



Office of the Planning Commission

City of Baton Rouge and Parish of East Baton Rouge
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Frank M. Duke, FAICP
 Planning Director

April 4, 2019

TO: Planning Commission
 THROUGH: Frank M. Duke, FAICP, Planning Director *[Signature]*
 FROM: Blanca Tejera, Senior Planner **BAT**
 SUBJECT: **ISPUD 3-19** Mid City Redevelopment Alliance

Application Summary			
Applicant	Samuel Sanders	Submittal Date	February 15, 2019
Design Professional	Map Design Group, LLC		
Lot and Block	28	Site Area	0.37 acres
Location	South of Main Street, north of Laurel Street and west side of N 24 th Street, on Lots 8, 9, 10, 11, and 12, of the Parkview Subdivision (Council District 10-Wicker)		
Planning Commission Meeting Date	April 15, 2019	Metropolitan Council Meeting Date	May 15, 2019
Request			
Requested Zoning	Infill/ Mixed Use Small Planned Unit Development (ISPUD)		
Proposed Use(s)	Four single family residential lots		
Overall Residential Density	10.52 units per acre	Number of Units	4 units
Site Characteristics			
FUTUREBR Land Use Designation	Compact Neighborhood	Character Area	Urban/Walkable
Existing Zoning	Limited Residential (A3.1), Heavy Commercial (C2)	Overlay District	None
Existing Use	Undeveloped, vacant	Special Flood Hazard	None
Existing Development Potential	Five single family homes		
Area Characteristics			
Surrounding Zoning	A3.1, C2		
Surrounding Uses	Medium density single family residential, car wash, educational institution, religious institution, undeveloped, vacant		

Findings

Staff certifies that the proposed request meets the minimum criteria for an Infill/ Mixed Use Small Planned Unit Development being consistent with the Comprehensive Plan, compatible with surrounding uses, and conforming to Unified Development Code requirements

Case History –Site

- None

Case History –Area

- None

Comprehensive Plan Consistency

- Consistent with the designation of Compact Neighborhood on the Future Land Use Map
- Consistent with Housing Action Item 5.1.3: Encourage development in downtown Baton Rouge, the City's inner neighborhoods, and in transportation efficient locations across the City-Parish

Neighborhood Compatibility

- Subject property located in a residential area, with medium density and vacant uses
- Will not change existing land use patterns

Regulatory Issues

- Street yard planting area is required along the entire street frontage
 - Class B trees proposed at 1 per 20 ft along North 24th Street
- Existing 4 foot pedestrian circulation sidewalk along North 24th Street to promote walkability
 - Proposed widening to 5 foot sidewalk
- No signage proposed
- Parking meets the minimum requirements of the UDC, shown in chart below:

Parking			
	Required	Proposed	Meets Requirements
Auto Spaces	8	8	Yes

- Proposed setbacks shown in chart below:

Setbacks		
Yards (A3.1)	Typical	Provided
Front	20 ft	10 ft
Side	10 ft	4 ft
Rear	25 ft	10 ft

Environmental Issues

- No environmental issues have been identified

Community Outreach/Notification

- BREC notification March 21, 2019

- Subject property posted on March 22, 2019
- Public Notification Cards mailed to property owners within 300 foot radius on March 29, 2019
- Staff reports available to review on April 4, 2019 at <http://la-batonrouge.civicplus.com/AgendaCenter/Planning-Commission-12>
- Legal advertisement published in The Advocate on April 5, 9, and 11, 2019

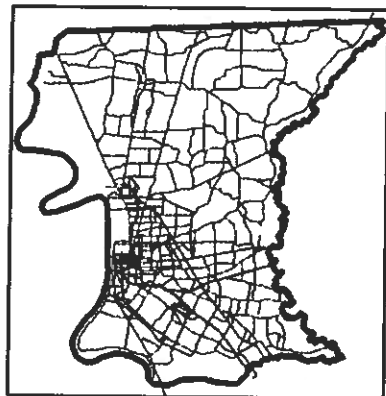
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Legend

- Current Case
- Previous Relevant Cases
- Notified of Public Hearing
- Zoning Graphic
- Lot Graphic
- Special Flood Hazard Area
- A1** Zoning Labels



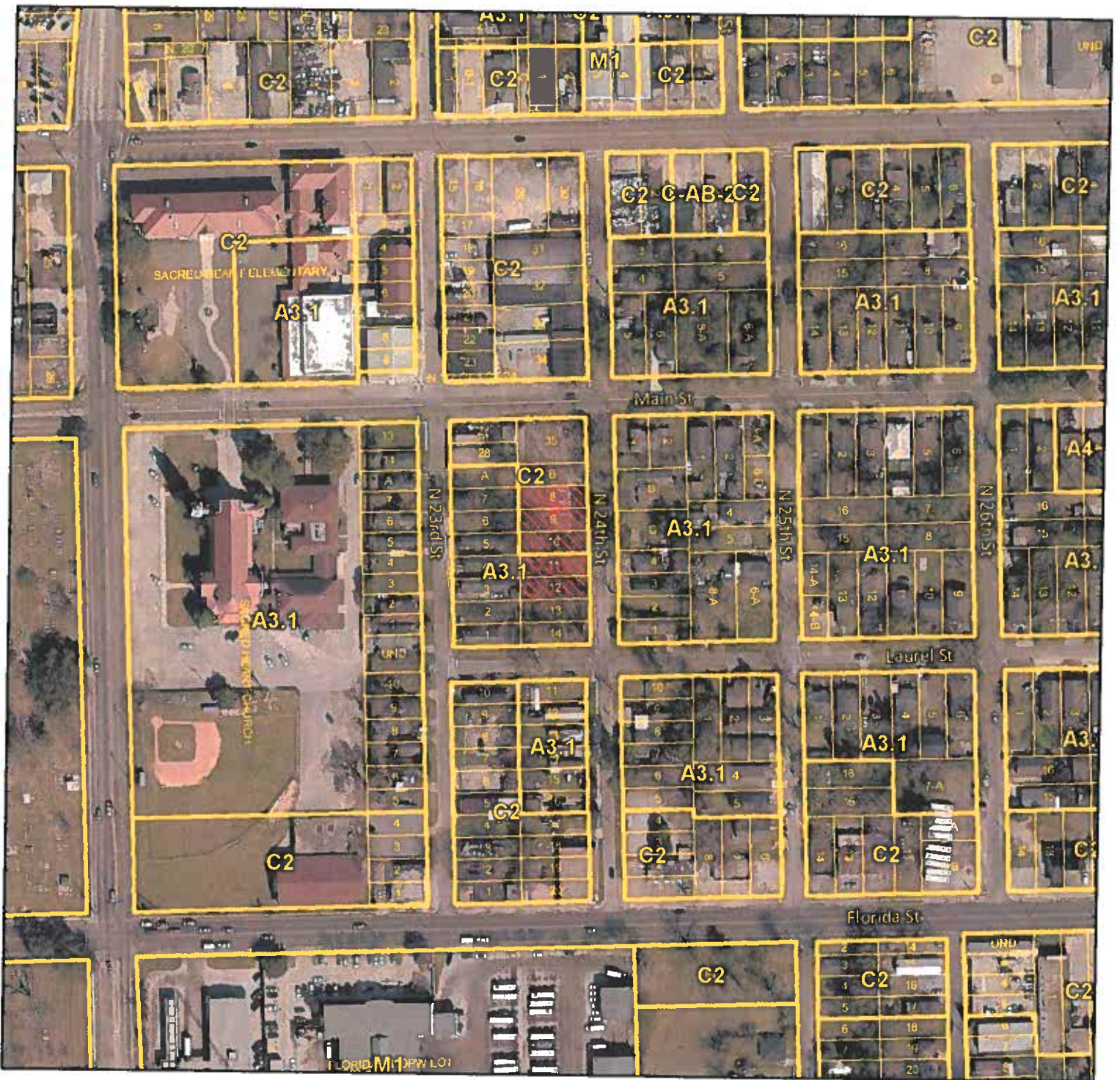
ISPUD-3-19

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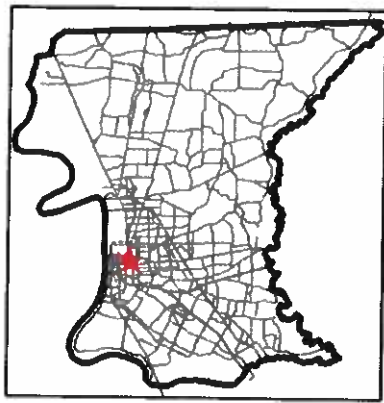
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Legend

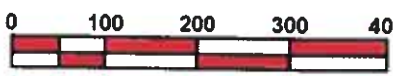
-  Current Case
-  Zoning Graphic
-  Lot Graphic
- A1** Zoning Labels



ISPUD-3-19



N



SCALE

