

Location Map
SCALE: 1" = 1000'



Area Map
SCALE: 1" = 100'

PROJECT INFORMATION	
Building Address:	400 Eddie Robinson Sr Drive Baton Rouge, LA 70802
Project Name:	Hotel Lincoln
Property Description:	
Lot and Block Map No.:	34
Lot No.:	N 1/2 Lot 5
Subdivision:	Lovette Town
Township, Range, Section:	77S R1W Sect 49
CPCC Lot ID No.:	830341981
Lot Size:	64'-0" x 64'-0"
Lot Area:	4,096 sf (0.094 acres)
Project Summary	
Building Description:	The existing structure is the historic Lincoln Hotel that is 4 stories and had 46 hotel rooms on the upper floors, and lobby, a restaurant and a commercial space on the ground floor. The existing structure is load bearing brick masonry exterior walls with structural steel frame. The building was constructed circa 1955 and has been vacant for the last several years. The building is located in the National Eddie Robinson Sr Historic District and listed as a Contributing to the Significance of the District.
Project Description:	The project consists of the historic renovation and adaptive reuse of the former Lincoln Hotel. The upper three floors will be converted to 12 one bedroom apartments and the ground floor lobby, restaurant and retail spaces will be renovated. The proposed restaurant space will allow alcohol sales. The renovation will comply with National Park Service Standards for Preservation and will seek available Historic Tax Credits. There are no proposed additions. Existing street front canopy and roof top billboards will remain.

PLANNING SUMMARY	
Existing Zoning:	C2 Heavy Commercial
Proposed Zoning:	ISPUD
Existing Land Use:	C Commercial
Future Land Use:	MU Mixed Use
Character Area:	Urban / Walkable
Overlay District:	Urban Design Overlay District Three - Government Street
Historic District:	Eddie Robinson Sr National Historic District
Zoning of Adjacent Parcels:	Lot 5 1/2 - C2 Heavy Commercial Lot 4 - C2 Heavy Commercial
Acresage:	0.094
Proposed Density:	12 Units / 0.094 Acres = 127.7 Units / Acre
Building Height:	41'-7" to Roof - 4 Stories (Existing)
Existing Gross Building Area:	Ground Floor: 3,312 SF Second Floor: 3,446 SF Third Floor: 3,446 SF Fourth Floor: 3,446 SF Total Existing Area: 13,650 SF
Proposed Uses:	Multifamily Residential Restaurant with On Premise Alcohol Retail Sales

UTILITIES	
Electric:	Energy
Water:	Baton Rouge Water Co.
Sewer:	East Baton Rouge Parish
Natural Gas:	Energy
Telecommunications:	Cox Communications and AT&T

APPLICABLE CODES	
Building Code	2015 International Building Code
Life Safety Code	2015 NFPA 101 Life Safety Code
Mechanical Code	2015 International Mechanical Code
Plumbing Code	2015 International Plumbing Code
Electrical Code	2014 National Electrical Code
Energy Code	2007 ASHRAE 90.1
Accessibility	2010 ADA-ABA

All Codes noted above include State of Louisiana and City of Baton Rouge / East Baton Rouge Parish Amendments as applicable.

SHEET INDEX		
SHEET NO.	TITLE	DATE
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ISPUD-5	UTILITIES PLAN	25 MAR 2019
ISPUD-6	SITE PLANTING PLAN	25 MAR 2019
ISPUD-7	FLOOR PLANS	25 MAR 2019
ISPUD-8	BUILDING ELEVATIONS	25 MAR 2019
ISPUD-9	BUILDING SECTIONS	25 MAR 2019
ISPUD-10	SIGNAGE AND LIGHTING	25 MAR 2019

PROJECT DIRECTORY	
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HOTEL LINCOLN
400 EDDIE ROBINSON SR DRIVE
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ISPUD-4-19

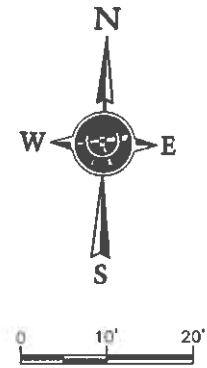
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TITLE
COVER SHEET
ISPUD-1

PC SET 3/25/19

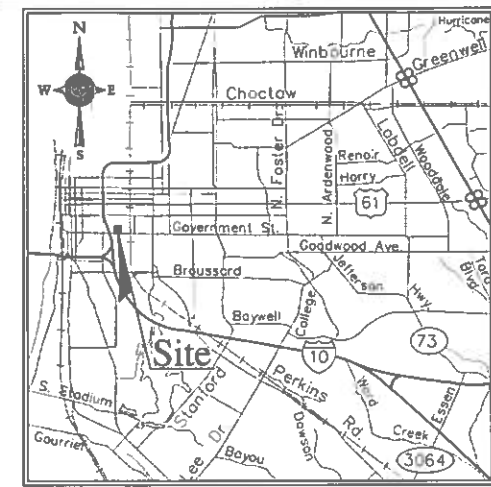
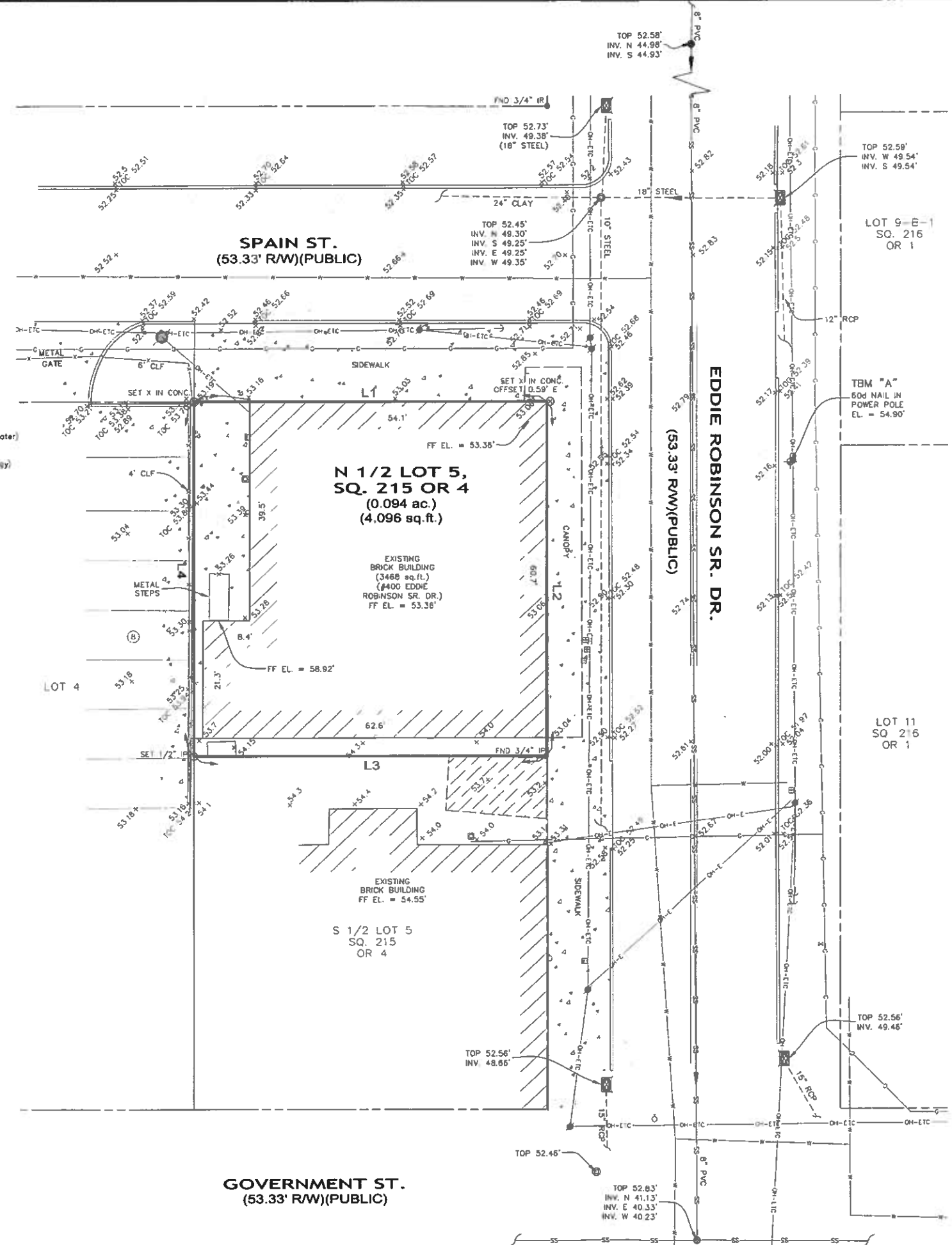


LEGEND

- Property Line
- - - Right of Way Line
- Building Setback Line
- OH-E Overhead Electric
- OH-ETC Overhead Elec., Tele. & Cable
- SS Underground Sewer Line
- Underground Drain Line
- W Underground Water Line
(Approx. location - information provided by BR Water)
- G Underground Gas Line
(Approx. location - information provided by Entergy)
- X Fence Line
- Found Iron Pipe/Rod
- Set 1/2" Iron Pipe
- ⊗ Set "X" Scribbled in Concrete
- ⊕ Power Pole
- ⊙ Guy Anchor
- ⊕ Pole Mounted Transformer
- ⊕ Electric Meter
- ⊕ Pipe Stub-Up
- ⊕ Water Meter
- ⊕ Gas Meter
- ⊕ Gas Valve
- ⊕ Sewer Manhole
- ⊕ Sewer Cleanout
- ⊕ Catch Basin
- ⊕ Drain Manhole
- ⊕ Sign
- ⊕ Bollard
- R/W Right of Way
- B/L Building Setback Line
- RCP Reinforced Concrete Pipe
- CLF Chain Link Fence
- FND Found
- IP Iron Pipe
- TOC Top of Curb
- ⊕ Dumpster
- ⊕ Temporary Bench Mark
- Asphalt Pavement
- Concrete Pavement
- Gravel Pavement

LINE TABLE		
NO.	DIRECTION	DISTANCE
L1	N 88°12'21" E	64.00'
L2	S 01°47'39" E	64.00'
L3	S 88°12'21" W	64.00'
L4	N 01°47'39" W	64.00'

Louisiana
One
Call before
you dig.
1-800-272-3020
(TICKET No. 190115583)



VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

- 1.) Flood Note: In accordance with FEMA Flood Insurance Rate Map Panel No. 22033C0235E for East Baton Rouge Parish Louisiana, last revised May 2, 2008, the property shown hereon is located in Flood Zone "X". The current base flood and inundation elevations are subject to change and should be verified with the Department of Development prior to issuance of building permits. Flood Insurance Rate Maps are revised frequently and can be found online at: msc.fema.gov
- FLOOD AREAS DEFINED:**
Zone "X": Areas determined to be outside the 0.2% annual chance flood plain.
- 2.) Zoning: C2 (Heavy Commercial) Zoning information should be verified with City/Parish Planning Commission.

Yard Requirements:
Minimum Front Yard: 10 feet
Minimum Rear Yard: None
Minimum Side Yard: None
- 3.) Reference Maps:
A. Lorente Town, Sqs. 212 or 1 to 215 or 4, as shown on the Official Map of Baton Rouge made by F. F. Pilet, C.E., Oct. 21, 1930, Sq. 214 or 3, entire Square, by R. Swart, C.E., Dec. 9, 1940, Original 28, Bundle 1355.
- 4.) The survey shown hereon is referenced to the Louisiana State Plane Coordinate System, South Zone, NAD 83. Distances are U.S. Survey Feet.
- 5.) Elevations and TBM's were derived from the Leica Network System using Trimble R8 dual frequency GPS units. NAVD 1988 datum, Geoid 12B.
- 6.) No attempt has been made by LandSource, Inc., to verify title, actual legal ownerships, deed restrictions, servitudes, easements, or other burdens on the property other than that furnished by the client or his representative.
- 7.) Utilities: The underground utilities shown hereon have been located from visible utility features, paint markings made on the ground by utility companies requested by L.A. One Call (Ticket No. 190115583) and/or previous construction drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, except for above ground visible utility features.
- 8.) All spot elevations are not shown for clarity of the drawing.
- 9.) Parking Summary:
Regular Spaces: 8
Handicap Spaces: 0
Total Spaces: 8

MAP SHOWING BOUNDARY & TOPOGRAPHIC SURVEY
OF
THE NORTH HALF OF LOT 5, SQ. 215 OR 4
BEING A PORTION OF LORENTE TOWN LOCATED IN SECTION 51, T-7-S, R-1-W, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA FOR
KIMBLE TEMPLE 420 HOLDINGS, LLC



CERTIFICATION:
I hereby certify that I made a survey on the ground of the property shown and that this drawing accurately reflects the findings of said survey, and that this survey conforms to a Class B Survey in accordance with the State of Louisiana Standards of Practice for Boundary Surveys.

David L. Patterson
David L. Patterson, P.L.S.
La. Registration No. 04784

Date: 2/2/19

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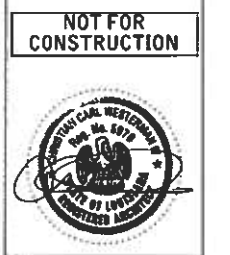
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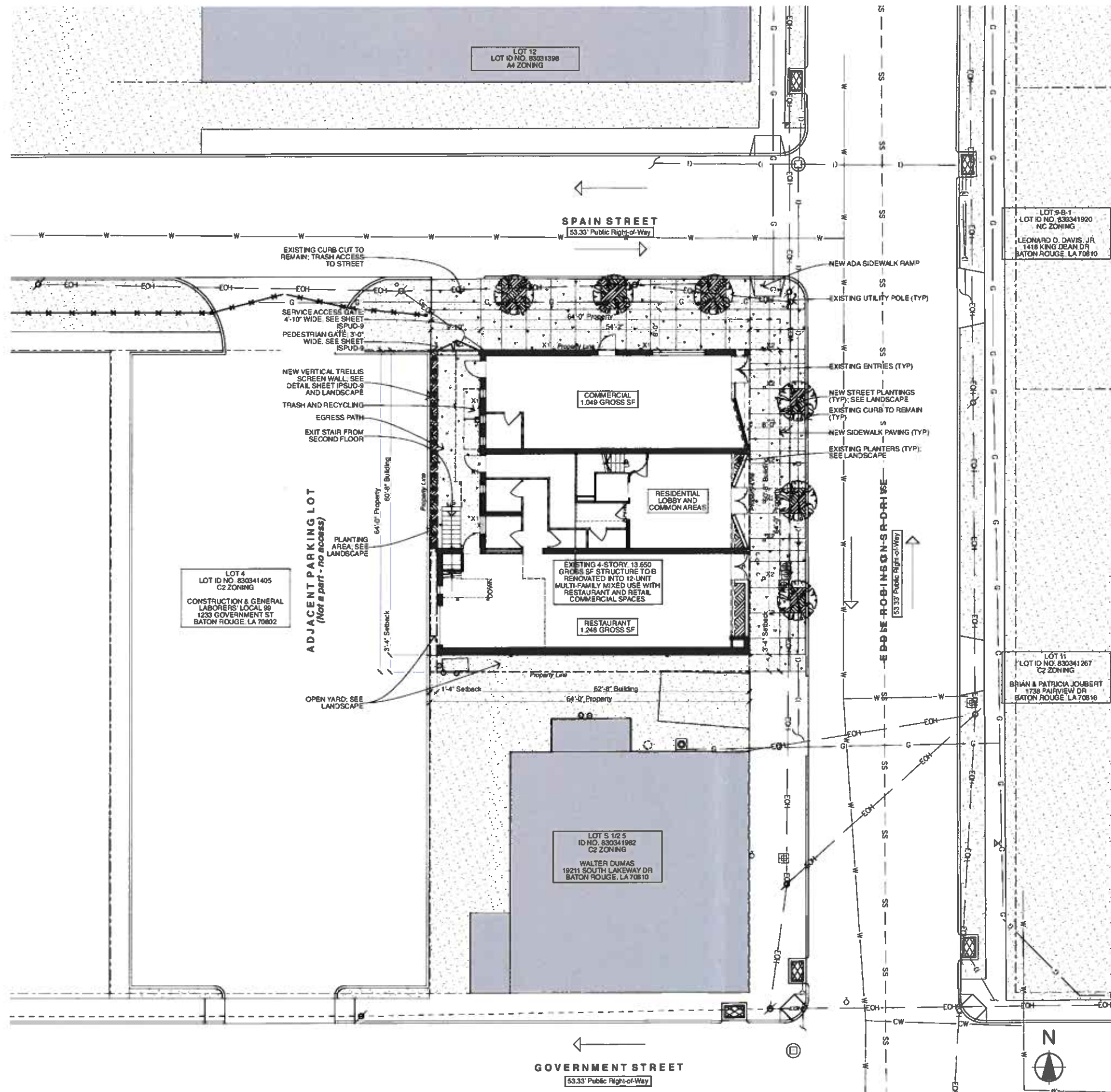
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HOTEL LINCOLN
400 EDDIE ROBINSON SR DRIVE
BATON ROUGE, LA 70802
ISPUD-4-19

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15 MAR 2019



EXISTING CONDITIONS
ISPUD-2



BUILDING SUMMARY	
Proposed Uses:	Multi-family Residential Restaurant with On Premise Alcohol Retail Sales
Current Uses:	Vacant
Prior Uses:	Hotel Restaurant with On Premise Alcohol Retail Sales
Acres:	0.094
Existing Gross Building Area:	Ground Floor: 3,312 SF Second Floor: 3,446 SF Third Floor: 3,446 SF Fourth Floor: 3,446 SF TOTAL EXISTING AREA: 13,650 SF
No. Buildings:	1 (Existing)
Building Height:	41'-7" to Roof - 4 Stories (Existing)

BUILDING USE	
Floor:	Use:
1	Residential Lobby, Restaurant, Commercial
2	Multi-family Dwelling Units
3	Multi-family Dwelling Units
4	Multi-family Dwelling Units

TABLE OF USES							
	Low Density Res.	Medium Density Res.	High Density Res.	Comm. / Office	Public & Semi-Public	Indust.	Open Space
Total # of Units	-	-	12	N/A	N/A	N/A	N/A
Total SF of Bldg	-	-	11,123	2,527	-	-	242
Total Acreage	-	-	0.2553	0.0580	-	-	0.0056
Percent of Site	-	-	271.59	61.70	-	-	5.96

DENSITY		
No. of Units:	/	Area (Acre) = Density
12	/	0.0940 = 127.7 Units/Acre

SITE DATA				
Land Use:	Area (SF)	Area (Acre)	% of Site	Notes
Lot (Existing)	4,096	0.0940	100	-
Building Footprint (Existing)	3,312	0.0750	80.85	-
Site Paving (Existing)	388	0.0089	9.47	Rear Yard and Exit
Recessed Entries (Existing)	154	0.0035	3.72	Paving and Landscape
Open (Existing)	242	0.0056	5.96	Side and Rear Yard

SIGNAGE	
Note: See Architectural Elevations and Sheet ISPU-10 for Signage graphics and dimensions.	
Roof top Billboard:	Existing roof top billboard to be restored with illumination from new lighting.
Projecting Sign:	Existing projecting sign on front elevation to be restored with illumination from new lighting.
Flat Panel Sign:	New flat panel sign mounted on building facade with illumination from new lighting.
Canopy Blade Signs:	Three new non-illuminated blade signs to be suspended from existing canopy on front elevation at each building entry.
Address Signage:	Existing building address signage on face of canopy facade to be replaced with non-illuminated pin mounted numbers.

REFUSE	
Location:	Trash and recycling dumpsters to be located in rear yard off of Spain Street. Hot water and drain with connection to be provided.
Size:	Two to three 2-yard rolling dumpsters to be provided. The dumpsters will be rolled out of gate to Spain Street for collection. See below.
Screening:	Rear yard to be enclosed completely with decorative screened fencing complying with Baton Rouge UDC. See Sheet ISPU-9 and Landscape.
Collection:	Private collection from access on Spain Street. Containers will be rolled out to Spain Street for service by front load waste and recycling trucks. Service is anticipated to be twice a week and frequency may be increased as needed.

LIGHTING	
Note: See Architectural Elevations and Sheet ISPU-10 for Graphic Representation of Light Fixtures.	
X1	Full cut off, LED wall mounted area light to be on rear facade to illuminate rear yard. Bega No. 22 252-K3-BLK
X2	Recessed LED downlighting to be installed at underside of existing canopy. Vantage Lighting No. SO66X2LED-U-750-30K
X3	LED signage flood lighting to be on roof to illuminate existing roof top billboards. Ellpaper No. S172
X4	LED spot lighting to be on canopy roof to illuminate existing projecting sign and new panel sign. Bega No. 77 685-BLK

MAIL	
Centralized mail and parcel boxes to be located internally in residential lobby area.	

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HOTEL LINCOLN
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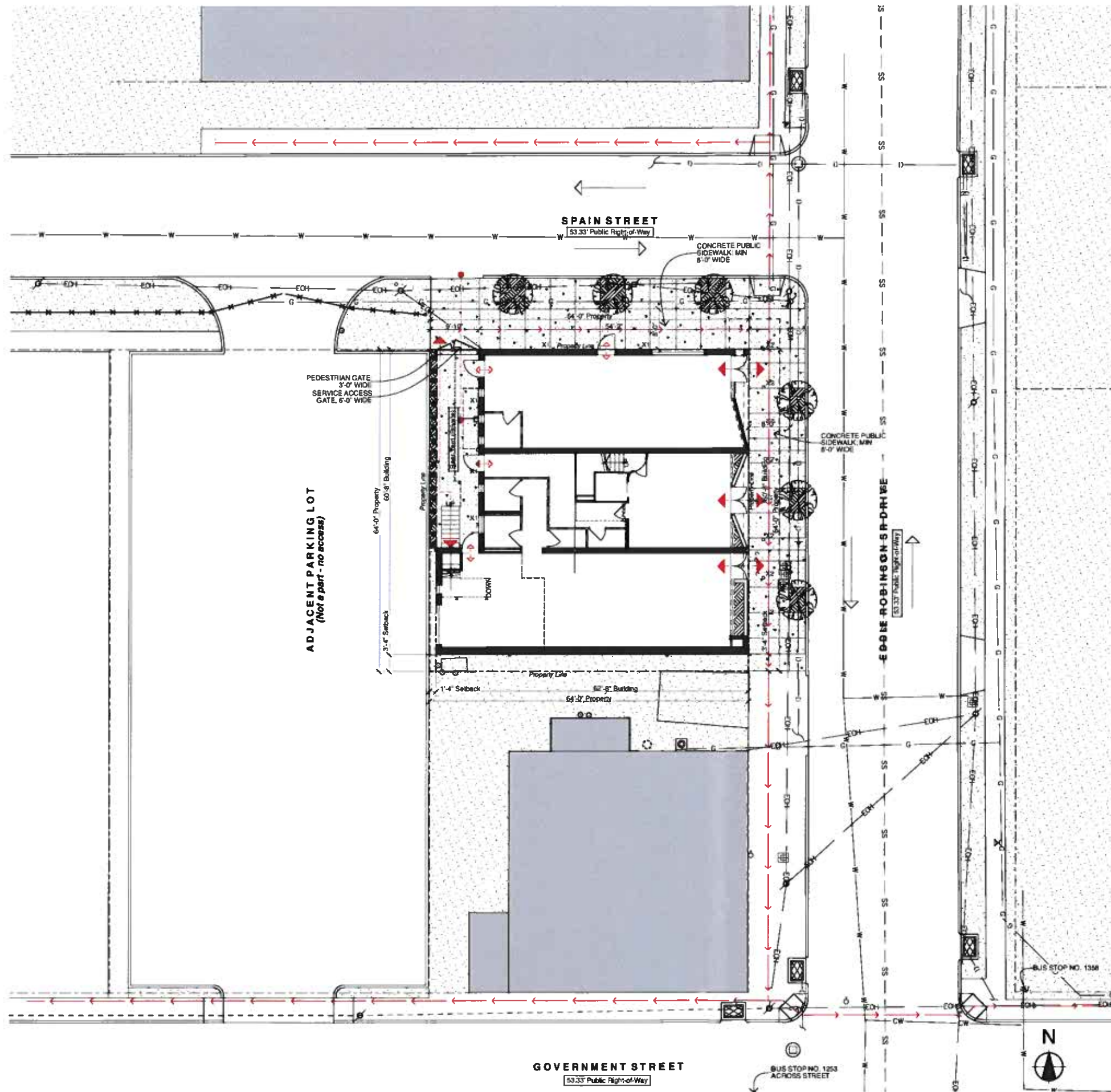
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TITLE

DEVELOPMENT PLAN

ISPUD-3



CIRCULATION LEGEND	
	Primary pedestrian circulation and building entrances and exits.
	Secondary pedestrian circulation and building entrances and exits.
	Route for trash and recycling collection.
	Pedestrian route on adjacent public sidewalks.

CIRCULATION NOTES	
Streets:	Site fronts two existing streets, Eddie Robinson Sr Drive and Spain Street.
Vehicles:	There is no vehicular access or circulation on site.
Pedestrian:	Public pedestrian circulation is on existing public sidewalks with public building access on Eddie Robinson Sr Drive. Private pedestrian circulation for ingress and service located in alley with access through gate on Spain Street.
Service:	Trash and utility service circulation in alley with access through gate on Spain Street. Containers will be rolled out to Spain Street for service by front load waste and recycling trucks. Service is anticipated to be twice a week and frequency may be increased as needed.
Mass Transit:	Existing Capital Area Transit System Highland Road Route 47 is located on Government Street with closest stops at Eddie Robinson Jr Drive and Government Street with access via public sidewalk.

PARKING SUMMARY	
Existing structure was built as a hotel in 1955 per research submitted with the Eddie Robinson Historic District nomination. The hotel had 46 guest rooms and a restaurant and is the last known legally permitted use.	
Per 17.2.2 of the Baton Rouge UDC, "In order to encourage the reuse of existing buildings, any building constructed prior to November 20, 1996 having fewer spaces than required shall be credited with the parking required for the last legally permitted use without regard to the number of parking spaces, if any, that actually exist on the site."	
Prior Use:	Walkable and Urban Character Areas
Hotel and Motel	1 Space per Guest Room + 1 per 300 SF Conference, Banquet or Restaurant
46 Guest Rooms x 1 Space	= 46 Spaces
1,248 SF Restaurant / 300 SF	= 4 Spaces
Total Credit	= 50 Spaces
Provided Spaces	= 0
Off Street Parking Credit	= 50 Spaces
Proposed Uses:	Walkable and Urban Character Areas
Multifamily (One bedroom)	1 Space per Unit
Commercial	1 Space per 300 GFA
Restaurant	1 Space per 250 GFA
12 One Bedroom Units x 1 Space	= 12 Spaces
1,040 SF Commercial / 300 SF	= 4 Spaces
1,248 SF Restaurant / 250 SF	= 5 Spaces
Total Required	= 21 Spaces
Off Street Parking Credit	= 50 Spaces
Total Required Spaces with Credit	= 0 Spaces
Provided Spaces	= 0 Spaces

TABLE OF PARKING SPACES				
	No. Spaces Required	No. Spaces Proposed	No. Handicap Spaces Proposed	Total No. Spaces Proposed
Section, Phase or Filing	0	0	0	0
Section, Phase or Filing				
Section, Phase or Filing				
Total				

Note: See Parking Summary above for required parking and credit calculations per the Baton Rouge UDC.

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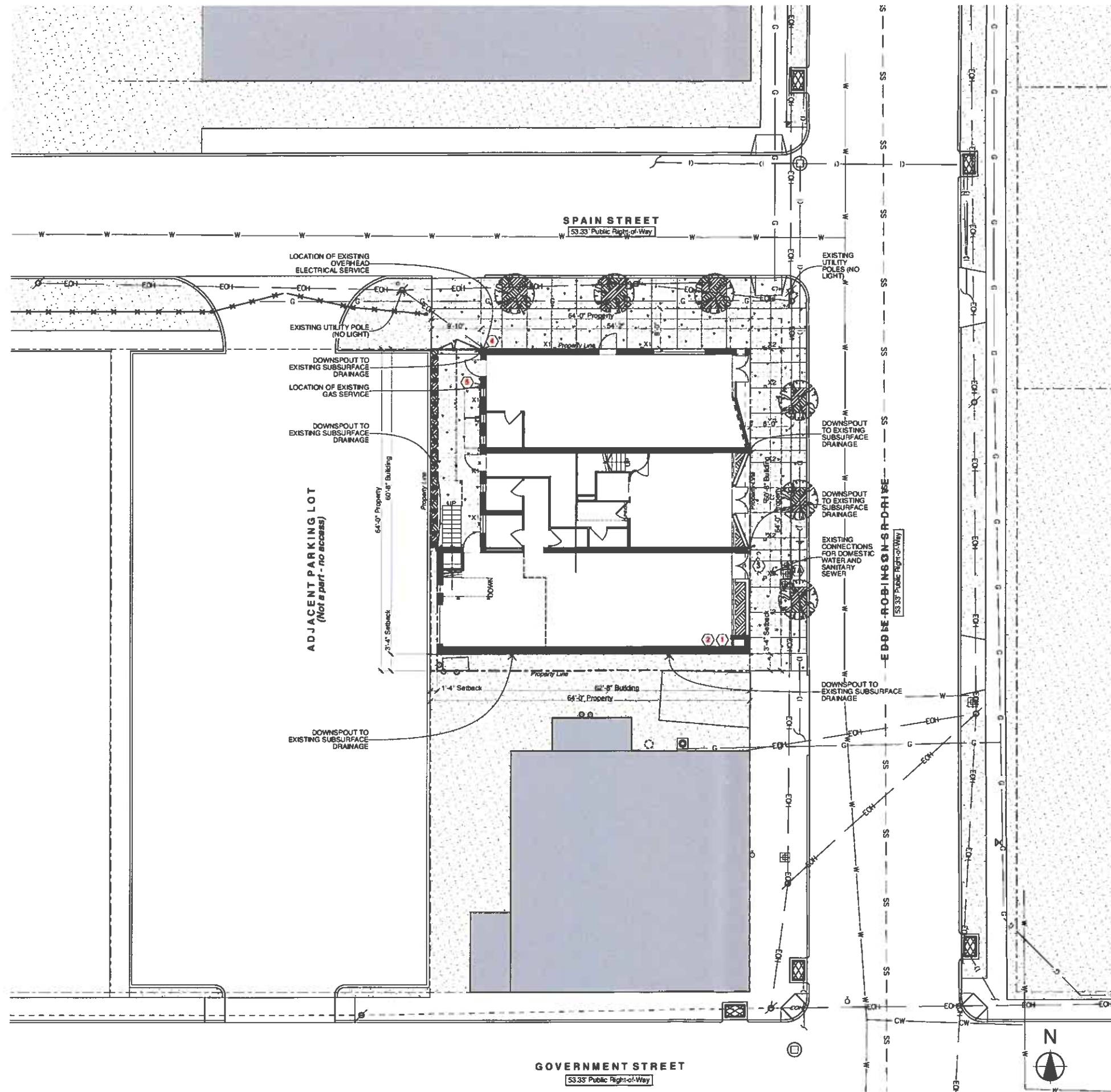
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1 Area Circulation Plan
SCALE: 1" = 10'



UTILITY LEGEND	
--- SS ---	Sanitary Sewer (Underground)
— D —	Storm Drain (Underground)
— W —	Domestic Water (Underground)
— G —	Natural Gas (Underground)
— EOH —	Electric (Overhead)

UTILITY NOTES		
Sanitary Sewer	Existing sanitary sewer system connects to sewer on Eddie Robinson Sr Dr.	Proposed sanitary system to reuse or modify existing connection to municipal sewer system. Grease trap to be provided for restaurant use and trash area drain.
Stormwater Drainage	Existing roof drainage is collected and directed to subsurface drainage with connection to catch lines on Eddie Robinson Sr Dr and/or Spain St.	Proposed stormwater system to reuse or modify existing connection to municipal drain system. Existing subsurface lines to be investigated and repaired or improved.
Domestic Water	Existing domestic water is connected to existing meters on Eddie Robinson Sr Dr.	Proposed domestic water to connect at existing meters. Meter size to be enlarged as required and new back flow preventer installed.
Sprinkler System	No existing system.	Proposed water for new sprinkler system to connect at existing meters or new tap. Meter size to be enlarged as required and new back flow preventer installed.
Gas	Existing gas connection from Spain Street.	Proposed gas system to connect at existing tap. Line size to be enlarged as required.
Electricity	Existing power connection overhead service on Spain Street.	Proposed power to be new overhead service from Spain Street from new transformer.

UTILITY KEY NOTES	
①	Location of underground domestic water service entrance to building from existing connection and meter in sidewalk with new back flow preventer and riser.
①A	Location of existing underground domestic water meters.
②	Location of new underground automatic sprinkler service entrance to building from new connection to new water main on Eddie Robinson Sr Dr with new back flow preventer and riser.
③	Location of existing underground building sanitary sewer connection.
④	Location of existing overhead electrical service from utility pole to meter bank located on side of building.
⑤	Location of existing underground gas service.

STORMWATER NOTES	
Existing roof drainage is captured by roof gutter system and routed by downspouts to existing subsurface drainage. Existing canopy roof drainage captured by internal drains and routed to existing subsurface drainage. Existing subsurface drainage to remain and cleaned and/or repaired as necessary.	
Stormwater Management Plan	Per Baton Rouge UDC Section 15.13.1 a stormwater management plan is not required per the standards of applicability. The project is a restoration of the existing structure with no change in building footprint.
Drainage Impact Study	Per Baton Rouge UDC Section 15.15.A Exemption No 2, no Drainage Impact Study is required. There is no increase in stormwater, which is less than the 10% increase allowed for existing developments per the exemption.
Water Quality Impact Study	Per Baton Rouge UDC Section 15.17.A Exemption No 1, no Water Quality Impact Study is required. The site is 0.0940 acres which is less than the 1 acre minimum requiring the study per the exemption.

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TITLE
UTILITIES PLAN
 ISPUD-5

1 Area Utility Plan
 SCALE 1" = 10'

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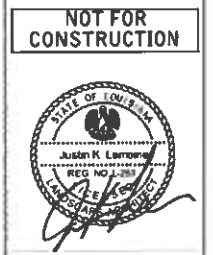
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**SITE PLANTING
PLAN**

ISPUD-6

PLANT SCHEDULE

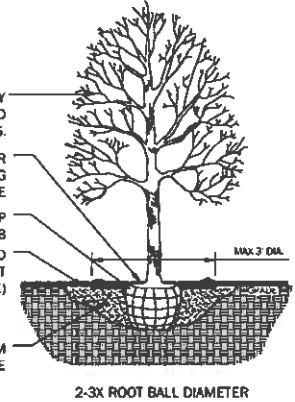
TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT.	GAL.	SIZE
	6	Ilex coccinea / Dahoon Holly	45	3" Gal	8'-9" H X 3'-4" W
	6	Cephalotaxus harringtonia proratata / Creeping Japanese Plum Yew	3	gal	
	8	Epidendrum aureum / Golden Pothos	1	gal	
	96	Liriope muscari / Super Blue / Super Blue Liriope	1	gal	Min 12" Tall
	6	Sanseveria trifasciata / Mother-in-law's Tongue	1	gal	
	10	Trachelospermum jasminoides / Confederate / Confederate Jasmine	1	gal	
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT.	SIZE	SPACING
	173 sf	Planting Soil / Planting Soil 8" deep with 3" pine straw mulch on top		Soil	

REVISED BATON ROUGE CODE MATRIX FOR:
HOTEL LINCOLN REDEVELOPMENT

Street Yard:	Urban Walkable Character Area
178.00 LF Urban Walkable Character Area	
64.00 EA One Class B Tree / 20 LF (or 3 Class A Trees) along Spain Street	
64.00 EA One Class B Tree / 20 LF (or 3 Class A Trees) along Eddie Robinson Sr. Dr.	
Required Buffers Between Abutting Properties	
LF	159.00 L2 Bufferyard
EA One Class A Tree/40 LF	
LF Six Foot Tall Screen along Property	
Parking Lot Landscaping	
Urban Walkable Character Area	
Inter or Islands	
n/a Interior landscape islands provided for every 10 parking spaces in a single row.	
n/a Tree wells for Class A trees shall be 36 SF Min, Class B trees 25 SF Min.	
n/a Interior islands may be consolidated to preserve existing trees	
Terminal Islands	
n/a All rows of spaces shall terminate in a curbed landscape island	
n/a Terminal islands shall be min. 5' in width, no shorter than 2' length of parking spaces	
Median Islands	
n/a Curbed island min. 6' between every 6 single parking rows	
n/a Median intervals may be expanded to reserve existing trees	
* indicates provided in existing but to be provided	
n/a indicates that it is not applicable to this project based upon site design	

NOTE: TREE STAKING FOR TREES SHALL NOT CONSIST OF METAL T POSTS OR WIRE RESTRAINTS.

- DO NOT REDUCE CROWN, PRUNE ONLY DAMAGED OR POORLY STRUCTURED BRANCHES.
- ROOT COLLAR SHOULD BE LEVEL OR SLIGHTLY ABOVE THE SURROUNDING GRADE
- REMOVE WIRE AND BURLAP FROM TOP ONE THIRD OF WIRE BASKET IF B&B
- 3" MULCH LAYER (DO NOT MOUND MULCH AROUND TREE TRUNK ROOT FLARE)
- BACKFILLED WITH SOIL REMOVED FROM THE HOLE
- ALL TREES THAT DO NOT HAVE IRRIGATION MUST HAVE GATOR BAGS FOR INITIAL WATERING



2 TREE PLANTING FOR WELL-DRAINED SOIL

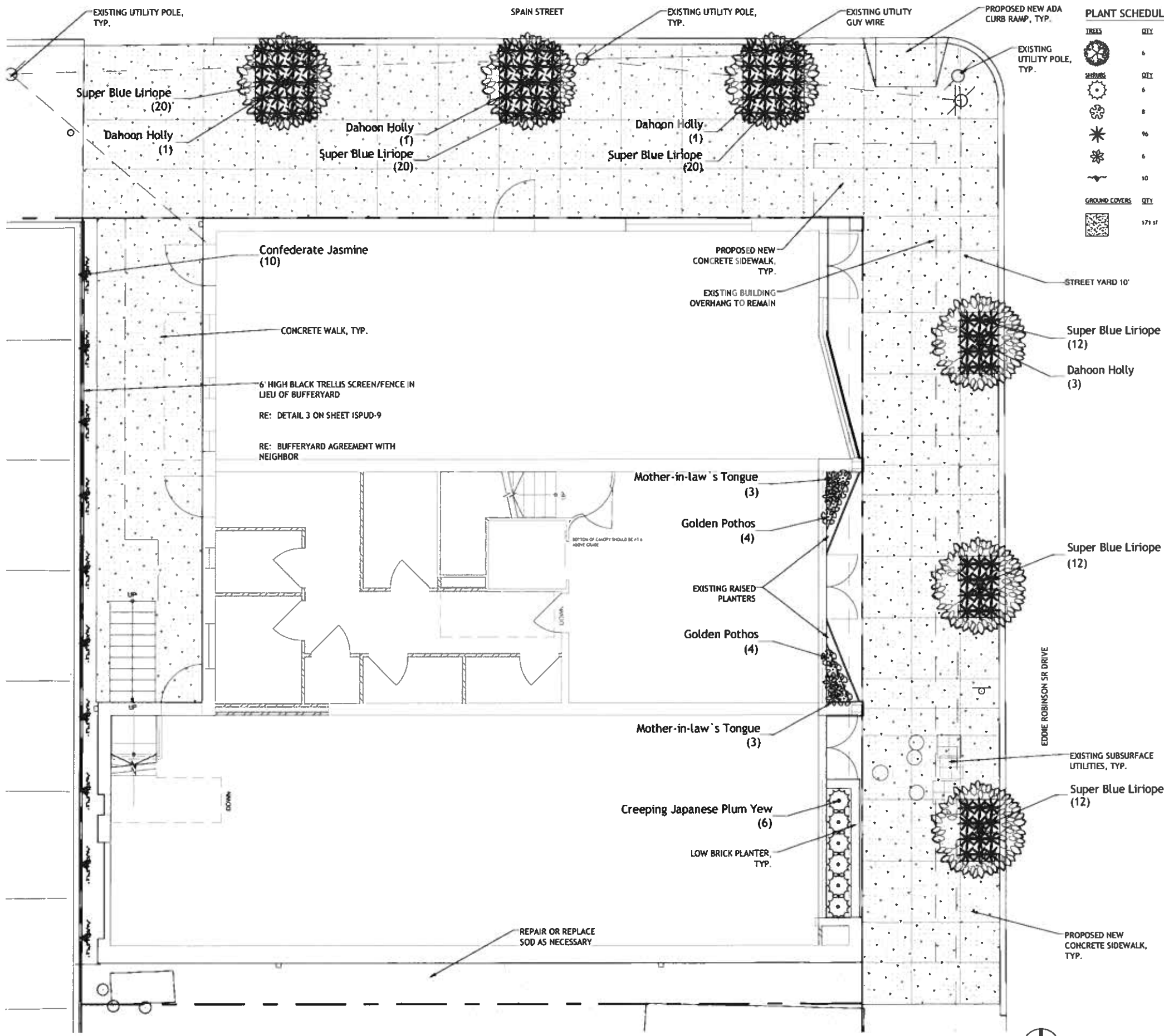
NTS 328043 13-01

NOTES TO CONTRACTOR

- Contractor shall bear the full responsibility in verifying locations of existing site utilities and shall be responsible for any damage to said utilities during construction.
- All tree, shrub, and bed locations are to be laid out in the field by the Contractor and approved by the landscape architect prior to installation. Give landscape architect 72 hours notice.
- Quantities are given for informational purposes only. The contractor shall be responsible for performing an independent take-off to determine quantities that meet the design intent.
- All plant material shall be container grown unless noted otherwise.
- Call the landscape architect at (225) 931-4863 to answer any questions.
- Finish grade of sod panels must be flush with top of curb or edge of pavement in a straight, uniform pattern free from all debris.
- Apply an approved pre-emergent herbicide to all bed prep areas.
- Refer to written specifications for detailed requirements.
- Provide protection to all finished work until accepted by owner.
- Do not begin installation of planting materials and sod until irrigation system is installed and functional, if an irrigation system is to be installed.
- All trees to have gator bags for initial watering.

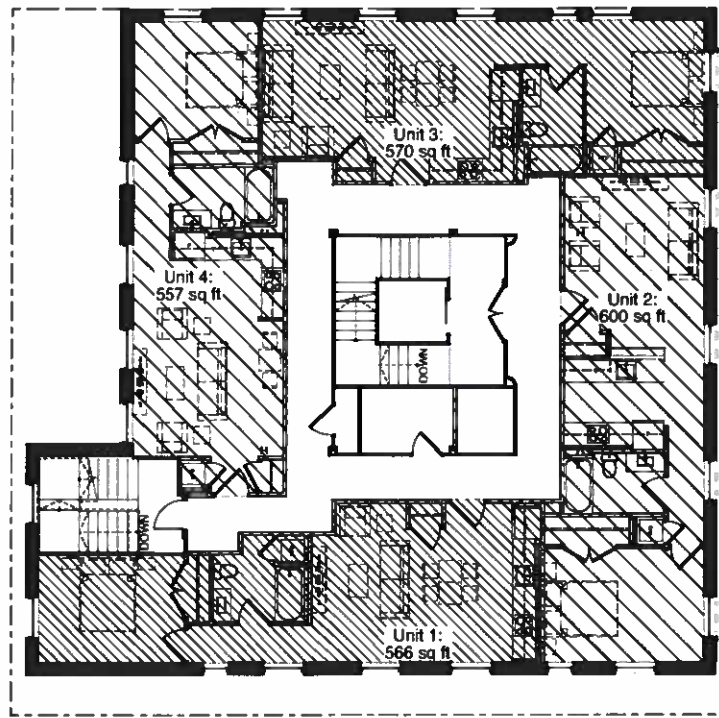
ELIS
landscape architecture studio

541 S EUGENE ST.
Baton Rouge, LA 70806
(225) 388-5351



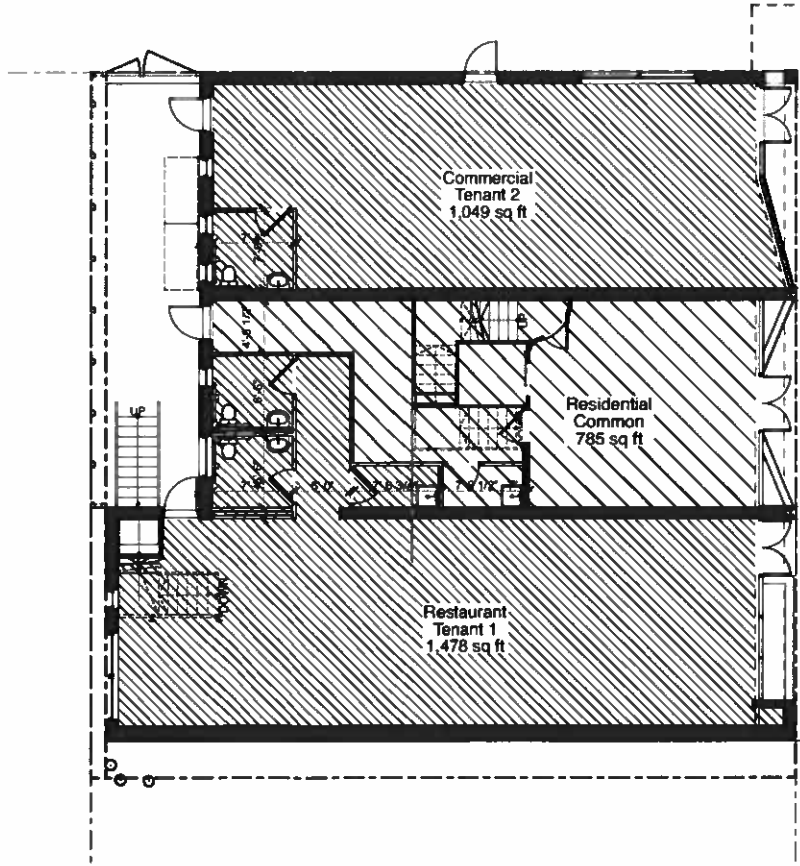
1 SITE LAYOUT PLAN

SCALE: 1/4" = 1'-0"



2 Typical Floor Plan

SCALE: 1/8" = 1'-0"



1 Ground Floor Plan

SCALE: 1/8" = 1'-0"



3420 Omnispace Street
Lafayette, Louisiana 70115
504.645.5057
Civil Engineer.

Fox-Metal Engineering LLC
9300 Bluebonnet Centre Blvd, Suite 201
Baton Rouge, Louisiana 70809
225.293.6595
Structural Engineer.

Fox-Metal Engineering LLC
1515 Poydras Street, Suite 1020
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225.293.6595
Mechanical and Plumbing Engineer.

EMR Consulting Engineers LLC
6501 Spanish Fort Blvd.
New Orleans, Louisiana 70124
504.603.0337
Electrical Engineer.

EDS, Inc.
17404 Chevre Creek Over
Prairieville, Louisiana 70769
504.645.3482
Landscape Architect.

ELLS Architects + Landscape Studio
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225.388.5351
Owner.

Hotel Lincoln, LLC
1760 May Street
Baton Rouge, LA 70808
225.424.2600

HOTEL LINCOLN
400 EDDIE ROBINSON SR DRIVE
BATON ROUGE, LA 70802
ISPUD-4-19

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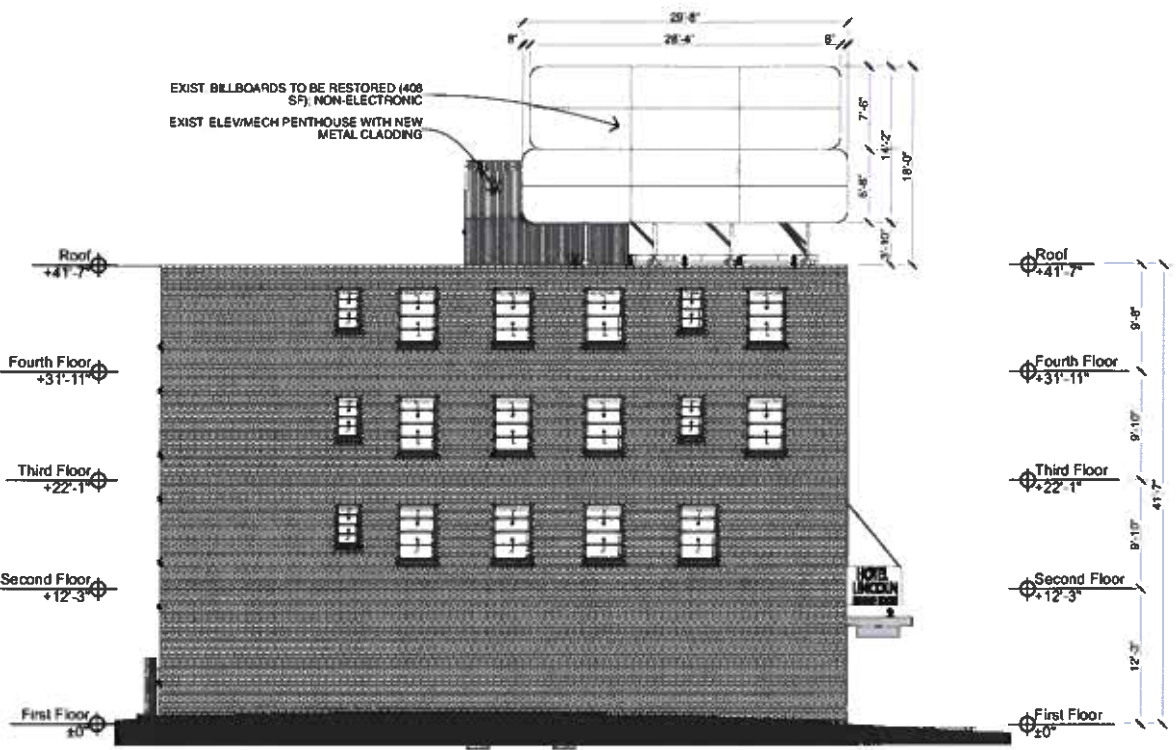
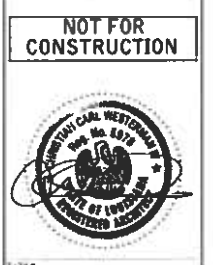
PN	10014
DB	CCW
DATE	ISSUE
28 FEB 2019	ISPUD Submittal
25 MAR 2019	ISPUD Submittal

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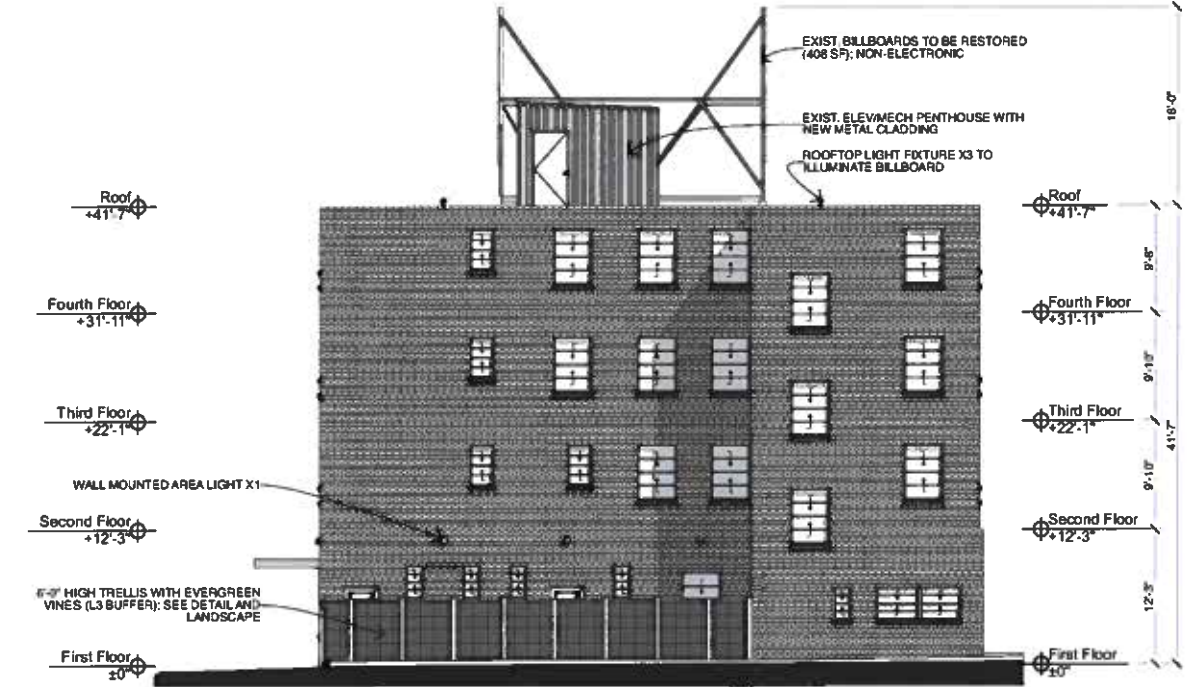


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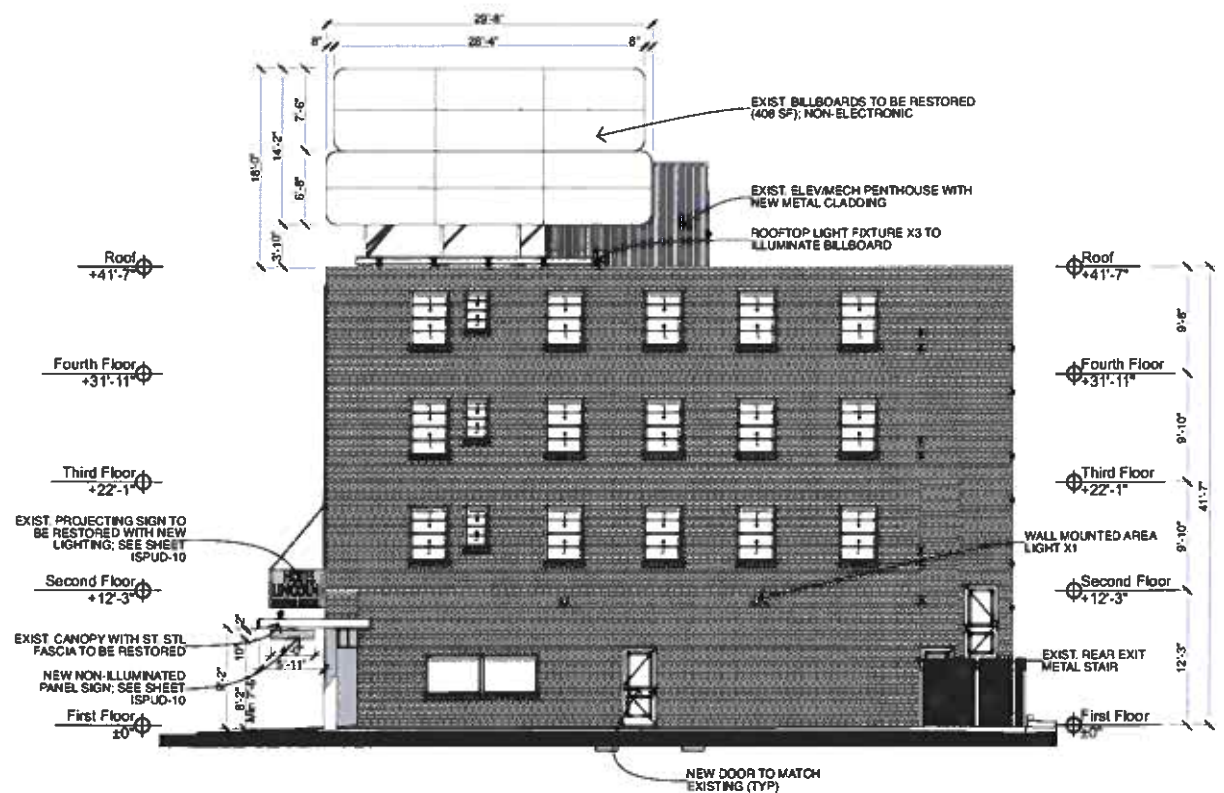
FLOOR PLANS



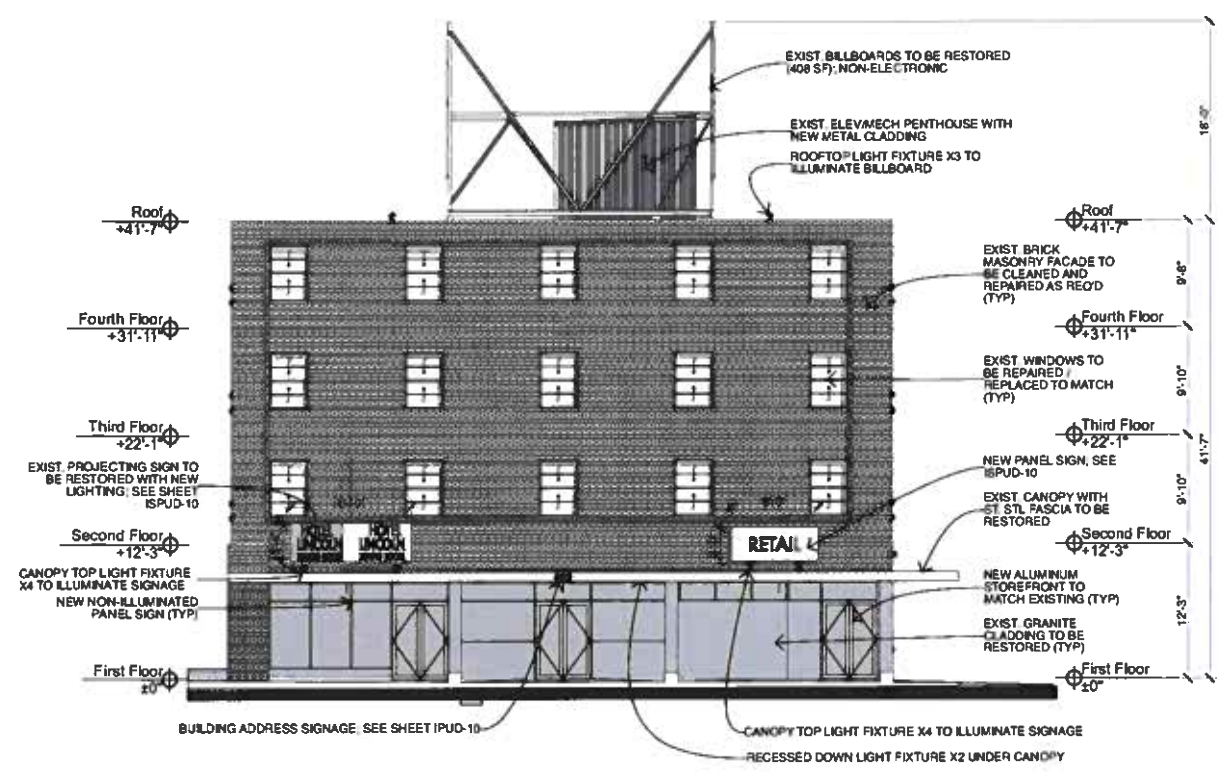
4 South Elevation
SCALE: 1/8" = 1'-0"



3 West Elevation
SCALE: 1/8" = 1'-0"

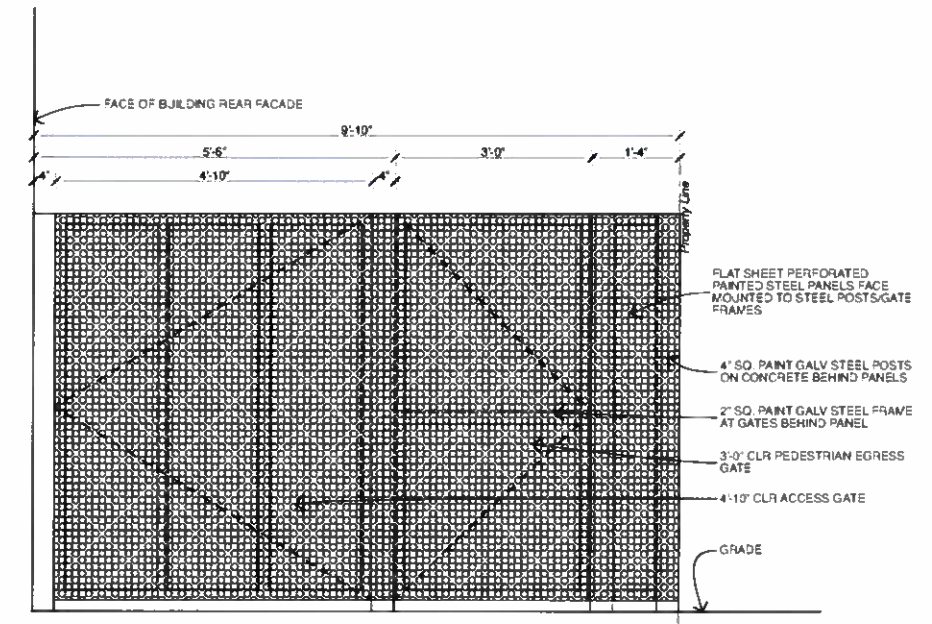


2 North Elevation
SCALE: 1/8" = 1'-0"

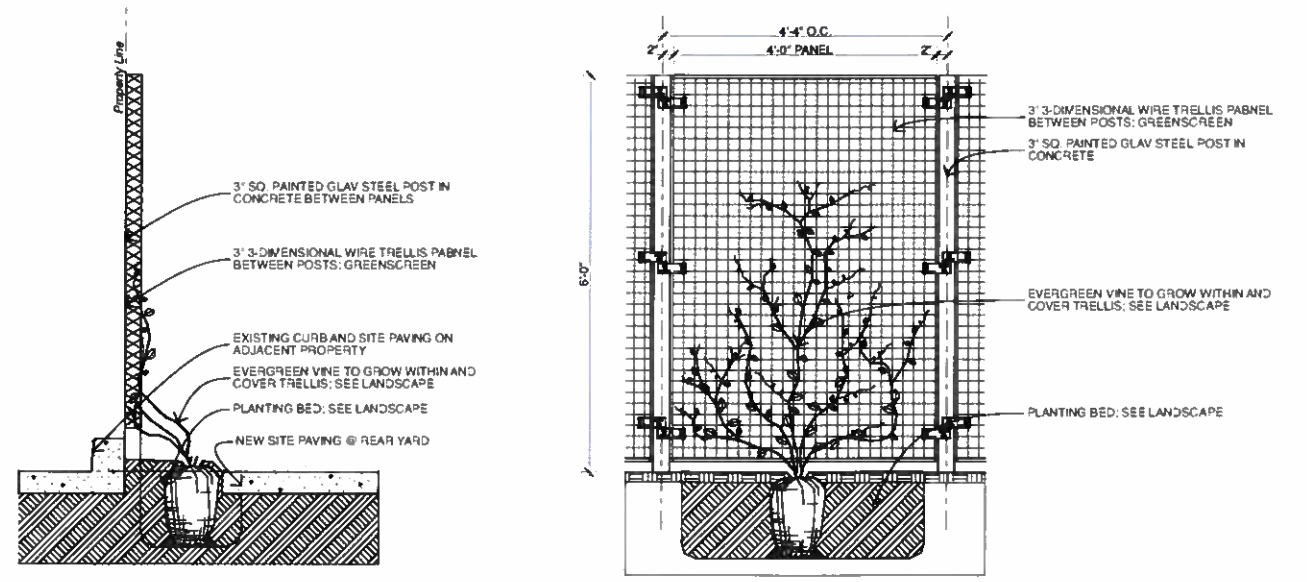


1 East Elevation
SCALE: 1/8" = 1'-0"

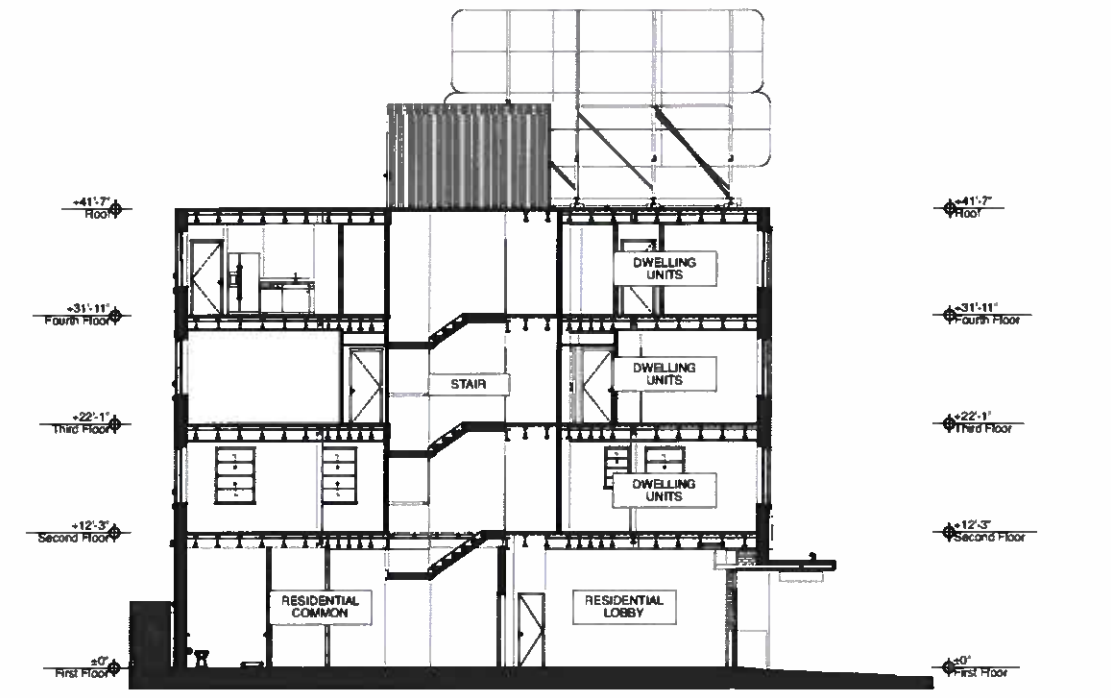
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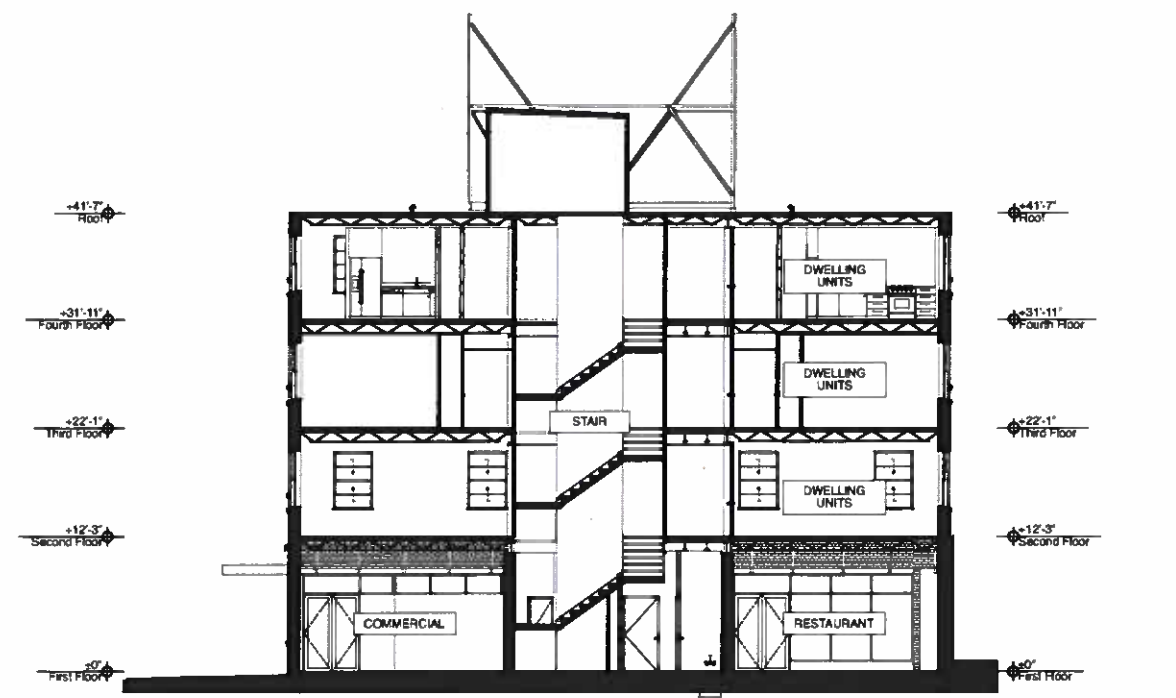
4 Gates @ Rear Yard Detail
SCALE: 3/4" = 1'-0"



3 Buffer Trellis @ Rear Yard Detail
SCALE: 3/4" = 1'-0"



2 W-E Building Section
SCALE: 1/8" = 1'-0"



1 N-S Building Section
SCALE: 1/8" = 1'-0"

2425 Westlake Street
Lake Charles, Louisiana 70603
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Structural Engineer

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Landscape Architect

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Interior

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ISPUD-4-19

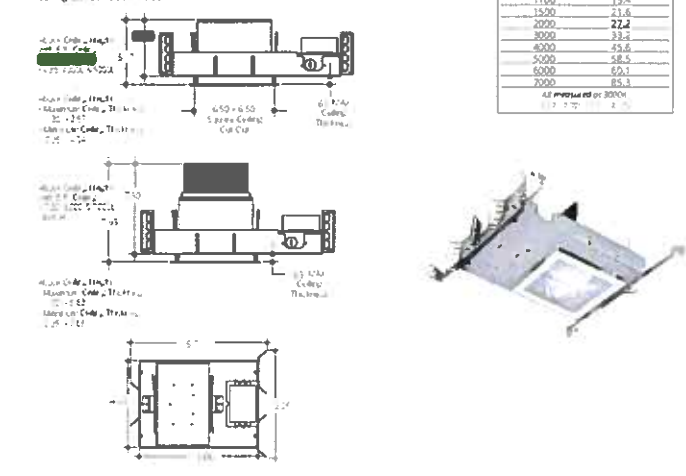
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PN 18014
DB CCW
DATE 28 FEB 2019 ISSUE
25 MAR 2019 ISPUD Submittal
ISPUD Submittal

NOT FOR CONSTRUCTION



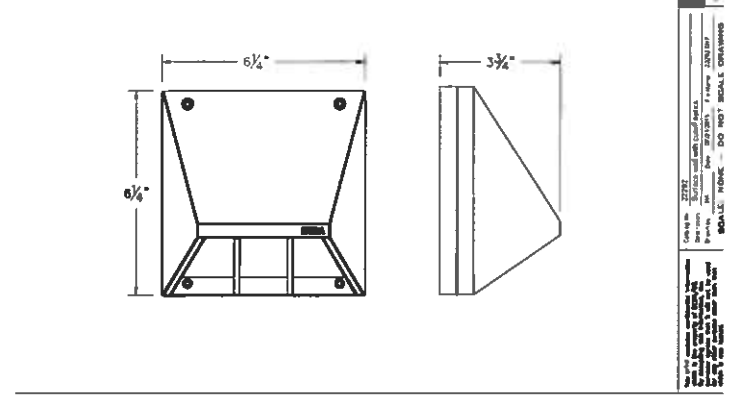
SIGNAGE AND LIGHTING
ISPUD-10

LED 6"x6" Lensed Square Downlight, non-IC, 750-7000 Lumens
Ceiling Cut Out 6.50" x 6.50"

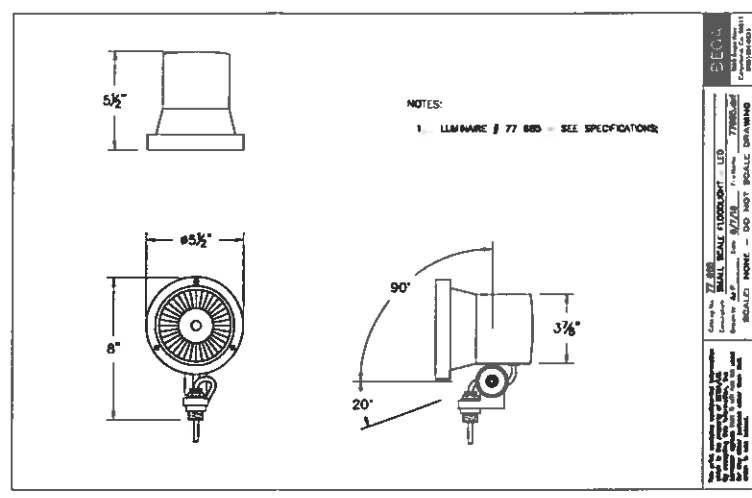


3 Recessed Canopy Downlight Light Fixture X2

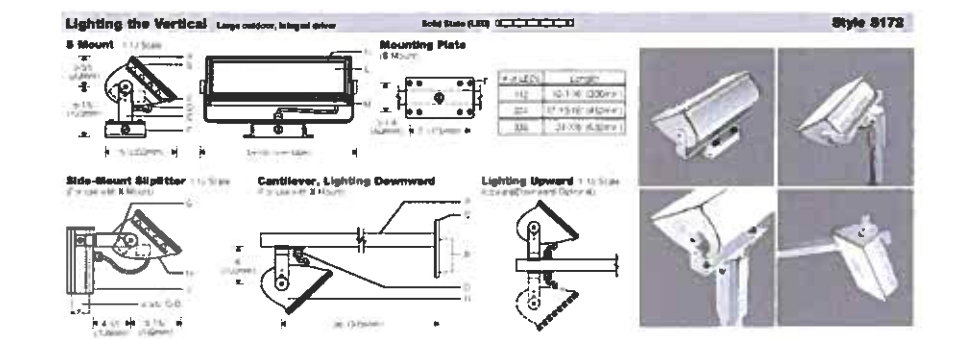
NOTES:
1. LUMINAIRE 22 292 - SEE SPECIFICATIONS



2 Wall Light Fixture X1



5 Signage Light Fixture X4



4 Roof Top Billboard Light Fixture X3

1 Signage
SCALE: 3/8" = 1'-0"

