

SHEET INDEX

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| 4 | FINAL DEVELOPMENT PLAN |
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FINAL DEVELOPMENT PLAN & PRELIMINARY PLAT
FOR

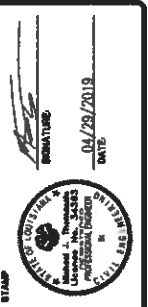
HOLLYWOOD HEIGHTS
PLANNED UNIT DEVELOPMENT (PUD-1-19)

CITY OF BATON ROUGE
EAST BATON ROUGE PARISH, LOUISIANA 70805

PLANNING SUMMARY

EXISTING ZONING: PUD
EXISTING LAND USE: LDR, UND, INST
FUTURE LAND USE: RN & INSTITUTIONAL
CHARACTER AREA: SUBURBAN
ADJACENT ZONING: C2, A2
ACREAGE: 15.72 ACRES
PROPOSED NUMBER OF RESIDENTIAL LOTS: 45
PROPOSED DEVELOPMENT SHALL INCLUDE TWO-FAMILY RESIDENTIAL BUILDINGS (DUPLICATES). EACH BUILDING WILL BE ON ITS OWN LOT. THIS WILL PROVIDE 90 INDIVIDUAL DWELLING UNITS.
PROPOSED COMMON AREA LOTS: CA-1, AND NON-BUILDABLE TRACTS CA-2 & CA-3
LOW DENSITY: 5.72 UNITS/ACRE
BUILDING HEIGHT: 35'-2" (MAXIMUM)
MAX BUILDING STORES: 1
PROPOSED USE: LOW DENSITY RESIDENTIAL
TOTAL BUILDING SQUARE FOOTAGE PER LOT: +/- 1,700
RESIDENT ONLY CLUBHOUSE ON LOT CA-1:
37'x47' SINGLE STORY = 21'-10" IN HEIGHT
TOTAL GROSS SQUARE FOOTAGE: 1,390
TOTAL ASSEMBLY AREA SQUARE FOOTAGE: 200

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LOT NUMBERS:
A, B, 3A, 10 THRU 18
LOCATED IN SECTION 39 &
SECTION 52, T-6-S, R-1-E,
CITY OF BATON ROUGE PARISH,
LOUISIANA

HOLLYWOOD HEIGHTS FINAL DEVELOPMENT PLAN
PLANNED UNIT DEVELOPMENT (PUD-1-19)
BATON ROUGE, LOUISIANA 70805
EAST BATON ROUGE PARISH
HOLLYWOOD HEIGHTS, LLC
402 N. 4TH STREET
BATON ROUGE, LOUISIANA 70802

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| DESIGN | |
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| DATE | |
| ISSUED FOR | |
| PROJECT NO. | |
| FILE | |
| 18-002 Cover Sheet (PDP) | |
| SHEET | 1 |

LOT NUMBERS:
A, B, 10, 11, 12, 13, 14, 15, 16, 17, 18, 3-A
LOCATED IN SECTION 39 & SECTION 52, T-6-S, R-1-E,
GREENSBURG LAND DISTRICT,
CITY OF BATON ROUGE
EAST BATON ROUGE PARISH, LOUISIANA

CPPC ID NUMBERS:
510130181, 510130182, 510130183,
510130184, 510130185, 510130186,
510130187, 510130188, 510130189,
510130192, 510131345, 510131346

OWNER/ DEVELOPER:

HOLLYWOOD HEIGHTS, LLC
402 NORTH 4TH STREET
BATON ROUGE, LOUISIANA 70802
CONTACT: ANDY HURSEY, PLA, MBA
TELEPHONE: (225) 338-6120
EMAIL: ANDY@LEVELBR.COM

DESIGN PROFESSIONALS & CONSULTANTS LIST:

SURVEYOR
LANDSOURCE, INC.
8730 EXCHEQUER DRIVE
BATON ROUGE, LA 70809
CONTACT: DAVID PATTERSON, P.L.S.
TELEPHONE: (225) 752-0895
EMAIL: PATTERSON@LANDSOURCE.COM

LANDSCAPE ARCHITECT
AT&T
402 NORTH 4TH STREET
BATON ROUGE, LOUISIANA 70802
CONTACT: ANDY HURSEY, PLA, MBA
TELEPHONE: (225) 338-6120
EMAIL: ANDY@LEVELBR.COM

CIVIL ENGINEER
DUPONTIS DESIGN GROUP, PC
8352 BLUEBONNET BOULEVARD
BATON ROUGE, LOUISIANA 70810
CONTACT: MICHAEL THOMASSIE, P.E.
TELEPHONE: (225) 751-4490
EMAIL: MTHOMASSIE@DDGPC.COM

UTILITY CONTACT LIST:

SEWER
EBR PARISH DEPT. OF PUBLIC WORKS
1100 LAUREL ST.
BATON ROUGE, LOUISIANA 70802
CONTACT: ADAM SMITH
TELEPHONE: (225) 389-5823

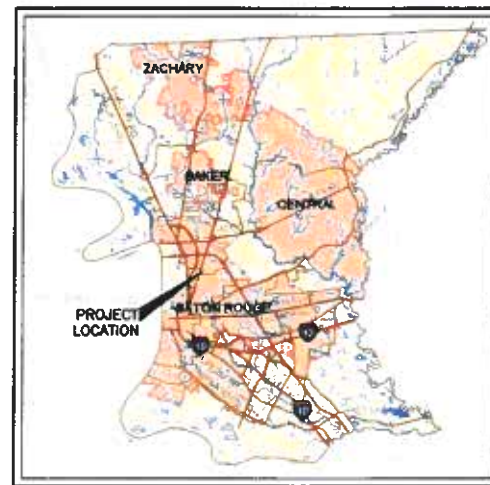
TELEPHONE
AT&T
5550 S. SHERWOOD FOREST BLVD. ROOM 251
BATON ROUGE, LOUISIANA 70816
CONTACT: JOEL HANBERRY
TELEPHONE: (225) 296-4930

ELECTRIC
ENTERGY ELECTRIC
446 NORTH BLVD.
BATON ROUGE, LOUISIANA 70802
CONTACT: BETH TRAHAN
TELEPHONE: (225) 346-3928

TELEPHONE
COX COMMUNICATIONS
1906 ERASTE LANDRY RD.
LAFAYETTE, LOUISIANA 70506
CONTACT: SHAWN PERRY
TELEPHONE: (337) 456-4378

WATER
BATON ROUGE WATER COMPANY
8755 GOODWOOD BOULEVARD
BATON ROUGE, LOUISIANA 70896
CONTACT: MARGIE SWANSON
TELEPHONE: (225) 231-0304

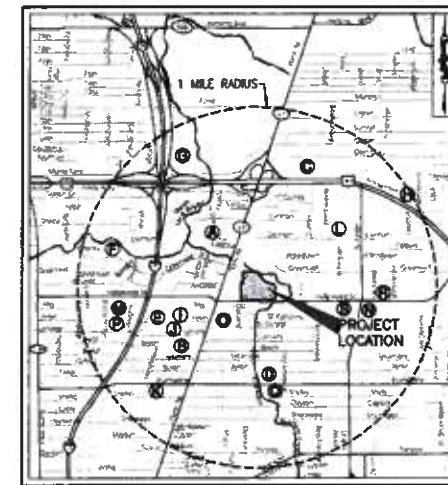
GAS
ENTERGY GAS
446 NORTH BLVD.
BATON ROUGE, LOUISIANA 70802
CONTACT: BETH TRAHAN
TELEPHONE: (225) 346-3928



PARISH MAP
N.T.S.



QUAD MAP
N.T.S.

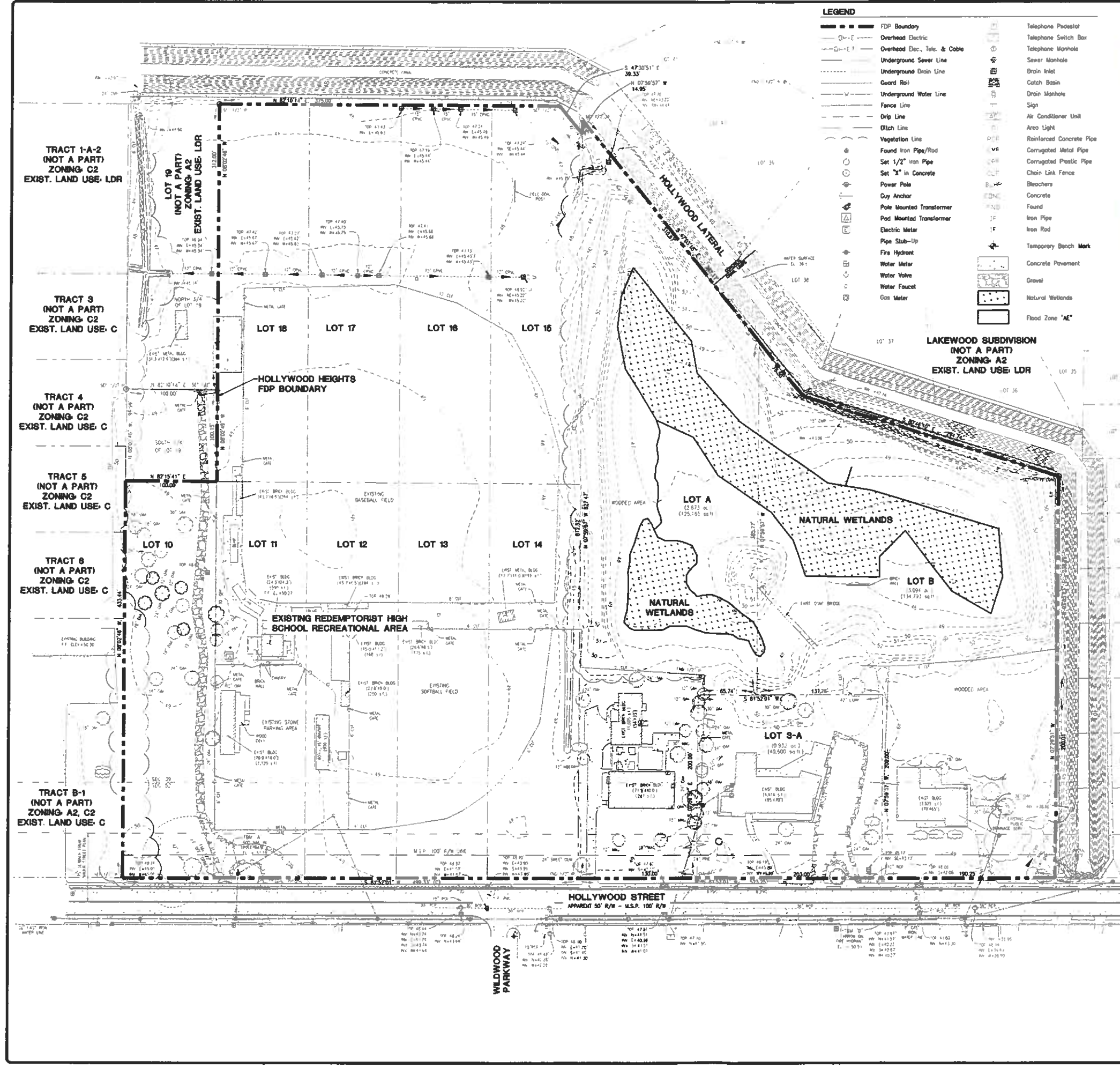


VICINITY MAP
SCALE 1" = 200'

- LEGEND**
- ① SHOPPERS VALUE FOODS, SIMPLY 10, RAINBOW, O'REILLY AUTO PARTS
 - ② DELMONT VILLAGE SHOPPING CENTER
 - ③ METRO ARE SHOPPING CENTER
 - ④ BREC EVANGELINE PARK
 - ⑤ BREC LONGYELLOW PARK
 - ⑥ BREC MORE SAND PARK
 - ⑦ BREC SCOTLANDVILLE PONY PARK
 - ⑧ LSU HEALTH BR URGENT CARE CENTER
 - ⑨ US POST OFFICE
 - ⑩ DELMONT GARDENS BRANCH LIBRARY
 - ⑪ BATON ROUGE FIRE STATION 3
 - ⑫ CLARBORNE ELEMENTARY SCHOOL
 - ⑬ DELMONT ELEMENTARY SCHOOL
 - ⑭ INSPIRE CHARTER ACADEMY
 - ⑮ ST. GERARD MAURELLA CATHOLIC CHURCH & SCHOOL
 - ⑯ DOUGLAS AVE. BAPTIST CHURCH
 - ⑰ HOPE COMMUNITY UNITED METHODIST CHURCH
 - ⑱ HOLLYWOOD ST. CHURCH OF CHRIST
 - ⑲ KINGDOM HALL OF JEHOUAH'S WITNESSES

RECEIVED APR 29 2019 (P.C SET)

18-002 Cover Sheet (PDP) 1/19



LEGEND

| | | | |
|-------|------------------------------|---|--------------------------|
| --- | FDP Boundary | ○ | Telephone Picolet |
| —○—○— | Overhead Electric | ○ | Telephone Switch Box |
| —●—●— | Overhead Elec. Tele. & Cable | ○ | Telephone Manhole |
| —○—○— | Underground Sewer Line | ○ | Sewer Manhole |
| --- | Underground Drain Line | ○ | Drain Inlet |
| --- | Guard Rail | ○ | Catch Basin |
| --- | Underground Water Line | ○ | Drain Manhole |
| --- | Fence Line | ○ | Sign |
| --- | Drip Line | ○ | Air Conditioner Unit |
| --- | Utility Line | ○ | Area Light |
| ○ | Found Iron Pipe/Rod | ○ | Reinforced Concrete Pipe |
| ○ | Set 1/2" Iron Pipe | ○ | Corrugated Metal Pipe |
| ○ | Set "X" in Concrete | ○ | Corrugated Plastic Pipe |
| ○ | Power Pole | ○ | Chain Link Fence |
| ○ | Cuy Anchor | ○ | Bleachers |
| ○ | Pole Mounted Transformer | ○ | Concrete |
| ○ | Pod Mounted Transformer | ○ | Found |
| ○ | Electric Meter | ○ | Iron Pipe |
| ○ | Pipe Stub-Up | ○ | Iron Rod |
| ○ | Fire Hydrant | ○ | Temporary Bench Mark |
| ○ | Water Meter | ○ | Concrete Pavement |
| ○ | Water Valve | ○ | Gravel |
| ○ | Water Faucet | ○ | Natural Wetlands |
| ○ | Gas Meter | ○ | Flood Zone "AE" |



AERIAL
SCALE 1" = 400'

PLANNING SUMMARY

EXISTING ZONING: PUD
 EXISTING LAND USE: HIGH SCHOOL, RECREATIONAL
 PROPOSED ZONING: A2
 PROPOSED LAND USE: RESIDENTIAL
 PROPOSED DEVELOPMENT: 18 LOTS (LOT 9 THROUGH LOT 18, LOT A, LOT B, LOT 8-A)
 PROPOSED COMMON AREA: 1.5 ACRES
 PROPOSED TOTAL AREA: 11.5 ACRES
 PROPOSED TOTAL SQUARE FOOTAGE: 1,100,000 SF
 PROPOSED TOTAL DEVELOPMENT COST: \$10,000,000
 PROPOSED TOTAL HOME VALUE: \$10,000,000
 PROPOSED TOTAL TAXES: \$10,000,000
 PROPOSED TOTAL HOUSING: 18 UNITS
 PROPOSED TOTAL HOUSING COST: \$10,000,000
 PROPOSED TOTAL HOUSING VALUE: \$10,000,000
 PROPOSED TOTAL HOUSING TAXES: \$10,000,000
 PROPOSED TOTAL HOUSING HOUSING: \$10,000,000

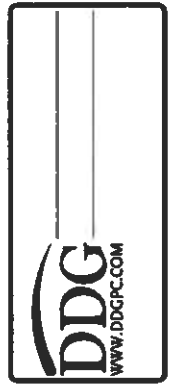
GENERAL NOTES:

- EXISTING SITE IS COMPOSED OF EXISTING RECREATION FIELDS & FACILITIES, 3 HOME SITES, AND A WOODED AREA WITH NATURAL WETLANDS.
- EXISTING VEGETATION COVER: TREES, GRASSES.
- EXISTING TREE CHARACTERISTICS: HARDWOOD FOREST.
- EXISTING SITE TYPES: GRASSY (LOT 9) AND OPENING (LOT 10)
- EXISTING PUBLIC FACILITIES:
 - SCHOOLS: EXISTING REDEMPTRIST HIGH SCHOOL
 - RECREATION: EXISTING RECREATION FIELDS & FACILITIES
 - PARKS: BELMONT CHAMPAGNE STREET PARK, LEASE FELLOW PARK, HOLLYWOOD STREET PARK
 - FIRE STATION: NORTH BAYOU FIRE STATION #1
 - HOSPITALS: EAST BAYOU HOSPITAL #1
 - LIBRARY: BELMONT CHAMPAGNE BRANCH LIBRARY

FLOOD ELEVATION DATA:

- FLOOD ELEVATION IS ACCORDANCE WITH FLOOD INSURANCE RATE MAP PANEL NUMBER 22012C0110 FOR EAST BAYOU ROUGE PARISH, LOUISIANA, LAST REVISION 08/2006. THE PROPERTY HEREIN IS LOCATED IN FLOOD ZONE "AE" UNLESS FLOOD ELEVATIONS ARE SHOWN TO CONTRARY AND SHOULD BE REVIEWED WITH ENGINEERING JUDGMENT OF THE RESPONSIBILITY OF PUBLIC ENGINEER AND THE LOCAL FLOOD PLAIN COMMISSION.
- BASE FLOOD ELEVATION: 54.4' PROVIDED BY OPUS
- SECOND FLOOD ELEVATION: 54.4' PROVIDED BY OPUS

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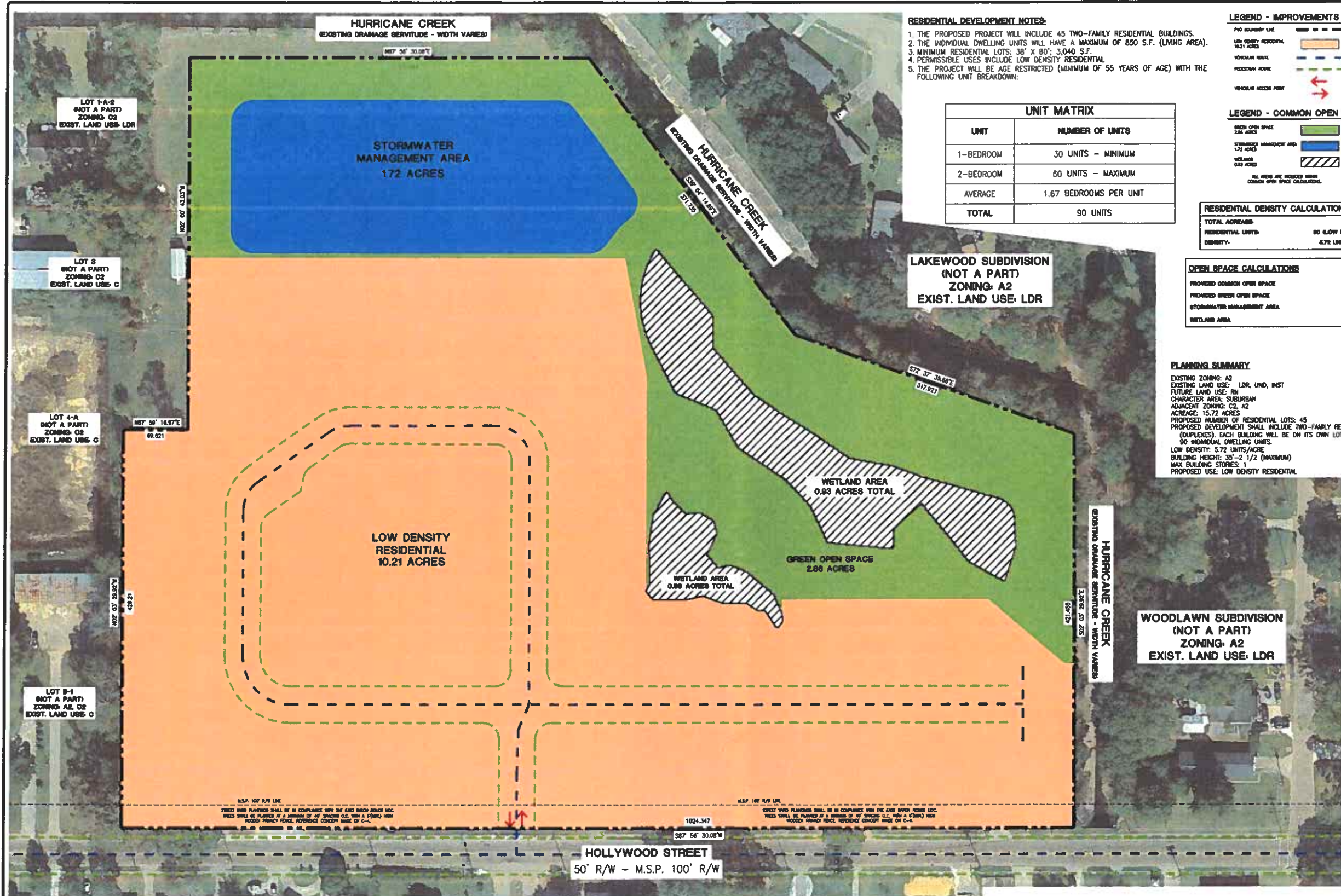
LOT NUMBERS:
 A, B, 3A, 10 THRU 18
 LOCATED IN SECTION 39 &
 SECTION 52, T-6-S, R-1-E,
 CITY OF BATON ROUGE PARISH,
 EAST BATON ROUGE PARISH,
 LOUISIANA

HOLLYWOOD HEIGHTS FINAL DEVELOPMENT PLAN
 PLANNED UNIT DEVELOPMENT (PUD-FP)
 BATON ROUGE, LOUISIANA 70805
 EAST BATON ROUGE PARISH
 HOLLYWOOD HEIGHTS, LLC
 402 N. 4TH STREET
 BATON ROUGE, LOUISIANA 70802

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| DESIGNED | OPUS |
| CHECKED | OPUS |
| ISSUED DATE | 4/28/2010 |
| ISSUED FOR | FDP |
| PROJECT NO. | 10-002 |
| FILE | 10-002 Existing Conditions Map |
| SHEET | 2 |

Not For Construction
**EXISTING
 CONDITIONS MAP**

SCALE IN FEET



RESIDENTIAL DEVELOPMENT NOTES:

1. THE PROPOSED PROJECT WILL INCLUDE 45 TWO-FAMILY RESIDENTIAL BUILDINGS.
2. THE INDIVIDUAL DWELLING UNITS WILL HAVE A MAXIMUM OF 850 S.F. (LIVING AREA).
3. MINIMUM RESIDENTIAL LOTS: 38' X 80'; 3,040 S.F.
4. PERMISSIBLE USES INCLUDE LOW DENSITY RESIDENTIAL.
5. THE PROJECT WILL BE AGE RESTRICTED (MINIMUM OF 55 YEARS OF AGE) WITH THE FOLLOWING UNIT BREAKDOWN:

| UNIT MATRIX | |
|--------------|------------------------|
| UNIT | NUMBER OF UNITS |
| 1-BEDROOM | 30 UNITS - MINIMUM |
| 2-BEDROOM | 60 UNITS - MAXIMUM |
| AVERAGE | 1.67 BEDROOMS PER UNIT |
| TOTAL | 90 UNITS |

LEGEND - IMPROVEMENTS

- PRO BOUNDARY LINE
- LOT BOUNDARY
- VEHICULAR ROUTE
- PEDESTRIAN ROUTE
- VEHICULAR ACCESS POINT

LEGEND - COMMON OPEN SPACE

- GREEN OPEN SPACE
- STORMWATER MANAGEMENT AREA
- WETLANDS

ALL AREAS ARE INCLUDED WHEN COMMON OPEN SPACE CALCULATED.

RESIDENTIAL DENSITY CALCULATIONS

| | |
|--------------------|-----------------------|
| TOTAL ACRES: | 15.72 ACRES |
| RESIDENTIAL UNITS: | 90 (LOW DENSITY FEES) |
| DENSITY: | 5.72 UNITS PER ACRE |

OPEN SPACE CALCULATIONS

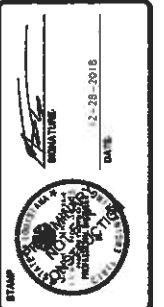
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| PROVIDED COMMON OPEN SPACE | 6.81 ACRES |
| PROVIDED GREEN OPEN SPACE | 2.89 ACRES |
| STORMWATER MANAGEMENT AREA | 1.73 ACRES |
| WETLAND AREA | 0.89 ACRES |

PLANNING SUMMARY

EXISTING ZONING: A2
 EXISTING LAND USE: LDR, UNO, INST
 FUTURE LAND USE: RH
 CHARACTER AREA: SUBURBAN
 ADJACENT ZONING: C2, A2
 ACREAGE: 15.72 ACRES
 PROPOSED NUMBER OF RESIDENTIAL LOTS: 45
 PROPOSED DEVELOPMENT SHALL INCLUDE TWO-FAMILY RESIDENTIAL BUILDINGS (DUPLICES). EACH BUILDING WILL BE ON ITS OWN LOT. THIS WILL PROVIDE 90 INDIVIDUAL DWELLING UNITS.
 LOW DENSITY: 5.72 UNITS/ACRE
 BUILDING HEIGHT: 35'-2 1/2' (MAXIMUM)
 MAX BUILDING STORES: 1
 PROPOSED USE: LOW DENSITY RESIDENTIAL

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DDG
 DUPLANTS DESIGN GROUP, PC
 6825 Buckhorn Blvd., Suite 200, Baton Rouge, LA 70810
 Phone: 225-791-4400 Fax: 225-791-4402
 WWW.DDGPC.COM



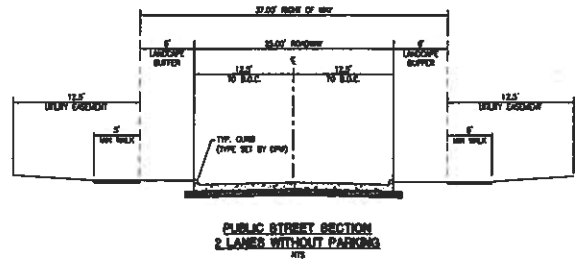
LOT NUMBERS:
 A, B, 10, 11, 12, 13, 14,
 15, 16, 17, 18, 3-A
 LOCATED IN SECTION 39 &
 SECTION 42, TOWNSHIP 15 N, R. 1 E,
 CITY OF BATON ROUGE, PARISH,
 EAST BATON ROUGE PARISH,
 LOUISIANA

HOLLYWOOD HEIGHTS
 A PROPOSED PLANNED UNIT DEVELOPMENT
 BATON ROUGE, LOUISIANA 70806
 EAST BATON ROUGE PARISH
 HOLLYWOOD HEIGHTS, LLC
 402 N. 4TH STREET
 BATON ROUGE, LOUISIANA 70802

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| DATE | |
| CHECKED BY | |
| ISSUED DATE | 12/06/2018 |
| ISSUED FOR | PUD |
| PROJECT NO. | 18-002 |
| FILE | 18-002 0-2 Concept Plan |
| | |
| C-2 | |

TABLE OF USE

| | LOW DENSITY RESIDENTIAL | MEDIUM DENSITY RESIDENTIAL | HIGH DENSITY RESIDENTIAL | COMMERCIAL / OFFICE | PUBLIC AND SEMIPUBLIC | INDUSTRIAL | OPEN SPACE |
|-------------------------------|-------------------------|----------------------------|--------------------------|---------------------|-----------------------|------------|------------|
| TOTAL # OF LOTS | 45 | N/A | N/A | N/A | N/A | N/A | N/A |
| TOTAL # OF LOTS | 45 | N/A | N/A | N/A | N/A | N/A | N/A |
| TOTAL SQUARE FEET OF BUILDING | N/A | N/A | N/A | N/A | N/A | N/A | N/A |
| TOTAL ACREAGE | 15.71 | N/A | N/A | N/A | N/A | N/A | 5.51 |
| PERCENTAGE OF SITE | 68% | N/A | N/A | N/A | N/A | N/A | 20% |



STATEMENT OF OBJECTIVES:

1. THE PROPOSED HOLLYWOOD HEIGHTS PUD, CONSISTING OF A TOTAL OF 15.72 ACRES, A TOTAL OF 90 UNITS ARE LOCATED IN SECTION 39 & SECTION 42, TOWNSHIP 15 N, RANGE 1 E, CITY OF BATON ROUGE, PARISH, EAST BATON ROUGE PARISH, LOUISIANA. THE PUD DEVELOPMENT WILL BE COMPLETED IN 2018.
2. THE TOTAL OF 5.51 ACRES OF COMMON OPEN SPACE IS ONE OF THE PUD SITE AREA. THE GREEN SPACE WITHIN THIS PUD IS A TOTAL OF 2.89 ACRES, WHICH ACCORDS TO APPROXIMATELY ONE OF AREA 1.73 ACRES OF THE COMMON OPEN SPACE IS STORMWATER POND AREA. ALSO, 0.89 ACRES OF THE COMMON OPEN SPACE WILL INCLUDE WETLANDS AREA.
3. THE TOTAL NUMBER OF LOW DENSITY RESIDENTIAL UNITS PROPOSED WITHIN DEVELOPMENT IS 90, PROVIDING AN AVERAGE DENSITY OF 5.72 UNITS PER ACRE.
4. PROPOSED DEVELOPMENT SHALL INCLUDE TWO-FAMILY RESIDENTIAL BUILDINGS (DUPLICES). EACH BUILDING WILL BE ON ITS OWN LOT. THIS WILL PROVIDE 90 INDIVIDUAL DWELLING UNITS.
5. THE OWNER/DEVELOPER IS RESPONSIBLE FOR OBTAINING THE USE, REGULAR MAINTENANCE AND PROTECTION OF THE COMMON AREA AND COMMONS PROVIDED FOR THE DEVELOPMENT.
6. ALL PUBLIC STREETS AND ROADWAYS WITHIN THE DEVELOPMENT WILL BE DEDICATED TO THE PUBLIC AND PARALLEL OPEN AND IMPROVED.
7. MAIL WILL BE COLLECTED THROUGH A CENTRALIZED MAIL ROOM.
8. PROPOSED SITE IS LOCATED 0.13 MILES EAST OF THE EXISTING WEST TOWNSHIP ROAD LOCATED ON PLANS 1004, THE HIGHEST ELEVATION IS LOCATED AT THE INTERSECTION OF PLANE ROAD AND HAWKWOOD STREET WHICH IS 621 FEET WEST OF THE SITE.
9. THE PROPOSED ARCHITECTURAL DESIGN ELEMENTS OF THE PUD WILL INCLUDE SINGLE FAMILY DUPLEX STRUCTURES CONSISTING OF TWO UNITS PER DUPLEX. THE STRUCTURES WILL BE 1-STORY AND A MAXIMUM OF 35'-2 1/2' FEET IN HEIGHT. SPACED WITHIN 10' TO 15'.

GENERAL NOTES:

1. SCHEDULE OF IMPROVEMENTS WITH UTILITY PROVISIONS.
- 1.1. SEWER SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY BATON ROUGE WATER COMPANY.
- 1.2. ELECTRIC SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY DTE/GE.
- 1.3. GAS SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY LOUISIANA GAS SERVICE. SERVICE WILL BE INSTALLED BY THE DEVELOPER AND CONSENT TO THE EXISTING GAS BILL.
- 1.4. TELECOMMUNICATIONS SERVICE WILL BE INSTALLED AND PROVIDED BY AT&T AND COX.
2. UTILITY CONDUITS SHALL BE COLLECTED SUB-SURFACE AND ROUNDED THROUGH THE ON-SITE STORMWATER MANAGEMENT POND.
3. UTILITY CONDUITS SHALL BE 24" X 36" 1500 PSI.
- 3.1. 15' DEPTH
- 3.2. 12' DEPTH
- 3.3. 10' DEPTH
4. ALL STREETS TO BE PUBLIC AND CONSTRUCTED WITH ASPHALT PAVEMENT CONCRETE IN ACCORDANCE WITH EAST BATON ROUGE SPECIFICATIONS.
5. HOLLYWOOD HEIGHTS IMPROVED USE IN ITS OWNERSHIP IS LOW DENSITY RESIDENTIAL, USE BUILDING CODES 1 & 2.
6. BUILDING HEIGHTS: 35'-2 1/2' (MAXIMUM).
7. ALL PROPOSED STRUCTURES SHALL BE IN COMPLIANCE WITH CHAPTER 14 OF THE EAST BATON ROUGE UNIFORM DEVELOPMENT CODE.
8. POSSIBLE USES: LOW DENSITY RESIDENTIAL.

THE PROPOSED DEVELOPMENT WILL COMPLY WITH ALL PROVISIONS OF THE LOUISIANA DEVELOPMENT CODE (LDC).

THE PROPOSED RESIDENTIAL DEVELOPMENT COMPLIES WITH THE EAST BATON ROUGE UNIFORM DEVELOPMENT CODE AND PROVISIONS FOR LOW DENSITY RESIDENTIAL.

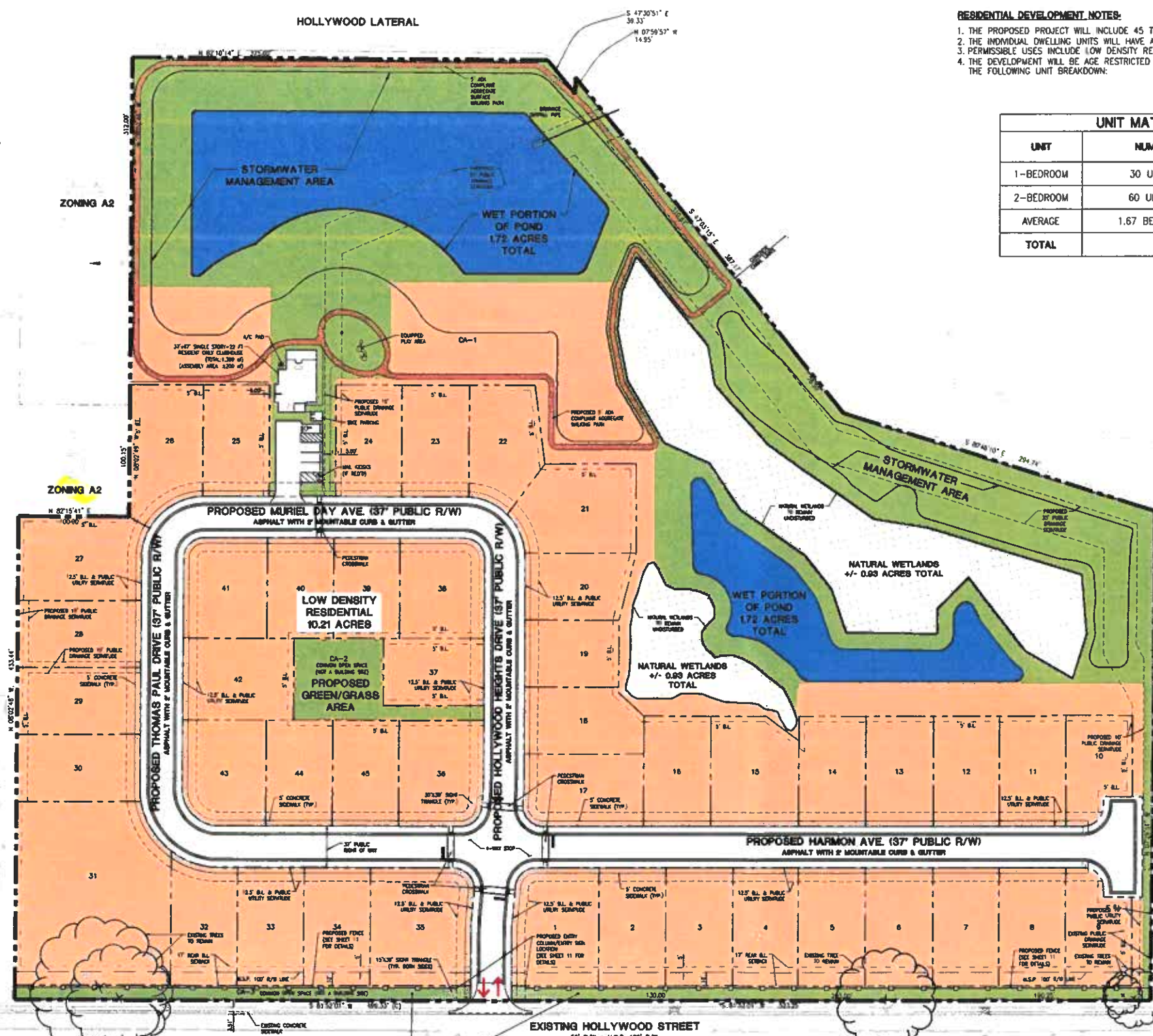
Approved PUD Concept Plan
 Not For Construction

CONCEPT PLAN

SCALE IN FEET

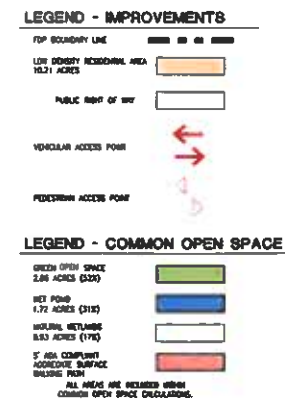
18-002 0-2 Concept Plan

ZONING C2
ZONING A2
ZONING C2
ZONING A2
ZONING C2
ZONING A2
ZONING C2



RESIDENTIAL DEVELOPMENT NOTES:
 1. THE PROPOSED PROJECT WILL INCLUDE 45 TWO-FAMILY RESIDENTIAL BUILDINGS.
 2. THE INDIVIDUAL DWELLING UNITS WILL HAVE A MAXIMUM OF 850 S.F. (LIVING AREA).
 3. PERMISSIBLE USES INCLUDE LOW DENSITY RESIDENTIAL.
 4. THE DEVELOPMENT WILL BE AGE RESTRICTED (MINIMUM OF 55 YEARS OF AGE) WITH THE FOLLOWING UNIT BREAKDOWN:

| UNIT MATRIX | |
|--------------|------------------------|
| UNIT | NUMBER OF UNITS |
| 1-BEDROOM | 30 UNITS - MINIMUM |
| 2-BEDROOM | 60 UNITS - MAXIMUM |
| AVERAGE | 1.67 BEDROOMS PER UNIT |
| TOTAL | 90 UNITS |



RESIDENTIAL DENSITY CALCULATIONS

| | |
|--------------------|-----------------------|
| TOTAL ACRES: | 15.72 ACRES |
| RESIDENTIAL UNITS: | 90 (LOW DENSITY RES.) |
| DENSITY: | 5.72 UNITS PER ACRE |

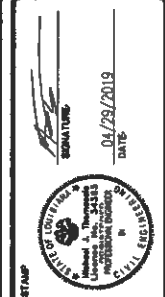
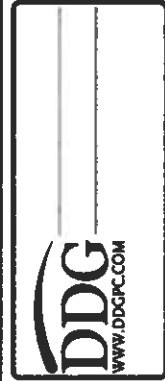
OPEN SPACE CALCULATIONS

| | |
|----------------------------|------------|
| PROVIDED COMMON OPEN SPACE | 0.81 ACRES |
| PROVIDED GREEN OPEN SPACE | 2.89 ACRES |
| STORMWATER MANAGEMENT AREA | 1.72 ACRES |
| WETLAND AREA | 0.89 ACRES |

PLANNING SUMMARY

EXISTING ZONING: PUD
 EXISTING LAND USE: LDR, UND, INST
 FUTURE LAND USE: RM & INSTITUTIONAL
 CHARACTER AREA: SUBURBAN
 ADJACENT ZONING: C2, A2
 ACREAGE: 15.72 ACRES
 PROPOSED NUMBER OF RESIDENTIAL LOTS: 45
 PROPOSED DEVELOPMENT SHALL INCLUDE TWO-FAMILY RESIDENTIAL BUILDINGS (DUPLEXES). EACH BUILDING WILL BE ON ITS OWN LOT. THIS WILL PROVIDE 90 INDIVIDUAL DWELLING UNITS.
 PROPOSED COMMON AREA LOTS: CA-1, AND NON-BUILDABLE TRACTS CA-2 & CA-3
 LOW DENSITY: 5.72 UNITS/ACRE
 BUILDING HEIGHT: 35'-2 1/2' (MAXIMUM)
 MAX BUILDING STORIES: 1
 PROPOSED USE: LOW DENSITY RESIDENTIAL
 TOTAL BUILDING SQUARE FOOTAGE PER LOT: +/- 1,700
 RESIDENT ONLY CLUBHOUSE ON LOT CA-1
 37'x47' SINGLE STORY - 21'-10" IN HEIGHT
 TOTAL GROSS SQUARE FOOTAGE: 1,390
 TOTAL ASSEMBLY AREA SQUARE FOOTAGE: 200

| REVISION | BY |
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LOT NUMBERS:
 A, B, 3A, 10 THRU 18
 LOCATED IN SECTION 39 &
 SECTION 52, T-8-S, R-1-E,
 CITY OF BATON ROUGE
 EAST BATON ROUGE PARISH,
 LOUISIANA

HOLLYWOOD HEIGHTS FINAL DEVELOPMENT PLAN
 PLANNED UNIT DEVELOPMENT (PUD-1-6)
 BATON ROUGE, LOUISIANA 70805
 EAST BATON ROUGE PARISH
 HOLLYWOOD HEIGHTS, LLC
 402 N. 4TH STREET
 BATON ROUGE, LOUISIANA 70802

| | |
|-------------|-------------------------------|
| DRAWN | |
| CHECKED | |
| ISSUED DATE | 4/28/2019 |
| ISSUED FOR | POP |
| PROJECT NO. | 18-002 |
| FILE | 18-002 Final Development Plan |
| SHEET | 4 |

TABLE OF USE

| | LOW DENSITY RESIDENTIAL | MEDIUM DENSITY RESIDENTIAL | HIGH DENSITY RESIDENTIAL | COMMERCIAL / OFFICE | PUBLIC AND SEMIPUBLIC | INDUSTRIAL | OPEN SPACE |
|--------------------------------|-------------------------|----------------------------|--------------------------|---------------------|-----------------------|------------|------------|
| TOTAL # OF UNITS | 90 | N/A | N/A | N/A | N/A | N/A | N/A |
| TOTAL # OF LOTS | 45 | N/A | N/A | N/A | N/A | N/A | N/A |
| TOTAL SQUARE FEET OF BUILDINGS | N/A | N/A | N/A | N/A | N/A | N/A | N/A |
| TOTAL ACRES | 10.21 | N/A | N/A | N/A | N/A | N/A | 5.51 |
| PERCENTAGE OF SITE | 65 | N/A | N/A | N/A | N/A | N/A | 36 |

MINIMUM SETBACKS:
 FRONT YARD:
 12.0'-0" LOTS 1-46, CA-1
 12.0'-0" LOTS 9 & 10
 REAR YARD:
 17'-0" LOTS 1-8, 31-35
 8'-0" LOTS 10-31, 36-45, CA-1
 SIDE YARD:
 8'-0" LOTS 1-46, CA-1
 SIDE YARD FACING STREET:
 12.0'-0" LOTS 1, 17, 35, 36, 38, 41, 43

STATEMENT OF OBJECTIVES:

- THE PROPOSED HOLLYWOOD HEIGHTS PUD, CONSISTS OF A TOTAL OF 15.72 ACRES, A TOTAL OF 10.21 ACRES ARE DEVOTED TO LOW-DENSITY RESIDENTIAL DEVELOPMENT. A TOTAL OF 5.51 ACRES WILL CONSIST OF COMMON OPEN SPACE. THE PUD DEVELOPMENT WILL BE CONSTRUCTED IN ONE PHASE. HOLLYWOOD HEIGHTS IS ANTICIPATED TO BE COMPLETE IN 2020.
- THE TOTAL OF 5.51 ACRES OF COMMON OPEN SPACE IS APPROXIMATELY 35% OF THE PUD SITE AREA. THE GREEN SPACE WITHIN THIS PHASE IS A TOTAL OF APPROXIMATELY 2.89 ACRES, WHICH ACCOUNTS FOR APPROXIMATELY 52% OF THE COMMON OPEN SPACE AREA. APPROXIMATELY 1.72 ACRES OF THE COMMON OPEN SPACE IS DESIGNATED AS WETLANDS. WETLANDS ARE APPROXIMATELY 0.83 ACRES OF THE COMMON OPEN SPACE INCLUDES NATURAL WETLANDS.
- THE TOTAL NUMBER OF LOW DENSITY DWELLING UNITS PROPOSED WITHIN DEVELOPMENT IS 90, PROVIDING AN OVERALL DENSITY OF 5.72 UNITS PER ACRE.
- PROPOSED DEVELOPMENT SHALL INCLUDE TWO-FAMILY RESIDENTIAL BUILDINGS (DUPLEXES). EACH BUILDING WILL BE ON ITS OWN LOT. THIS WILL PROVIDE 90 INDIVIDUAL DWELLING UNITS. THE PROPOSED MAXIMUM BUILDING COVERAGE IS 17% OF THE LOT AREA.
- THE OWNER/DEVELOPER IS RESPONSIBLE FOR COVERING THE USE, REGULAR MAINTENANCE AND PROTECTION OF THE COMMON AREA AND CONSERVING TREES FOR THE DEVELOPMENT.
- ALL PUBLIC STREETS AND RIGHTS-OF-WAY WITHIN THE DEVELOPMENT WILL BE REDDED TO THE PUBLIC AND PUBLICLY OWNED AND MAINTAINED.
- WATER WILL BE COLLECTED THROUGH A CENTRALIZED WASTEWATER TREATMENT PLANT.
- PROPOSED SITE IS LOCATED 0.30 MILES EAST OF THE EXISTING WOODS TRAILWAY LOCATED ON PLANK ROAD. THE HIGHEST BUS STOP IS LOCATED AT THE INTERSECTION OF PLANK ROAD AND HAROLD STREET WHICH IS ALSO MILES WEST OF THE SITE.
- THE PROPOSED ARCHITECTURAL DESIGN STRATEGIES OF THE PUD WILL INCLUDE SINGLE FAMILY DUPLEX STRUCTURES. CONSIDERING ACCESS TO BUSES WITHIN THE STRUCTURES WILL BE 11'-0" AND A MINIMUM OF 30'-0" FEET IN HOOD OVERHANG FENCE HEIGHT IS ALLOWED.

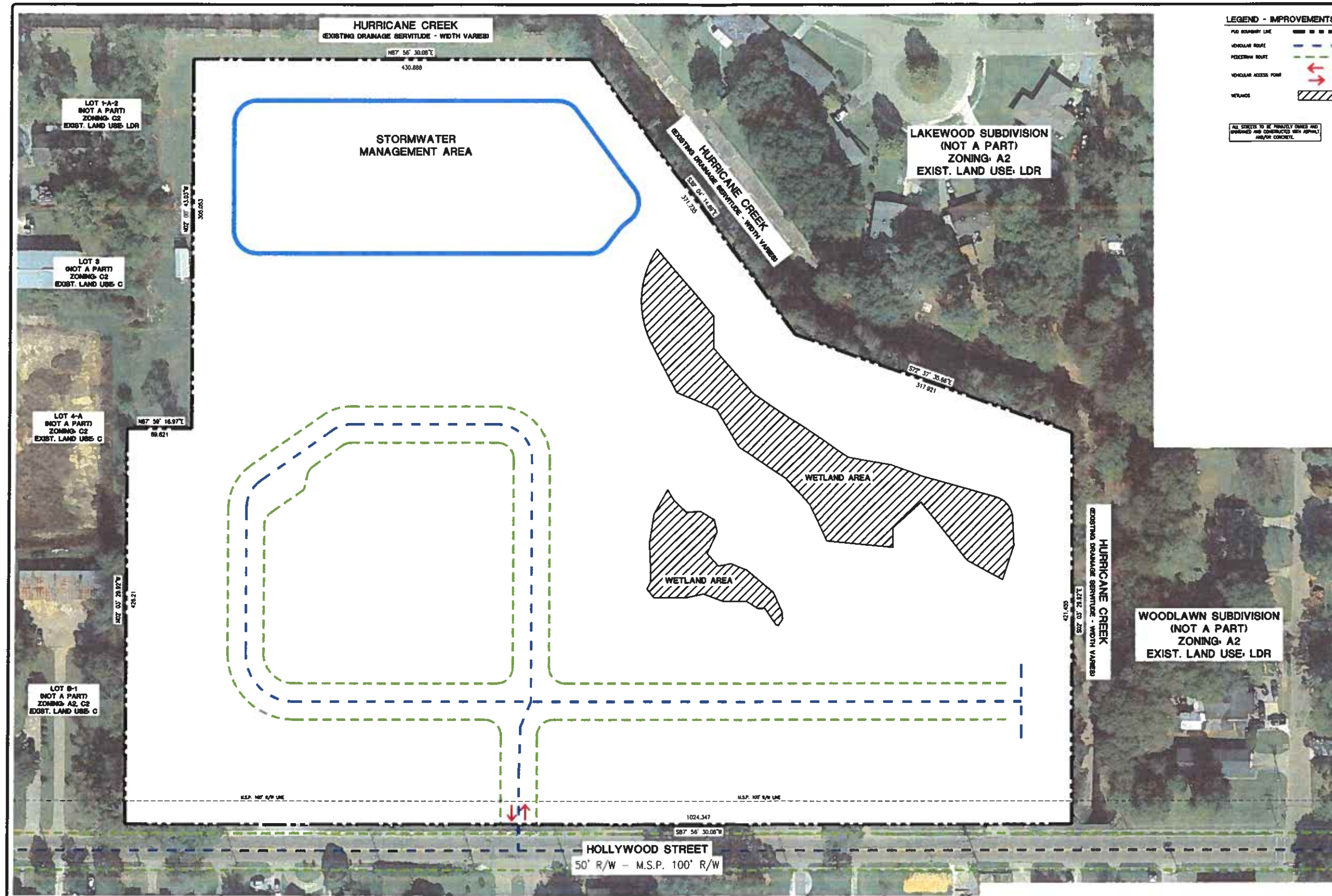
GENERAL NOTES:

- STAKEOUTS OF ADJACENT LOTS WITHIN PROPOSED PUD DEVELOPMENT WILL BE CONDUCTED BY ONE PHASE. HOLLYWOOD HEIGHTS IS ANTICIPATED TO BE COMPLETE IN 2020.
- WATER SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY BATON ROUGE WATER DEPARTMENT.
- SEWER SERVICE WILL BE EXTENDED TO THE SITE AND PROVIDED BY BATON ROUGE WATER DEPARTMENT.
- SEWER SERVICE WILL BE INSTALLED BY THE DEVELOPER AND CONNECT TO THE EXISTING 18" DIA. SEWER.
- RECREATION SERVICE WILL BE INSTALLED AND PROVIDED BY ADJUTANT GENERAL.
- STAKEOUTS WILL BE CONDUCTED SUB-SURFACE AND ROUTED THROUGH THE ONE-PHASE DEVELOPMENT WITHIN PROPOSED PUD.
- PERMISSIBLE USES: LOW DENSITY RESIDENTIAL.
- CUSTOMER SERVICE CENTER SHALL BE PROVIDED FOR CLUBHOUSE AS WELL AS FOR ALL RESIDENTIAL UNITS.
- ALL STREETS TO BE PUBLIC AND CONSIDERED WITHIN PUBLIC RIGHT-OF-WAY CONCRETE IN ACCORDANCE WITH BATON ROUGE SPECIFICATIONS.
- HOLLYWOOD HEIGHTS INTERIOR USE IN PUD DEVELOPMENT IS LOW DENSITY RESIDENTIAL.
- MAXIMUM BUILDING HEIGHT: 35'-2 1/2' (MAXIMUM).
- ALL PROPOSED BUILDINGS WITHIN THE PUD WILL BE IN COMPLIANCE WITH CHAPTER 10 OF THE EAST BATON ROUGE UNIFORM DEVELOPMENT CODE.
- ENTER BY TRACT 11 FROM ADJACENT WOODS TRAILWAY.
- NO CHAINS SHALL BE BUILT OVER ANY UNDERGROUND SERVICES.
- LOTS 1-4 & 31-35 SHALL HAVE ACCESS TO HOLLYWOOD STREET.
- PROPERTY ADJACENT COMPANY MUST STRICTLY ENFORCE NO ON-STREET PARKING VIOLATIONS.

THE PROPOSED DEVELOPMENT WILL COMPLY WITH ALL PROVISIONS OF THE LATEST ORDINANCE SECTION 14.6 OF THE UNIFORM DEVELOPMENT CODE.

THE PROPOSED RESIDENTIAL DEVELOPMENT COMPLIES WITH THE EAST BATON ROUGE UNIFORM DEVELOPMENT CODE AND POLICES FOR EAST BATON ROUGE PARISH.

Not For Construction
FINAL DEVELOPMENT PLAN
 SCALE IN FEET
 0' 20' 40' 60' 80' 100'



LEGEND - IMPROVEMENTS

- PLD BOUNDARY LINE
- VEHICULAR ROUTE
- PEDESTRIAN ROUTE
- VEHICULAR ACCESS POINT
- WETLANDS

ALL STREETS TO BE FINISHED AND FINISHED AND CONSTRUCTED WITH ASPHALT AND/OR CONCRETE.

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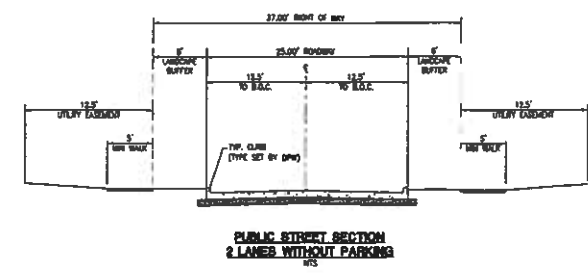
DDG
 DUPLANTIS DESIGN GROUP, PC
 2522 Bluebonnet Blvd. Baton Rouge, LA 70810
 Phone: 225-751-4460 | Fax: 225-751-4465
 WWW.DDCG.COM
 THEODORE COVINGTON | HOUSTON
 BATON ROUGE | LAFAYETTE

12-28-2018
 DATE

LOT NUMBERS:
 A, B, 10, 11, 12, 13, 14,
 15, 16, 17, 18, 39 &
 SECTION 82, T-6-S, R-1-E,
 CITY OF BATON ROUGE PARISH,
 EAST BATON ROUGE, LOUISIANA

HOLLYWOOD HEIGHTS
 A PROPOSED PLANNED UNIT DEVELOPMENT
 BATON ROUGE, LOUISIANA 70805
 EAST BATON ROUGE PARISH
 HOLLYWOOD HEIGHTS, LLC
 402 N. 4TH STREET
 BATON ROUGE, LOUISIANA 70802

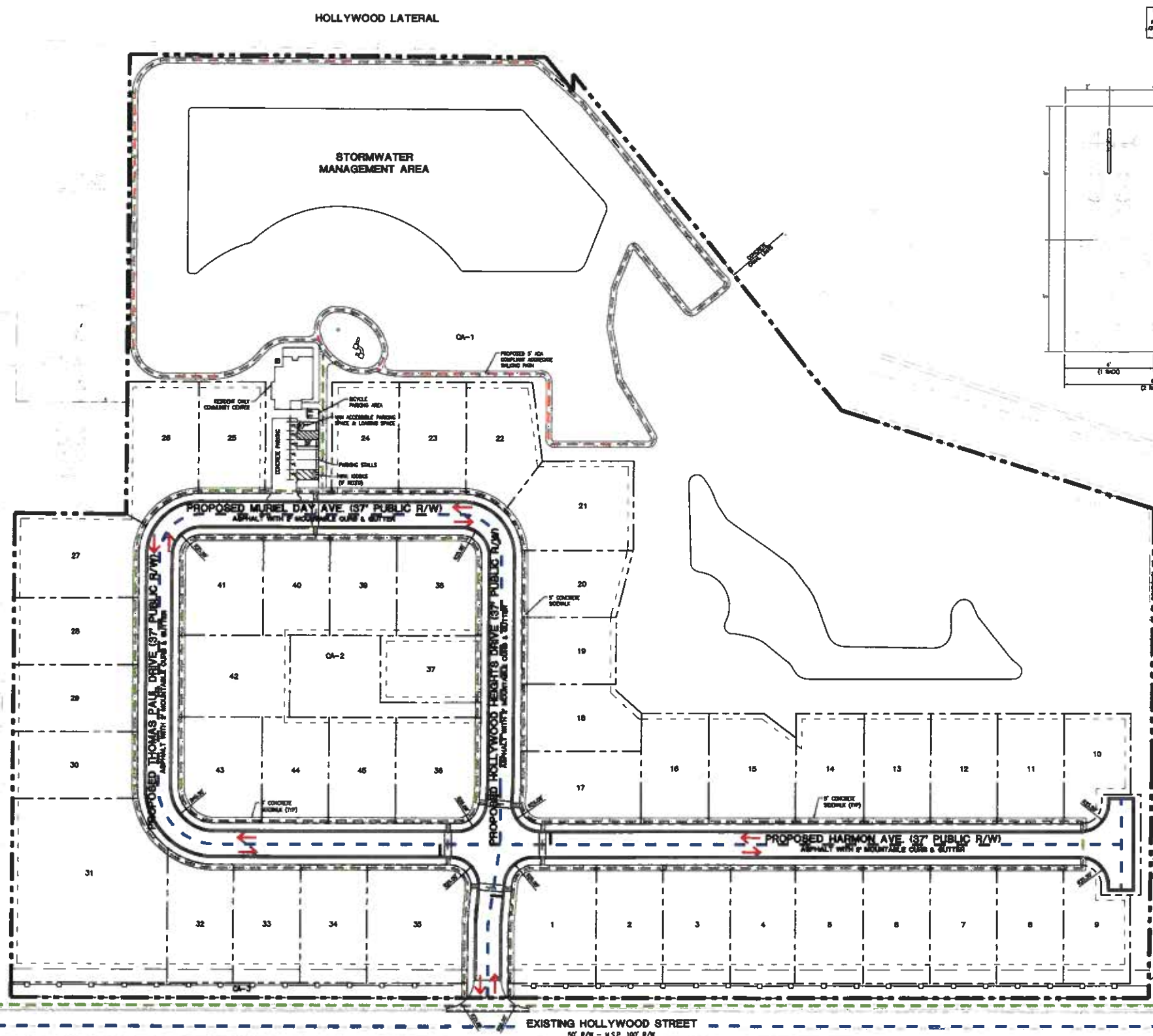
| | |
|-------------|-----------------------------|
| DRAWN | JMS |
| CHECKED | MLT |
| ISSUED DATE | 02/09/2018 |
| ISSUED FOR | PLD |
| PROJECT NO. | 18-002 |
| FILE | 18-002 C-8 Circulation Plan |
| SHEET | C-3 |



Approved PUD Circulation Plan
 Not For Construction
CIRCULATION PLAN

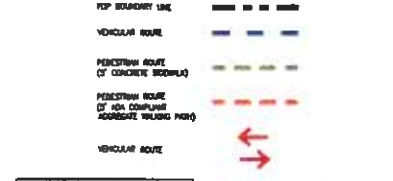


18-002 C-8 Circulation Plan



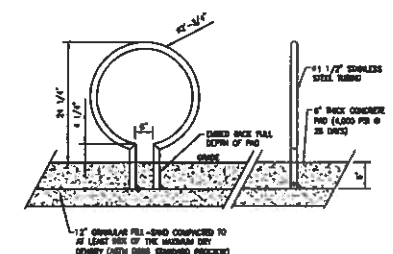
PROPOSED TRUCK IS LOCATED 1.5M WEST SIDE OF THE EXISTING MAIN THRUWAY ROUTE LOCATED ON PLANS SHOW THE NEAREST BUS STOP IS LOCATED AT THE INTERSECTION OF PLUM ROAD AND HAVENWOOD STREET WHICH IS ALSO WEST SIDE OF THE SITE.

LEGEND - IMPROVEMENTS



ALL STREETS TO BE PUBLICLY OWNED AND SURFACED AND CONSTRUCTED WITH ASPHALT AND/OR CONCRETE, AS APPROPRIATE WITH 10' SIDEWALK PARKING.

ALL PAVED DRIVEWAYS SHALL MEET ADA REQUIREMENTS.



- NOTES:**
1. BICYCLE SPACES SHALL BE 48" (4) FEET WIDE BY 58" (5) FEET LONG.
 2. BICYCLE SPACES SHALL BE PLACED CLOSE TOGETHER TO A WALL OR OTHER OBSTRUCTION SO AS TO SAVE SPACE AND PROVIDE ADEQUATE BACK SUPPORT.
 3. IN AREAS OF OTHER SPACES SHALL BE PROVIDED FOR BICYCLES TO ENTER AND LEAVE THE FACILITY.
 4. THERE MUST BE A MINIMUM OF FOUR (4) FEET SPACE BETWEEN BICYCLES.

BICYCLE PARKING AREA DETAIL
N.T.S.

TABLE OF PARKING REQUIREMENTS

| USE | FORMULA | NUMBER OF UNITS | NUMBER OF SPACES PROVIDED | TOTAL NUMBER OF SPACES PROVIDED | TYPE |
|----------------------------------|--------------------------------------|------------------|---------------------------|---------------------------------|-------------------------------------|
| RESIDENTIAL | 2 SPACES/UNIT | 50 UNITS | 100 | 100 | OFF-STREET VEHICULAR PARKING SPACES |
| COMMUNITY CENTER | 1 SPACE/50 SF OF ASSEMBLY FLOOR AREA | 300 SF | 4 | 3 SPACES + 1 ADA = 4 TOTAL | OFF-STREET VEHICULAR PARKING SPACES |
| TOTALS | | | 104 | 104 | |
| COMMUNITY CENTER BICYCLE PARKING | 1 BICYCLE SPACE/20 VEHICLE SPACES | 4 VEHICLE SPACES | 1 | 1 | BICYCLE PARKING AREA ACROSS |

- NOTES:**
1. ALL ROADWAYS/STREETS ARE TO BE PUBLIC AND SHALL BE CONSTRUCTED WITH ASPHALT AND/OR CONCRETE AS APPROPRIATE WITH CITY-PARISH STANDARDS.
 2. ALL STREETS AND SIDEWALKS ARE FOR PUBLIC USE.
 3. ALL SIDEWALKS TO BE A MINIMUM OF 2' WIDE 4" THICK CONCRETE.
 4. SEE SHEET 11 FOR FINISHING SIDE-OF-ROAD AND TYPICAL CROSS SECTION.
 5. CONCRETE WEARABLE CURB AND GUTTER TO BE USED TO SEPARATE PAVED DRIVEWAYS FROM VEHICULAR TRAFFIC.
 6. TYPICAL VEHICLE FOR PUBLIC SPACES PROVIDED TO BE LESS THAN 1.5M WIDE.

Not For Construction
CIRCULATION PLAN



REVISION BY

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DATE: 04/29/2019

LOT NUMBERS:
A, B, 3A, 10 THRU 18
LOCATED IN SECTION 39 &
SECTION 52, T-8-S, R-1-E,
CITY OF BATON ROUGE PARISH,
EAST BATON ROUGE PARISH,
LOUISIANA

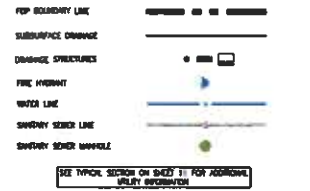
HOLLYWOOD HEIGHTS FINAL DEVELOPMENT PLAN
PLANNED UNIT DEVELOPMENT (PUD-1-B)
BATON ROUGE, LOUISIANA 70806
EAST BATON ROUGE PARISH
HOLLYWOOD HEIGHTS, LLC
402 N. 4TH STREET
BATON ROUGE, LOUISIANA 70802

DRAWN: GDB
CHECKED: SMT
ISSUED DATE: 4/29/2019
ISSUED FOR: PUD
PROJECT NO.: 19-002
FILE: 19-002 Circulation Plan
SHEET: 6

HOLLYWOOD LATERAL

LEGEND - PROPOSED IMPROVEMENTS

| REVISION | BY |
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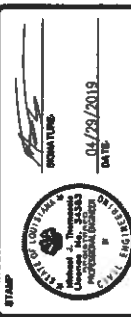


PLANNING SUMMARY

DESIGN ZONING: P-0
 ZONING PLAN LAW USE: URM, URM, MDT
 PLANNED UNIT DEVELOPMENT (PUD-1-60)
 OVERSICHT AREA: 18.0000 AC
 AMOUNT: 18.0000 AC @ 100%
 APPROX. 13.75 AC

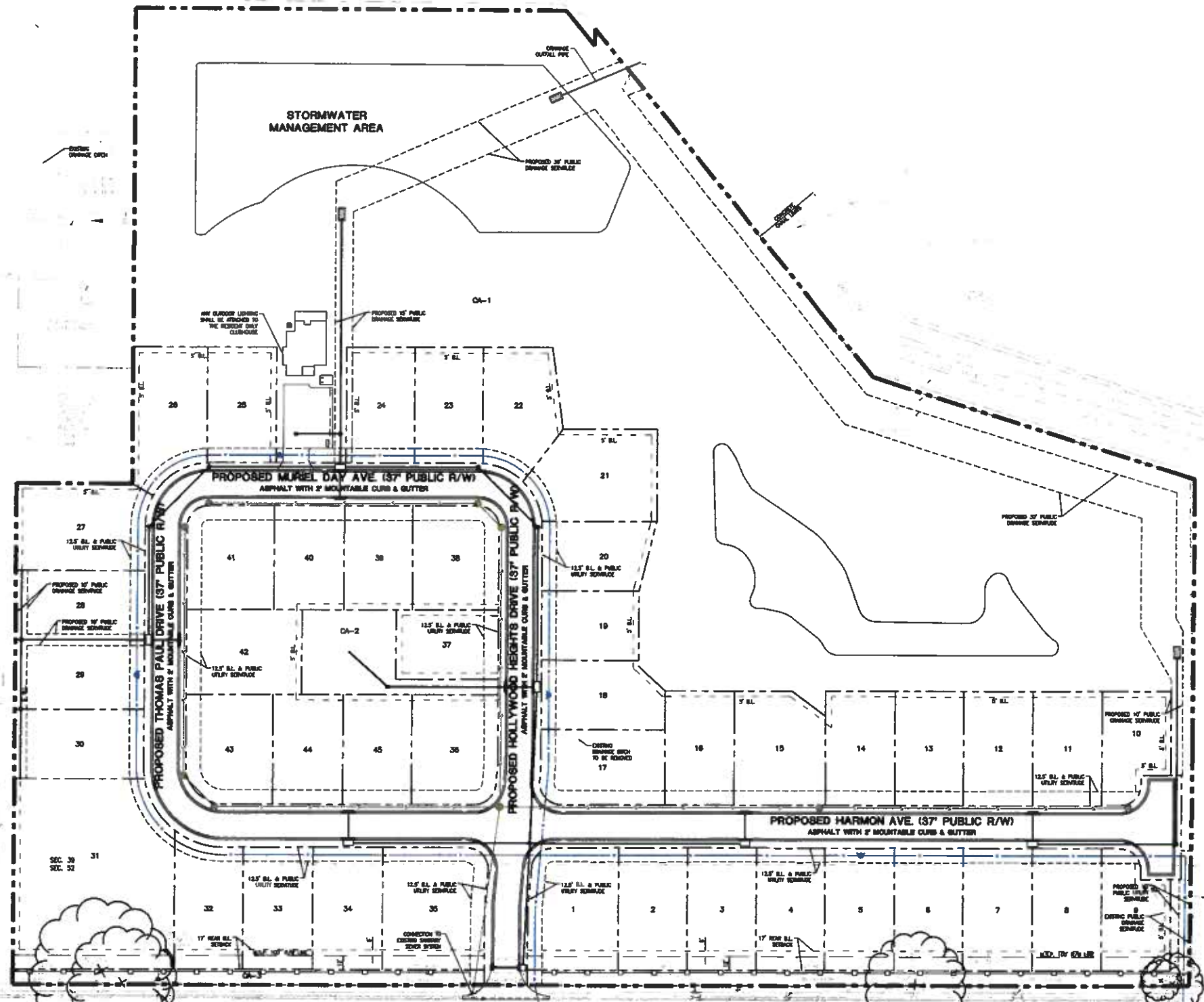
UTILITY COMPANIES:
 WATER - BAYOU STATE WATER CO.
 WASTEWATER - WASTECOR
 ELECTRIC - SWEETWATER

SEWER DISTRICT: EAST BATON ROUGE WORTH PLANT
 FIRE DISTRICT: EAST BATON ROUGE CITY
 SCHOOL DISTRICT: BRN-2
 POLICE: CHARGED BY FRANCISCHON
 PROJECT DELAY



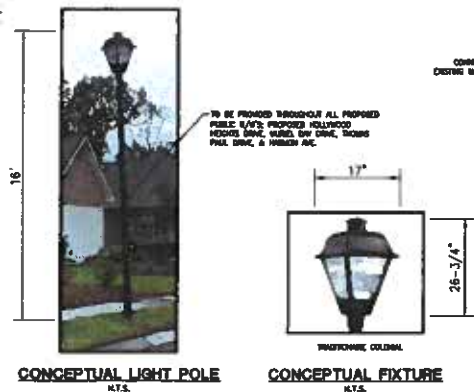
LOT NUMBERS:
 A, B, 3A, 10 THRU 18
 LOCATED IN SECTION 36 &
 SECTION 32, T-8-S, R-1-E,
 CITY OF BATON ROUGE PARISH,
 EAST BATON ROUGE PARISH,
 LOUISIANA

HOLLYWOOD HEIGHTS FINAL DEVELOPMENT PLAN
 PLANNED UNIT DEVELOPMENT (PUD-1-60)
 BATON ROUGE, LOUISIANA 70806
 EAST BATON ROUGE PARISH
 HOLLYWOOD HEIGHTS, LLC
 402 N. 4TH STREET
 BATON ROUGE, LOUISIANA 70802



- GENERAL NOTES:**
- 1.1. COVERAGE OF IMPROVEMENTS WITH UTILITY PROVISIONS
 - 1.2. WATER SERVICE WILL BE PROVIDED TO THE SITE AND PROVIDED BY BAYOU STATE WATER COMPANY
 - 1.3. SEWER SERVICE WILL BE PROVIDED TO THE SITE AND PROVIDED BY CHARGE EAST BATON ROUGE WORTH TREATMENT PLANT
 - 1.4. TELECOMMUNICATIONS SERVICE WILL BE PROVIDED AND PROVIDED BY AT&T AND COX
 - 1.5. CHARGED DEVELOPER WILL BE COLLECTED AND PROVIDED TO THE CHARGE EAST BATON ROUGE WORTH TREATMENT PLANT

- LIGHTING NOTES:**
1. THE PROPOSED DEVELOPMENT WILL COMPLY WITH ALL PROVISIONS OF THE LIGHTING ORDINANCE (SECTION 14.5 OF THE UNIFORM DEVELOPMENT CODE).
 2. MINIMUM HEIGHT TO BE 15'
 3. STREET LIGHTS PROVIDED THROUGHOUT ALL PROPOSED PUBLIC R/W'S ARE TO BE SPACED AND INSTALLED ON STREET LIGHTS AND SHALL BE IN COMPLIANCE WITH THE DETAILS SHOWN HEREIN.
 4. ANGLE OF BEAM 30°.



Not For Construction
UTILITY SERVICE PLAN



| | |
|-------------|---------------------|
| DESIGN | DOB |
| CHECKED | MLT |
| ISSUED DATE | 4/15/2019 |
| ISSUED FOR | PERM |
| PROJECT NO. | 18-002 |
| FILE | 18-002 Utility Plan |
| SHEET | 7 |

18-002(18-002)VP(18-002) Utility Plan

HOLLYWOOD LATERAL

PLANTING SCHEDULE

| QTY | COMMON NAME | SCIENTIFICE NAME | MIN. SIZE | SPACING | COMMENTS |
|-----|---------------|------------------------------------|-----------|----------|----------------|
| 21 | CATHEDRAL OAK | Quercus virginiana 'CATHEDRAL OAK' | 2.5" CAL. | AS SHOWN | 8' HEIGHT MIN. |

PLANTING NOTES

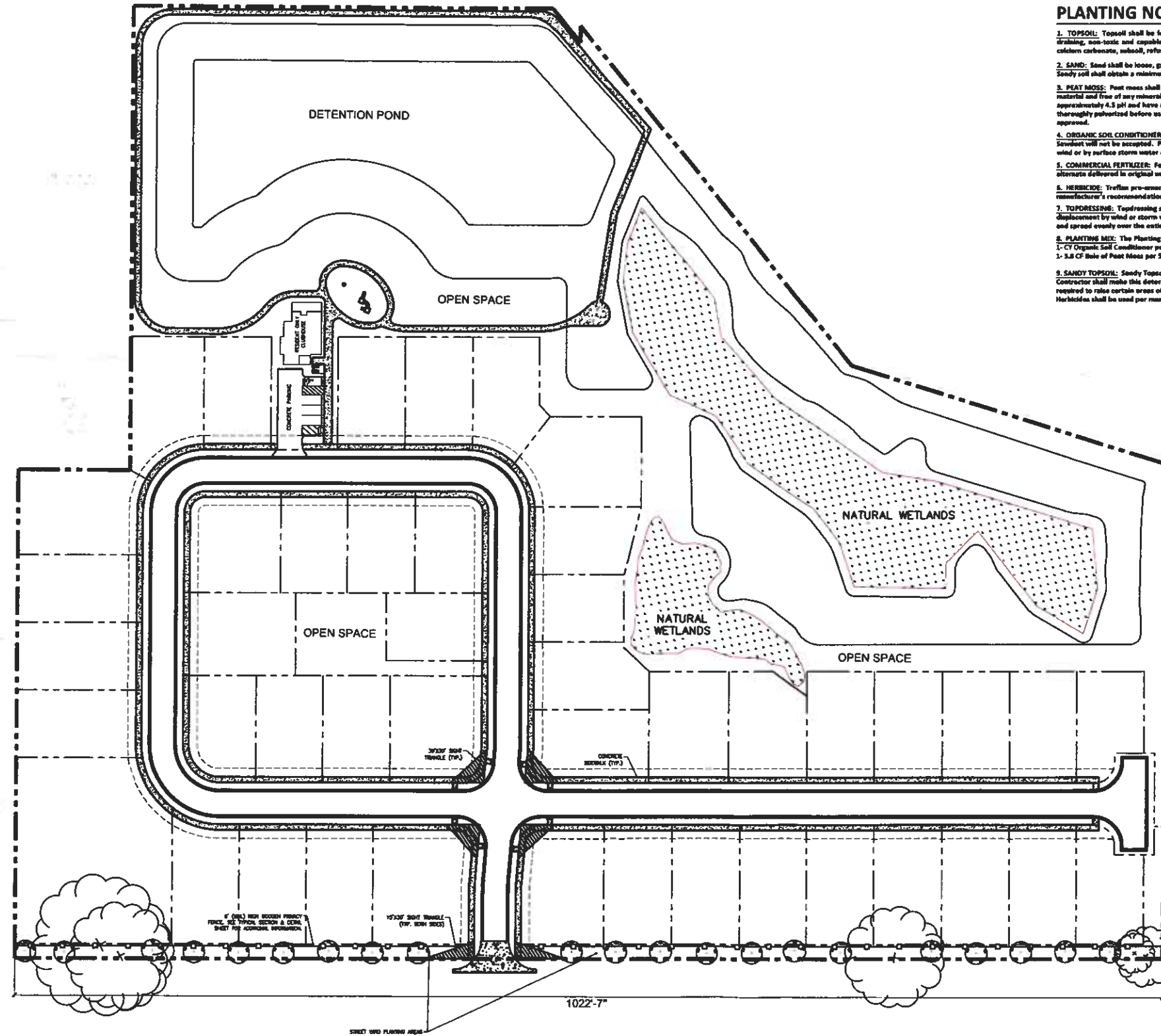
- 1. TOPSOIL:** Topsoil shall be fertile, friable soil obtained from well drained arable land. It shall be free draining, non-toxic and capable of sustaining healthy plant growth. Topsoil shall be reasonably free of calcium carbonate, subsoil, refuse, roots, and other deleterious substances.
- 2. SAND:** Sand shall be loose, granular soil containing particles smaller than gravel but coarser than silt. Sandy soil shall obtain a minimum of 90% sand and no greater than 5% clay.
- 3. PEAT MOSS:** Peat moss shall be imported Canadian sphagnum peat moss, brown, low in content of woody material and free of any mineral matter harmful to plant life. Peat moss shall have an acid rating of approximately 4.5 pH and have a water absorbing capacity of 1,100 to 1,200 % by weight. Peat moss shall be thoroughly pulverized before use except when used as a top-dressing. No native or sedge peats shall be approved.
- 4. ORGANIC SOIL CONDITIONER:** Organic soil conditioner shall be partially decomposed ground pine bark. Sawdust will not be accepted. Particle size and surface area shall be such as to resist displacement by wind or by surface storm water or irrigation runoff for two growing seasons.
- 5. COMMERCIAL FERTILIZER:** Fertilizer shall be a complete, slow release, 6-12-6 fertilizer or approved alternate delivered in original unopened containers bearing the manufacturer's guaranteed analysis.
- 6. HERBICIDE:** Trifluralin pre-emergent herbicide or approved equal - applied at manufacturer's recommendations.
- 7. TOPDRESSING:** Topdressing shall be a double shredded bark mulch of sufficient character to resist displacement by wind or storm water or by irrigation runoff. Mulch shall be applied at a min. depth of 3" and spread evenly over the entire bed area to retain moisture and protect root systems.
- 8. PLANTING MIX:** The planting mix for all bed areas and pits shall consist of:
 1-1 CF Organic Soil Conditioner per 50 SF of bed area
 1-3.8 CF Bale of Peat Moss per 50 SF of bed area
- 9. SANDY TOPSOIL:** Sandy Topsoil may be added to the planting mix if the existing soil is of poor quality. The Contractor shall make this determination prior to the beginning of work. Sandy Topsoil may also be required to raise certain areas of the bed up to grade. Use of Commercial Fertilizer and Pre-emergent Herbicides shall be used per manufacturer's recommendations.

| STREET YARD LANDSCAPING @ 40' O.C. | |
|------------------------------------|------------|
| STREET FRONTAGE | 1,023 L.F. |
| STREET TREES REQUIRED | 26 |
| CLASS 'A' TREES PROVIDED | 21 |

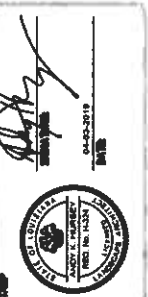
EXISTING TREES TO REMAIN

| POINT NUMBER | DBH | TYPE |
|--------------|------|----------|
| 001 | 42" | Live Oak |
| 002 | 32" | Live Oak |
| 003 | 24" | Live Oak |
| 004 | 12" | Magnolia |
| 005 | 12" | Magnolia |
| 5 | 112" | |

| TREE TYPE | TREE CREDITS |
|---------------------------|-----------------|
| 42" Live Oak | 42 Trees |
| 24" Live Oak | 24 Trees |
| 12" Magnolia | 6 Trees |
| 12" Magnolia | 6 Trees |
| Total Tree Credits | 78 Trees |



| REVISION | BY |
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LOT NUMBERS:
 A, B, 3A, 10 THRU 18
 LOCATED IN SECTION 39 &
 SECTION 51, T-6-S, R-1-E,
 CITY OF BATON ROUGE
 EAST BATON ROUGE PARISH,
 LOUISIANA

HOLLYWOOD HEIGHTS FINAL DEVELOPMENT PLAN
 PLANNED UNIT DEVELOPMENT (PUD-1-19)
 BATON ROUGE, LOUISIANA 70805
 EAST BATON ROUGE PARISH
 HOLLYWOOD HEIGHTS, LLC
 402 N. 4TH STREET
 BATON ROUGE, LOUISIANA 70802

LANDSCAPE PLANTING PLAN

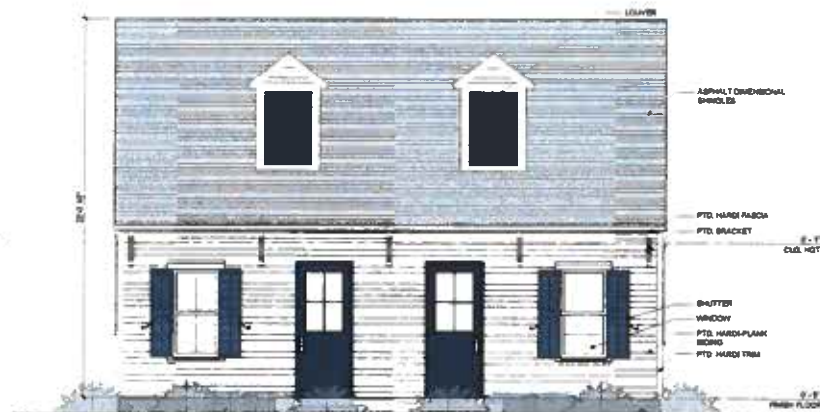




1 CREOLE - 1BR&2BR - FRONT ELEVATION - SCHEME 1
1/4" = 1'-0"



2 CREOLE - 1BR&2BR - FRONT ELEVATION - SCHEME 2
1/4" = 1'-0"



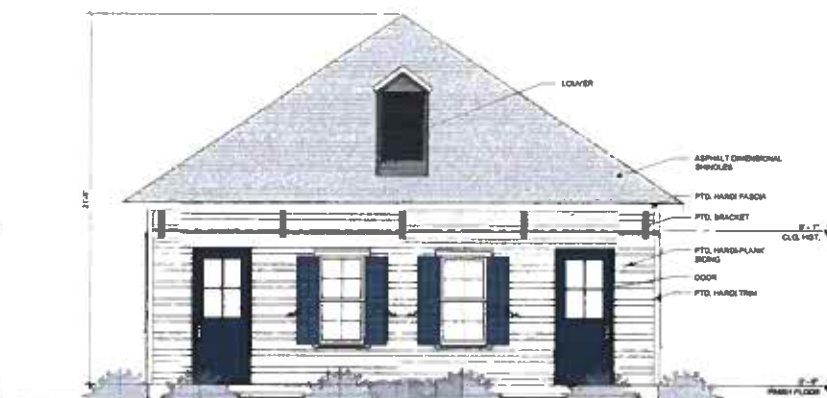
3 CREOLE - 1BR&2BR - FRONT ELEVATION - SCHEME 3
1/4" = 1'-0"



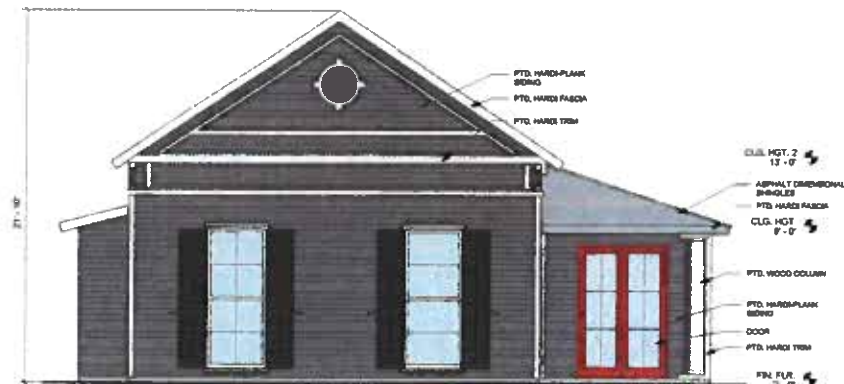
4 SHOTGUN - 1BR&2BR - FRONT ELEVATION - SCHEME 1
1/4" = 1'-0"



5 SHOTGUN - 1BR&2BR - FRONT ELEVATION - SCHEME 2
1/4" = 1'-0"



6 SHOTGUN - 1BR&2BR - FRONT ELEVATION - SCHEME 3
1/4" = 1'-0"



7 CLUBHOUSE - FRONT ELEVATION
1/4" = 1'-0"

DYNE NELSON ARCHITECTURE
1000 PINE STREET
BATON ROUGE, LA 70802
DNA-WORKSHOP.COM
225 (224) 3383

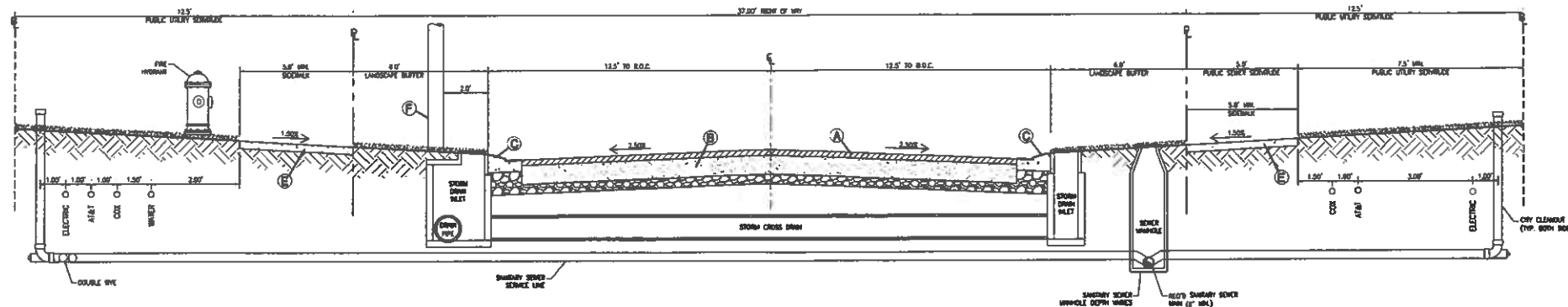


SIGNATURE: _____ DATE: _____
 PROFESSIONAL SEAL: _____
 ARCHITECT
 STATE OF LOUISIANA
 NO. 10000

NOT FOR CONSTRUCTION
 UNLESS SPECIFICALLY NOTED
 OTHERWISE

HOLLYWOOD HEIGHTS FINAL DEVELOPMENT PLAN
 PLANNED UNIT DEVELOPMENT (PUD-1-19)
 BATON ROUGE, LOUISIANA 70805
 EAST BATON ROUGE PARISH
 HOLLYWOOD HEIGHTS, LLC
 402 N. 4TH STREET
 BATON ROUGE, LOUISIANA 70802

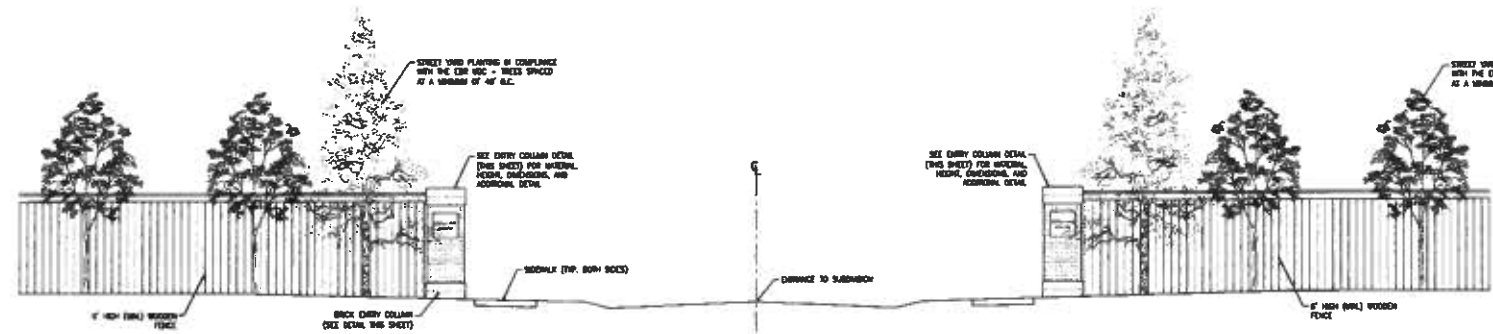
DRAWN: CDS
 CHECKED: M/T
 ISSUED DATE: 4/8/2019
 ISSUED FOR: FDP
 PROJECT NO: 18-002
 FILE: 18-002 SHOTGUN CREOLE & CLUBHOUSE FRONT ELEV
 SHEET:



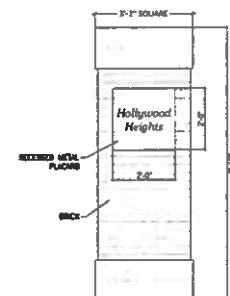
KEYNOTE LEGEND

- (A) ASPHALT/CONCRETE
- (B) SOIL CONDUIT BASE
- (C) CONCRETE CURB AND GUTTER (4" RIMWALL)
- (D) NOT USED
- (E) 4" PORTLAND CEMENT CONCRETE SIDEWALK
- (F) STREET LIGHTING STANDARDS AND FIXTURES

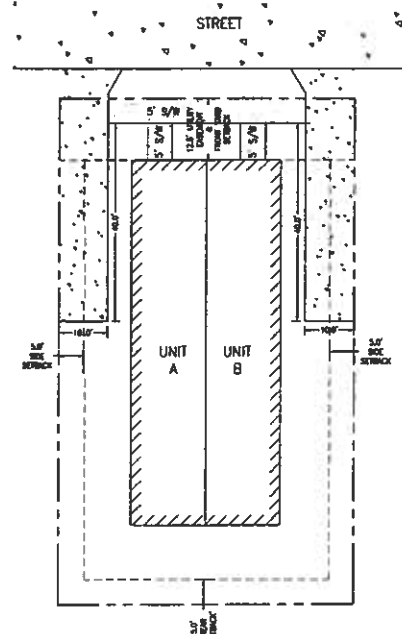
PUBLIC STREET SECTION
2 LANES WITHOUT PARKING
SCALE: N.T.S.



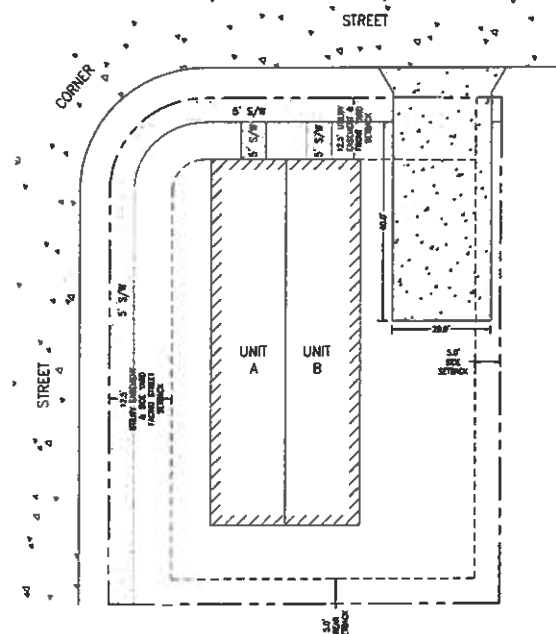
CONCEPTUAL STREET YARD ELEVATION FROM HOLLYWOOD STREET WITH ENTRANCE SIGN DETAIL
SCALE: N.T.S.



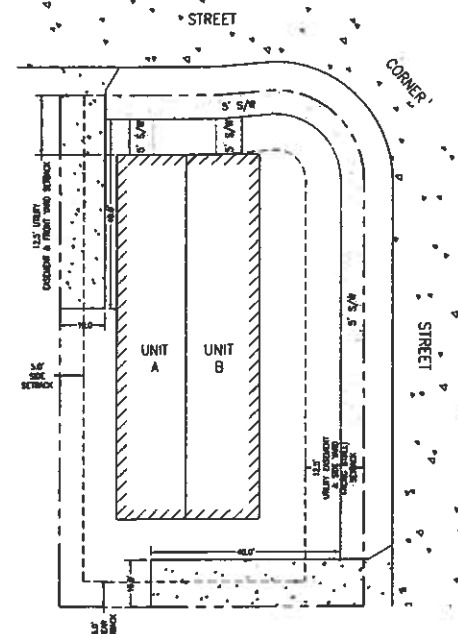
ENTRY COLUMN
SCALE: N.T.S.



TYPICAL LOT
SCALE: N.T.S.

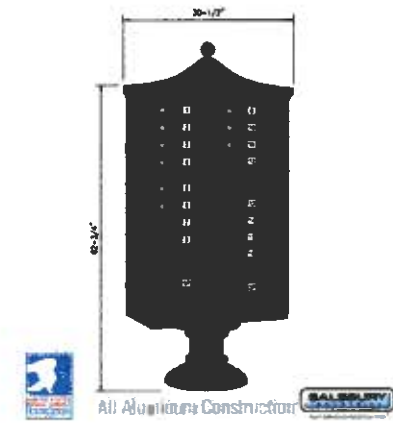


TYPICAL CORNER LOT ALTERNATIVE 1
SCALE: N.T.S.



TYPICAL CORNER LOT ALTERNATIVE 2
SCALE: N.T.S.

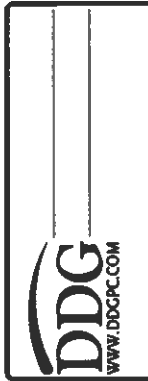
GENERAL NOTES:
1. BASED ON TYPICAL UNIT. BUILDING FOOTINGS SHOWN FOR GENERAL REFERENCE ONLY.
2. NO DIMS SHALL BE BUILT OVER ANY SERVICE.



MAIL KIOSK DETAIL
(OR APPROVED EQUIVALENT)
SCALE: N.T.S.

Not For Construction
TYPICAL SECTION & DETAILS

| REVISION | BY |
|----------|----|
| | |
| | |
| | |
| | |
| | |



DATE: 04/28/2019

LOT NUMBERS:
A, B, 3A, 10, THRU 18
LOCATED IN SECTION 39 &
SECTION 52, T-10 S, R-1-E,
CITY OF BATON ROUGE,
EAST BATON ROUGE PARISH,
LOUISIANA

HOLLYWOOD HEIGHTS FINAL DEVELOPMENT PLAN
PLANNED UNIT DEVELOPMENT (PUD-1-B)
BATON ROUGE, LOUISIANA 70805
EAST BATON ROUGE PARISH
HOLLYWOOD HEIGHTS, LLC
402 N. 4TH STREET
BATON ROUGE, LOUISIANA 70802

| | |
|-------------|----------------------------|
| DRAWN | CDG |
| CHECKED | MTT |
| ISSUED DATE | 4/28/2019 |
| ISSUED FOR | POP |
| PROJECT NO. | 19-502 |
| FILE | 19-502 Section And Details |
| SHEET | 11 |