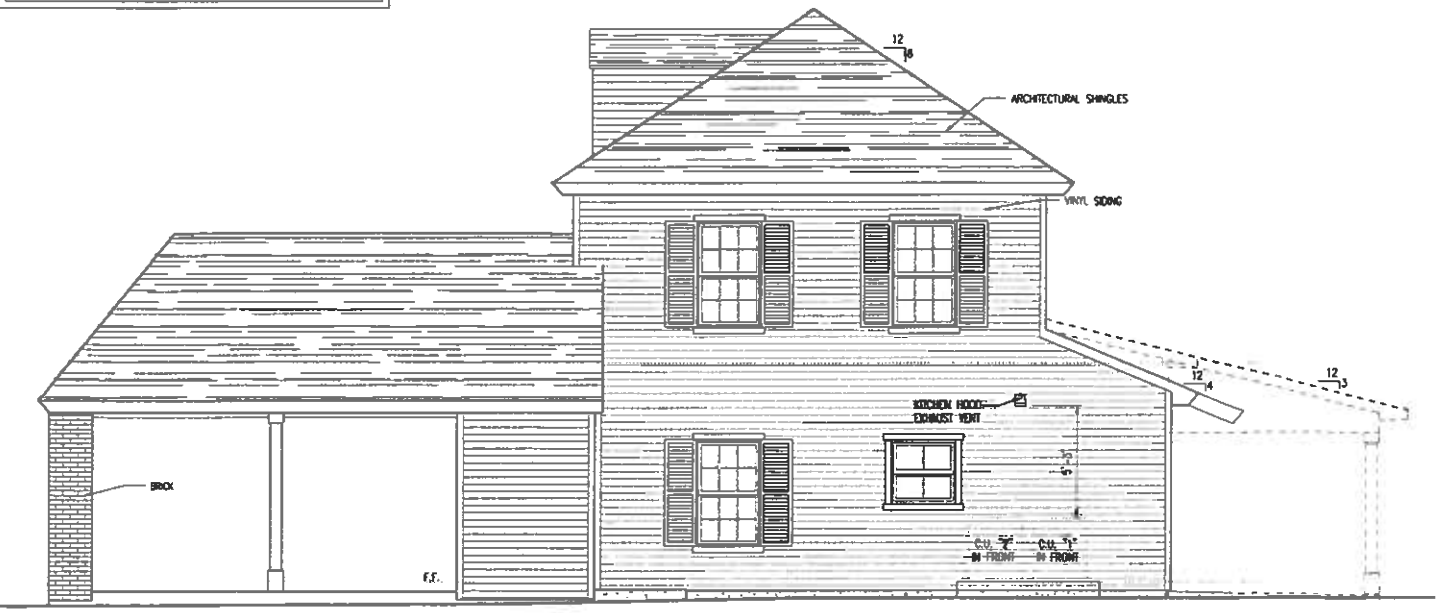


2 LEFT ELEVATION
1/4" = 1'-0"

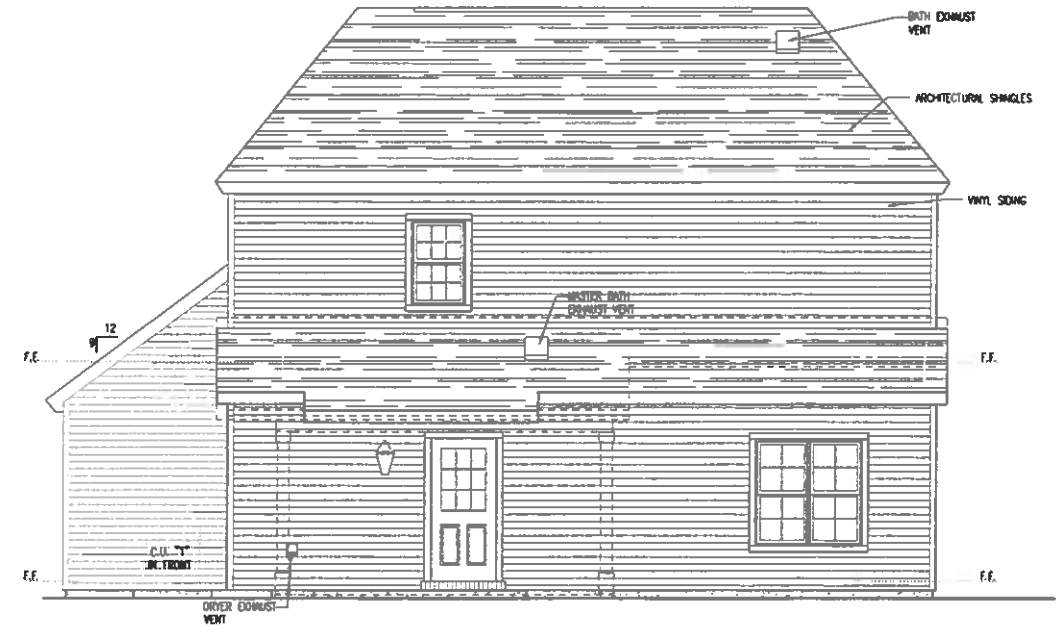


1 FRONT ELEVATION
1/4" = 1'-0"

ARCHITECTURAL THEME
THESE HOMES WERE DESIGNED TO EXPRESS A FRENCH COUNTRY LOOK, WHILE SCALED IN SUCH A WAY TO RESPOND TO THE SITE AND SURROUNDINGS. MATERIALITY IS BRICK AND SIDING, COUPLED WITH INSULATED GLAZING AND ARCHITECTURAL SHINGLES.



4 RIGHT ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13 14 16 17

DATE: MARCH 22, 2019
REVISIONS:

DIDIER ARCHITECTURE
Deryll Didier, Architect & Associates, LLC
1933 Old Jefferson Hwy, Suite C, Dumbelle, Louisiana 70719 www.didierarchitecture.com

COPPER OAKS SUBDIVISION PHASE II
COPPER OAKS PARTNERS, LLC
4 BEDROOM 2.5 BATH UNIT 2 STORY
BATON ROUGE, LOUISIANA

JOB NUMBER: 19-000
SHEET NUMBER:

SHEET
A103

THE CONTRACTOR SHALL VERIFY ALL SCALES AND DIMENSIONS



PRELIMINARY
FOR REVIEW AND COMMENT ONLY
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LEGEND

- EXISTING GRATE INLET
- EXISTING CURB INLET
- EXISTING JUNCTION BOX
- PROPOSED YARD DRAIN
- PROPOSED GRATE INLET
- EXISTING SIDE DRAIN
- EXISTING WATER VALVE
- EXISTING SEWER MANHOLE
- EXISTING DRAINAGE PIPE
- EXISTING DITCH
- PROPOSED DRAINAGE PIPE
- EXISTING 8" WATER LINE
- PROPOSED 8" WATER LINE
- EXISTING SEWER LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED LIGHT STANDARD
- EXIST. OVERHEAD ELECTRIC LINE

LINE TABLE

LINE #	DISTANCE	DIRECTION
L1	30.00'	N66° 03' 00" W
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L5	11.57'	N66° 03' 00" W

NOTE:
 THE CITY OF BATON ROUGE AND PARISH OF EAST BATON ROUGE IS NOT RESPONSIBLE FOR THE MAINTENANCE AND/OR UPKEEP OF PRIVATE STREETS. THE MAINTENANCE AND UPKEEP OF ALL PRIVATE STREETS ARE THE RESPONSIBILITY OF THE RESIDENTS/OWNERS OF THE OAK HILLS ESTATES SUBDIVISION

CURVE TABLE

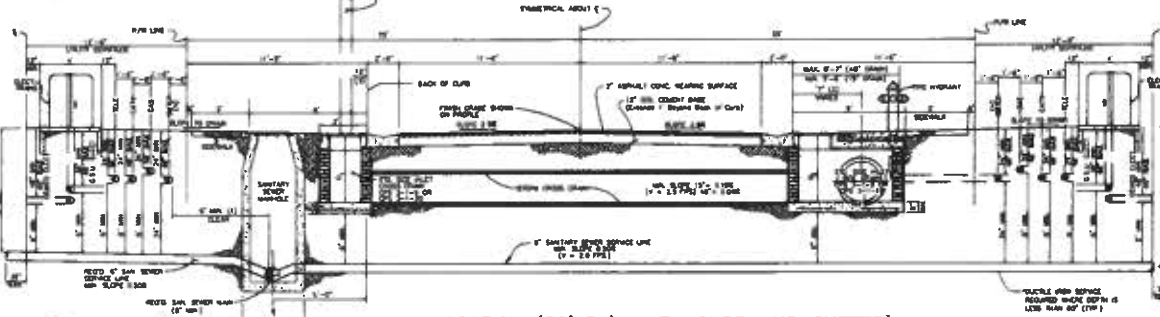
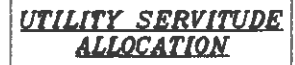
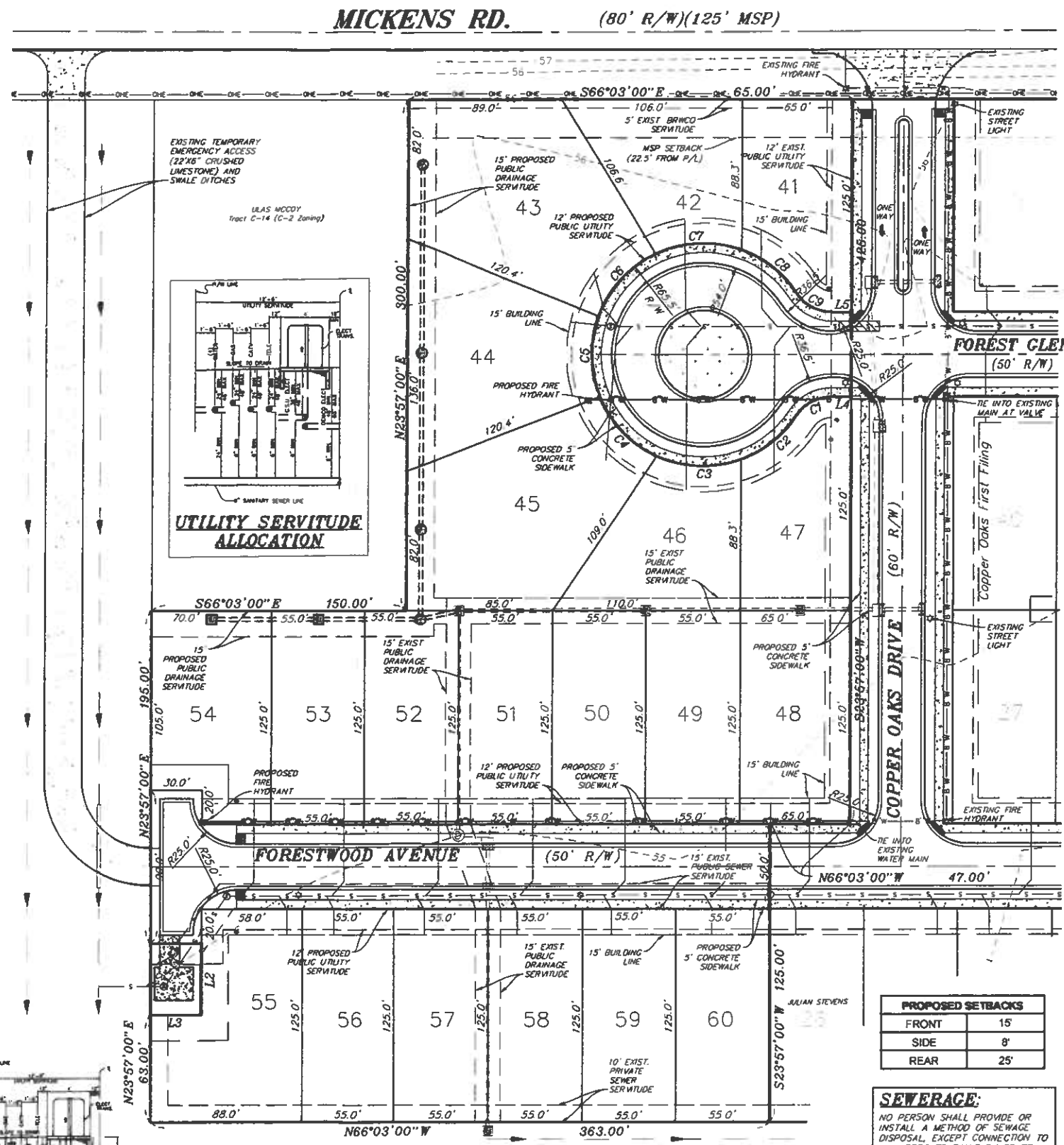
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C4	49.60'	65.50'	48.42'	26.05'	S20°03'13"E	43°22'59"
C5	48.25'	65.50'	47.17'	25.28'	S22°44'32"W	42°12'29"
C6	51.02'	65.50'	49.74'	26.88'	S66°09'40"W	44°37'47"
C7	51.56'	65.50'	50.24'	27.20'	N68°58'27"W	45°06'00"
C8	42.11'	65.50'	41.39'	21.81'	N28°00'21"W	36°50'11"
C9	24.64'	25.00'	23.85'	13.42'	S37°49'08"E	56°27'44"

NOTE:
 ACCORDING TO THE FEDERAL EMERGENCY FLOOD INSURANCE RATE MAP NO. 22033 C 0330 E, DATED MAY 2, 2008 THIS PROPERTY IS LOCATED IN FLOOD ZONE X
 BASE FLOOD ELEVATIONS ARE SUBJECT TO CHANGE AND THE CURRENT BASE FLOOD ELEVATION SHOULD BE VERIFIED WITH THE EAST BATON ROUGE PARISH FLOOD PLAIN ADMINISTRATOR.

NOTE:
 THE CITY OF BATON ROUGE AND PARISH OF EAST BATON ROUGE DOES NOT ENFORCE PRIVATE DEED AND/OR SUBDIVISION RESTRICTIONS. HOWEVER, THE APPROVAL OF THIS PLAT DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR/BUILDER FROM COMPLYING WITH ANY SUCH RESTRICTIONS THAT MAY BE ATTACHED TO THE PROPERTY ON THIS PLAT

NOTE:
 THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND CITY-PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY IN PARTICULAR. NO FILING OF THE PROPERTY SHALL BE COMMENCED UNTIL ALL APPLICABLE PROVISIONS OF CHAPTER 15 OF THE UNIFIED DEVELOPMENT CODE ARE ADDRESSED

GENERAL INFORMATION:
 CPPC LOT ID: 530150337
 EXISTING ZONING: PUD
 COMPREHENSIVE PLAN LAND USE CATEGORY: CN
 EXISTING ZONING OF ADJACENT PARCELS: C2, PUD
 TOTAL ACREAGE: 4.39± ACRES
 UTILITIES:
 SANITARY SEWER: WSTN
 WATER: BATON ROUGE WATER COMPANY
 ELECTRIC: ENERGY OF LOUISIANA
 GAS: ENERGY OF LOUISIANA
 CABLE: COX COMMUNICATIONS
 CHARACTER AREA: SUBURBAN
 FLOOD ZONE: X
 BASE FLOOD ELEVATION: 51'
 INUNDATION ELEVATION: 52.5'
 NO. OF LOTS: 20
 DENSITY: 4.6 LOTS/ACRE
 SCHOOLS:
 ELEMENTARY: GLEN OAKS PARK
 MIDDLE: NORTH BANKS MIDDLE
 HIGH: GLEN OAKS HIGH
 STREETS: RESIDENTIAL LOCAL (WDE)
 FIRE DISTRICT: FIRE DISTRICT SIX
 MAIL: INDIVIDUAL MAILBOXES



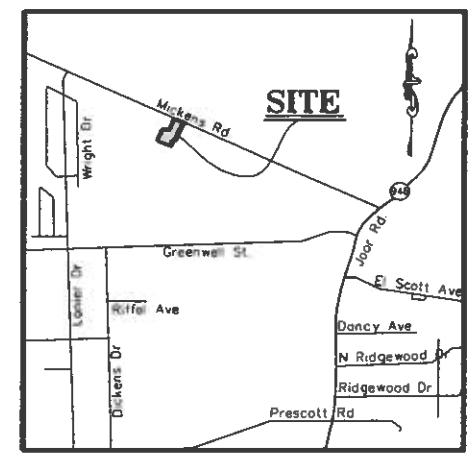
- FOOTNOTES:**
- (1) MINIMUM CLEARANCE PER SEC. 12 015 OF THE STATE BOARD OF HEALTH SANITARY CODE
 - (2) SEE CPS 3-1-5 FOR REQUIRED "T" STORM DRAIN PIPE LOCATION
 - (3) SEE SECTION 2-111 (a) (1) OF THE CODE OF ORDINANCES
 - (4) IF 8" FIRE PIPE REQUIRED FOR FIRE PROTECTION (SEE SEC. 7-16 (3) OF CODE OF ORDINANCES)

DEDICATION:
 ALL AREAS SHOWN AS SERVITUDES OTHER THAN PRIVATE SERVITUDES ARE GRANTED TO THE PUBLIC FOR USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL OR OTHER PROPER PURPOSE FOR THE GENERAL USE OF THE PUBLIC. NO TREES, SHRUBS OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY SERVITUDE OR RIGHT-OF-WAY SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE OR RIGHT-OF-WAY IS GRANTED. THE CITY OF BATON ROUGE/EAST BATON ROUGE PARISH IS NOT RESPONSIBLE FOR THE MAINTENANCE AND OR UPKEEP OF PRIVATE STREETS.

PROPOSED SETBACKS

FRONT	15'
SIDE	8'
REAR	25'

SEWERAGE:
 NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE HEALTH UNIT OF EAST BATON ROUGE PARISH.



STORMWATER MANAGEMENT:
 AS PART OF THE CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO COMPLY WITH STORMWATER MANAGEMENT AND DRAINAGE REQUIREMENTS SET FORTH IN SECTION 15.13 OF THE UNIFIED DEVELOPMENT CODE, LATEST EDITION.

WETLANDS DETERMINATION:
 A WETLANDS DETERMINATION WAS NOT REQUESTED AND IS NOT BEING PROVIDED AS PART OF THIS SURVEY

NOTE:
 NO ATTEMPT HAS BEEN MADE BY GWS ENGINEERING, INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIPS, SERVITUDES, EASEMENTS, RIGHTS-OF-WAY OR OTHER BURDENS ON THE PROPERTY, OTHER THAN THAT FURNISHED BY THE CLIENT OR HIS REPRESENTATIVE

NOTE:
 VARIOUS LOTS WITHIN THE SUBDIVISION WILL RECEIVE COMPACTED FILL DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY GWS ENGINEERING, INC. BEFORE THE PLACEMENT OF FILL. EACH BUILDER/OWNER SHALL INDEPENDENTLY INVESTIGATE EXISTING SOIL CONDITIONS PRIOR TO COMMENCING CONSTRUCTION TO ENSURE APPROPRIATE FOUNDATION/SLAB DESIGN. THE DEVELOPER AND ENGINEER DO NOT WARRANT SOIL CONDITIONS.

PRELIMINARY PLAT
 OF
COPPER OAKS SUBDIVISION
SECOND FILING
MICKENS ROAD PUD
PHASE III

BEING TRACT A OF COPPER OAKS SUBDIVISION FIRST FILING
 LOCATED IN SECTION 43, T-6-S, R-1-E GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA
 FOR
GREENWELL LAND ACQUISITION, LLC

DESIGN INFORMATION

F.S. NO.:	PQ. NO.:
DESIGNED: HMK	CADFILE: 18-13PDP1
DETAILED: LMC	DATE: 03/22/2018
CHECKED: GWS	

GWS Engineering, Inc.
 Engineering Consultants - Land Surveyors
 7520 Perkins Rd • Suite 290 • Baton Rouge, LA 70808
 Phone: (225) 769-1768 GWSEngineering.com