

# INFILL SMALL PLANNED UNIT DEVELOPMENT

## ISPUD-3-19



LOTS 8-12  
 449 N. 24TH STREET, 435 N. 24TH STREET, 400-500 UND N. 24TH STREET, 421 N. 24TH STREET, 415 N. 24TH STREET  
 PARKVIEW SUBDIVISION  
 SECTION 47, T7S,R1W  
 GREENBURG LAND DISTRICT  
 EAST BATON ROUGE PARISH, LOUISIANA

DENSITY: 10.52 UNITS/AC



### GENERAL NOTES:

GENERAL NOTES:	
EXISTING ZONING	A3.1 AND C2
PROPOSED USED	SINGLE FAMILY
MAX BUILDING HEIGHT	1 STORY; APPROX 17'
FUTURE LAND USE	URBAN NEIGHBORHOOD
CHARACTER	URBAN/WALKABLE
ACREAGE	0.37 AC
PARKING	CONCRETE
SIDEWALK	5'
100- YEAR FLOOD ZONE	ZONE X BFE=36.0'
SEWER	CONNECT TO W.S.T.N
FIRE DISTRICT	BATON ROUGE FIRE DEPARTMENT
ELECTRIC COMPANY	ENTERGY
GAS COMPANY	ENTERGY
TELEPHONE	AT&T/COX
CABLE TV	AT&T/COX
WATER DISTRICT	BATON ROUGE WATER DISTRICT
SIGNAGE	NO SIGNAGE

LOT NO.:	ACRE	PARKING REQD	PARKING PROVIDED
LOT 8A	0.092	2	2
LOT 9A	0.092	2	2
LOT 10A	0.092	2	2
LOT 11A	0.092	2	2

TABLE OF USES						
	LDR	MDR	HDR	COMM/OFF	PUB/SEM I PUB	IND OPEN SPACE
TOTAL UNITS		4				
TOTAL BIG SQ. FT.		12000				
TOTAL ACREAGE		0.37				
PERCENT OF SITE		100				

### PROJECT INFORMATION:

**GENERAL DESCRIPTION:**  
 ISPUD NO. 3-19

**DESCRIPTION**  
 BLOCK NUMBER 4, LOTS 8-12  
 LOTS ID:  
 910282515 FOR LOT 8  
 910282516 FOR LOT 9  
 910282517 FOR LOT 10  
 910282518 FOR LOT 11  
 910282519 FOR LOT 12  
 N. 24<sup>TH</sup> STREET  
 Baton Rouge, La 70802

**CHARACTER AREA = URBAN WALKABLE**

This development lies with Parkview Subdivision and encompasses a 0.37-acre portion of Block 4 consisting of lots 8A, 9A, 10A, 11A. This property is located within the Redevelopment Overlay District One - Old Town.

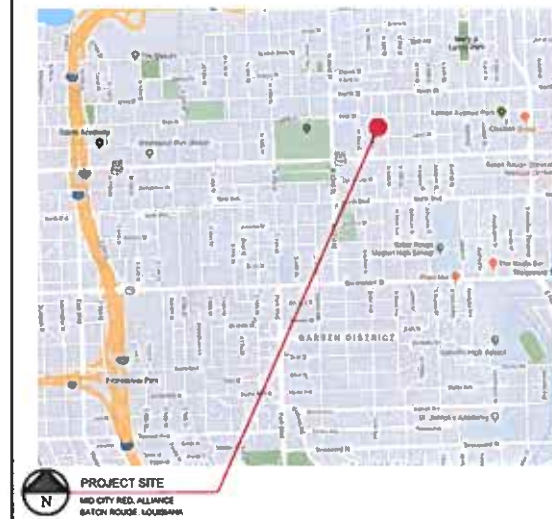
**Setback Proposed**  
 Min front yard setback - 10'  
 Min rear setback - 10'  
 Min side setback - 4'

**DENSITY**  
 Compact Neighborhood - 4 UNITS / 0.37 AC = 10.52 UNITS/AC.

The new development will include a total 4 single family dwelling. Lots are served by a private driveway in the front for each lot. Lots 8A-11A will 40 Ft wide and will be 100 feet deep.

The parking required for a single-family dwelling is 2 spaces per unit totaling 8 required spaces.

### VICINITY MAP:



### INDEX OF DRAWINGS:

- GENERAL (1)**  
 C1.00 COVER SHEET
- CIVIL (5)**  
 C1.00 EXISTING SITE CONDITION MAP  
 C2.00 DEVELOPMENT PLAN  
 C3.00 CIRCULATION PLAN  
 C4.00 UTILITY PLAN  
 C5.00 LANDSCAPE PLAN  
 C6.00 ARCHITECTURAL ELEVATIONS  
 C7.00 PRELIMINARY PLAT

### MINIMUM STANDARDS

MINIMUM SETBACKS: \_\_\_\_\_ SHOWN ON DEVELOPMENT PLAN (SHEET C2.00)  
 PARKING DRIVE: \_\_\_\_\_ CONCRETE DRIVE WAY  
 PEDESTRIAN WAYS: \_\_\_\_\_ 5-FT CONCRETE WALK MIN.

### CONCEPT GRAPHICS SCHEDULE

- = PEDESTRIAN CIRCULATION
- = VEHICULAR ACCESS TO ROADWAY
- = PEDESTRIAN ACCESS POINT

### SYMBOLS LEGEND:

- ROOM NUMBER
- DOOR NUMBER
- WINDOW TAG
- COLUMN GRID TAG
- KEY NOTE
- PARTITION TAG
- ELEVATION TAG
- SECTION TAG
- KEY NOTE
- DETAIL TAG
- PHOTO TAG
- KEY NOTE
- KEY NOTE

### PROFESSIONAL OF RECORD:

**MAP DESIGN GROUP, LLC**  
 ARCHITECTS ENGINEERS  
 10988 N. HARRELLS FERRY ROAD SUITE 10  
 BATON ROUGE, LOUISIANA 70816  
 P. 225-767-4590 E. MAP@MAPGRP.COM  
 CONTACT: MERRYL PORCHE'

### SURVEYOR:

L & L LAND SURVEYING, LLC  
 6161 PERKINS ROAD #2B  
 BATON ROUGE, LOUISIANA 70808  
 VOICE: 225.274.5482  
 CONTACT: STEPHAN LACOUR

### LANDSCAPE ARCHITECT

YVONNE DURHAM  
 9426 SOUTHMOOR DRIVE  
 BATON ROUGE, LA  
 225-324-4558

### DEVELOPER/OWNER:

MID CITY REDEVELOPMENT ALLIANCE  
 419 N. 19TH STREET  
 BATON ROUGE, LOUISIANA 70802  
 VOICE: 225.346.1000  
 CONTACT: SAMUAL SANDERS

MAP Project NO: 20-218-08

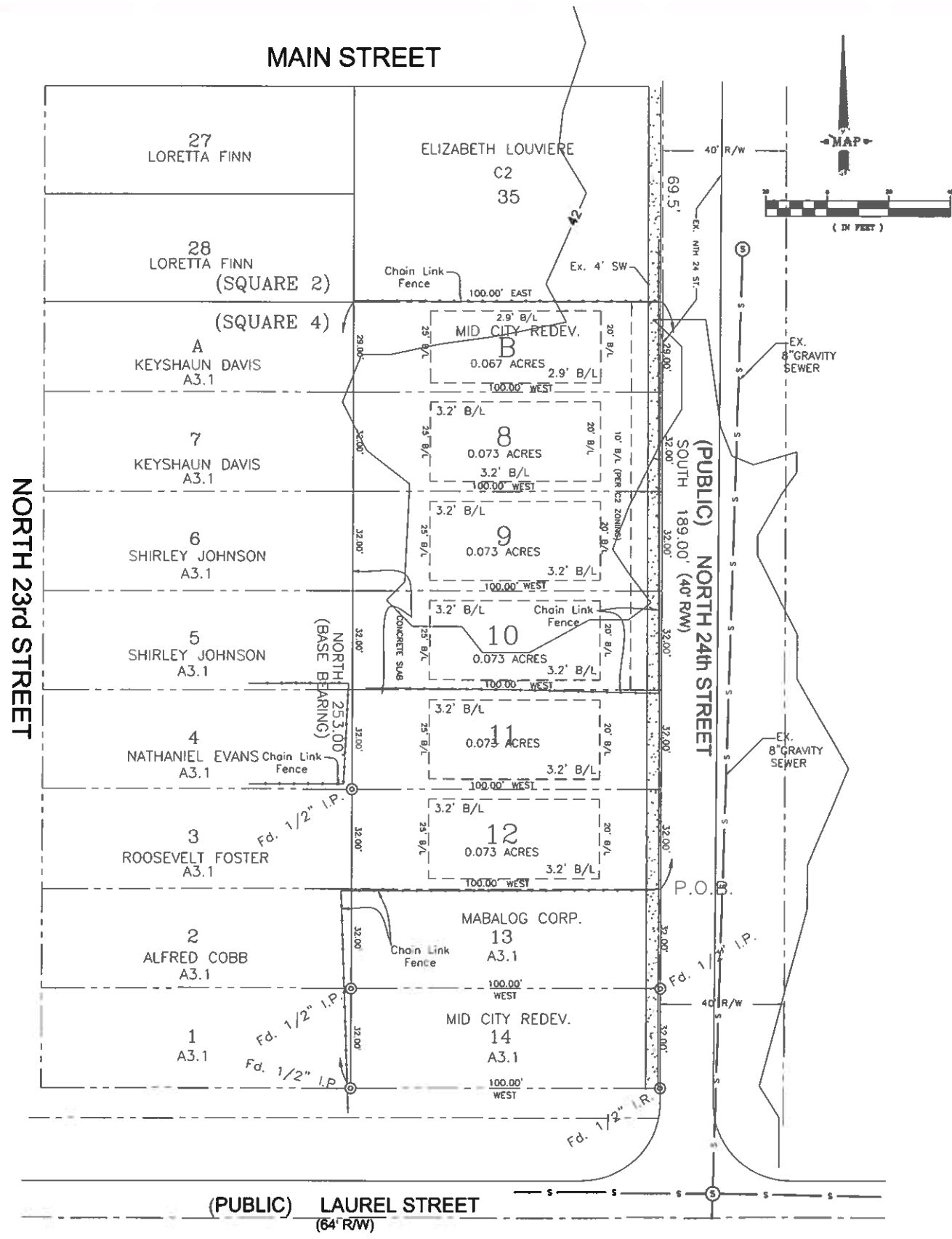


3-14-19

RECEIVED MAR 27 2019

P.C. SET

**1** EXISTING SITE CONDITION MAP  
 SCALE: 1" = 40'-0"



**GENERAL NOTES:**

EXISTING ZONING	A3.1 AND C2
PROPOSED USED	SINGLE FAMILY
MAX BUILDING HEIGHT	1 STORY; APPROX 17'
ACREAGE	0.37 AC
PARKING	CONCRETE
SIDEWALK	NEW 5'SW
100-YEAR FLOOD ZONE	ZONE X BFE=36.0'
SEWER	CONNECT TO W.S.T.N.
FIRE DISTRICT	BATON ROUGE FIRE DEPARTMENT
ELECTRIC COMPANY	ENTERGY
GAS COMPANY	ENTERGY
TELEPHONE	AT&T/COX
CABLE TV	AT&T/COX
WATER DISTRICT	BATON ROUGE WATER DISTRICT
SIGNAGE	NO SIGNAGE

**LEGEND**

(NG)	NATURAL GROUND
(TC)	TOP OF CURB
(CL)	CENTERLINE
[Symbol]	CONCRETE
[Symbol]	GRAVEL
[Symbol]	ASPHALT
[Symbol]	CATCH BASIN
[Symbol]	WATER METER
[Symbol]	POWER POLE
[Symbol]	OVERHEAD ELECTRIC LINE
[Symbol]	BOARD FENCE
[Symbol]	SEWER MANHOLE
[Symbol]	SETBACKS
[Symbol]	WATER LINE
[Symbol]	SANITARY SEWER LINE

**FLOOD ZONE**

THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X" SHADED (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) AS SHOWN ON FEMA FIRM FOR EAST BATON ROUGE PARISH, LOUISIANA 22033C0235E. EFFECTIVE DATE MAY2, 2008 NEAREST BFE 36' SOUTH OF SITE.

**STORMWATER MANAGEMENT NOTE:**

AS A PART OF CONSTRUCTION IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO COMPLY WITH STORMWATER MANAGEMENT AND DRAINAGE REQUIREMENTS SET FORTH IN SECTION 15.13 FO THE UNIFIED DEVELOPMENT CODES LATEST REVISION.

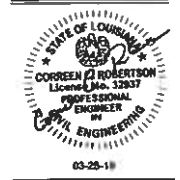
**MAP DESIGN GROUP, LLC**  
 ARCHITECTS ENGINEERS  
 10988 N. HARRELLS FERRY ROAD, SUITE 10  
 BATON ROUGE, LOUISIANA 70816  
 P: 225-767-4590 E: MAP@MAPGRP.COM

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Issue Date: RESUBMITTAL  
 2-25-18

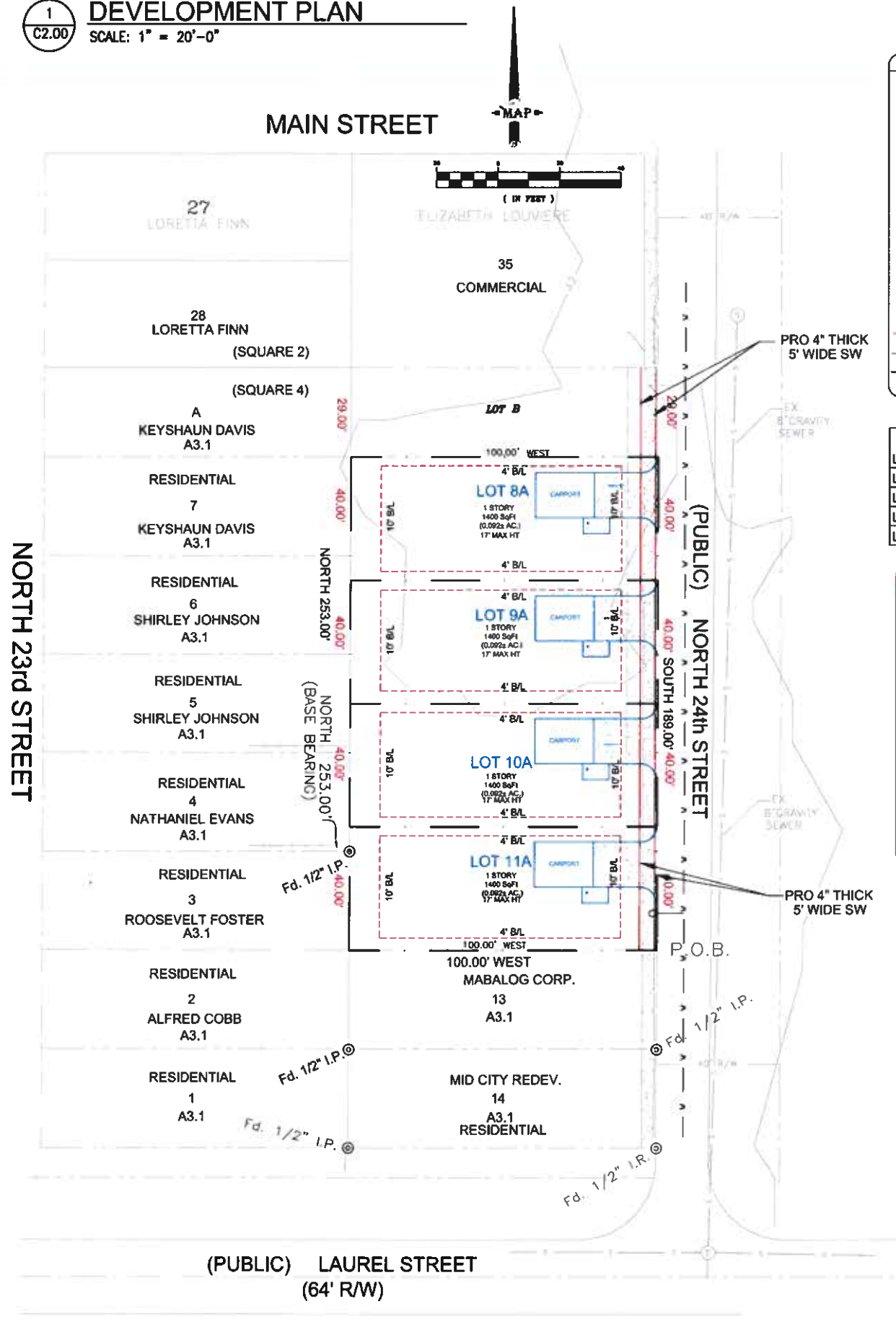
**MIDCITY**  
 REDEVELOPMENT ALLIANCE INC.  
 Baton Rouge, Louisiana

ISPUD 3-19  
 NORTH 24TH STREET  
 BLOCK NO. 4  
 LOTS 8,9,10,11,&12  
 BATON ROUGE LOUISIANA 70802  
 EAST BATON ROUGE PARISH



EXISTING SITE CONDITION MAP

Scale	C1.00
Date	MAR 2018



**LEGEND**

- (NG) NATURAL GROUND
- (TC) TOP OF CURB
- (CL) CENTERLINE
- CONCRETE
- GRAVEL
- ASPHALT
- CATCH BASIN
- WATER METER
- POWER POLE
- OVERHEAD ELECTRIC LINE
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- SETBACKS
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LOT NO.:	ACRE	PARKING REQD	PARKING PROVIDED
LOT 8A	0.092	2	2
LOT 9A	0.092	2	2
LOT 10A	0.092	2	2
LOT 11A	0.092	2	2

**GENERAL NOTES:**

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ELECTRIC COMPANY	ENTERGY
GAS COMPANY	ENTERGY
TELEPHONE	AT&T/COX
CABLE TV	AT&T/COX
WATER DISTRICT	BATON ROUGE WATER DISTRICT
SIGNAGE	NO SIGNAGE

**LIGHT NOTES**

PRIVATELY OWNED. TO CONFORM TO CITY PARISH REQUIREMENTS

**SIGNAGE NOTES**

NO DEVELOPMENT SIGNAGE REQUIRED

**REFUSE NOTE**

CURBSIDE PICK UP CONSISTENT WITH EXISTING SERVICE IN THE AREA

**UTILITY**

STREET YARDS ARE OUTSIDE UTILITY SERVITUDE

**MAIL NOTES**

MAIL WILL BE DELIVER TO EACH DWELLING

**SCHOOL DISTRICT:**

ELEMENTARY: BERNARD TERRANCE  
 MIDDLE: WESTDALE  
 HIGH: TARA

**GENERAL DESCRIPTION**

THIS IS A 0.37 AC I-SPUD DEVELOPMENT LOCATED ON NORTH 24<sup>TH</sup> STREET JUST SOUTH OF MAIN STREET ON THE WEST SIDE. THE PROPOSED USES FOR 100% OF THIS SITE IS MID DENSITY SINGLE FAMILY RESIDENTIAL. THERE ARE NO PROPOSED AREA OF DEDICATED OPEN GREEN SPACE. HOWEVER, PORTIONS OF EACH PRIVATELY OWNED LOT WILL BE LANDSCAPED TO PROVIDE AESTHETICALLY PLEASING GREEN OPEN SPACE. THIS ISPAD FEATURES 4 LOTS. EACH HOME WILL BE 1400 SF. THERE ARE NO INTERNAL STREETS PROPOSED. INTERNAL STREETS AS ALL LOTS FRONT EXISTING PUBLIC RIGHT-OF-WAY ALONG N 24<sup>TH</sup> STREET. THERE ARE NO SUBDIVISION SIGNAGE. THE HOUSE WILL FEATURE A COHESIVE MIXTURE OF ACADIAN STYLE.

**NOTE:**

THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE, AND CITY/PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY. IN PARTICULAR, NO FILING OF THE PROPERTY SHALL BE COMMENCED UNTIL ALL APPLICABLE PROVISIONS OF CHAPTER 15 OF THE UNIFIED DEVELOPMENT CODE ARE ADDRESSED.

**TABLE OF USES**

	LDR	MDR	HDR	COMM/ OFF	PUB/SEM I PUB	IND	OPEN SPACE
TOTAL UNITS		4					
TOTAL BLG SQ.FT.		12000					
TOTAL ACREAGE		0.37					
PERCENT OF SITE		100					

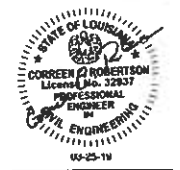
MAP DESIGN GROUP, LLC  
 ARCHITECTS ENGINEERS  
 10988 N. HARRIS FERRY ROAD SUITE 10  
 BATON ROUGE, LOUISIANA 70816  
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Date: RESUBMITTAL  
 2-25-19

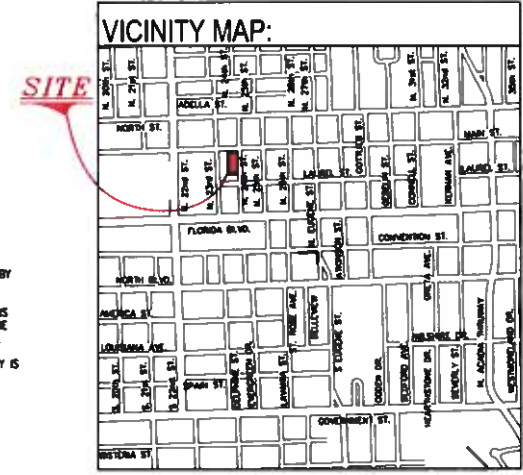
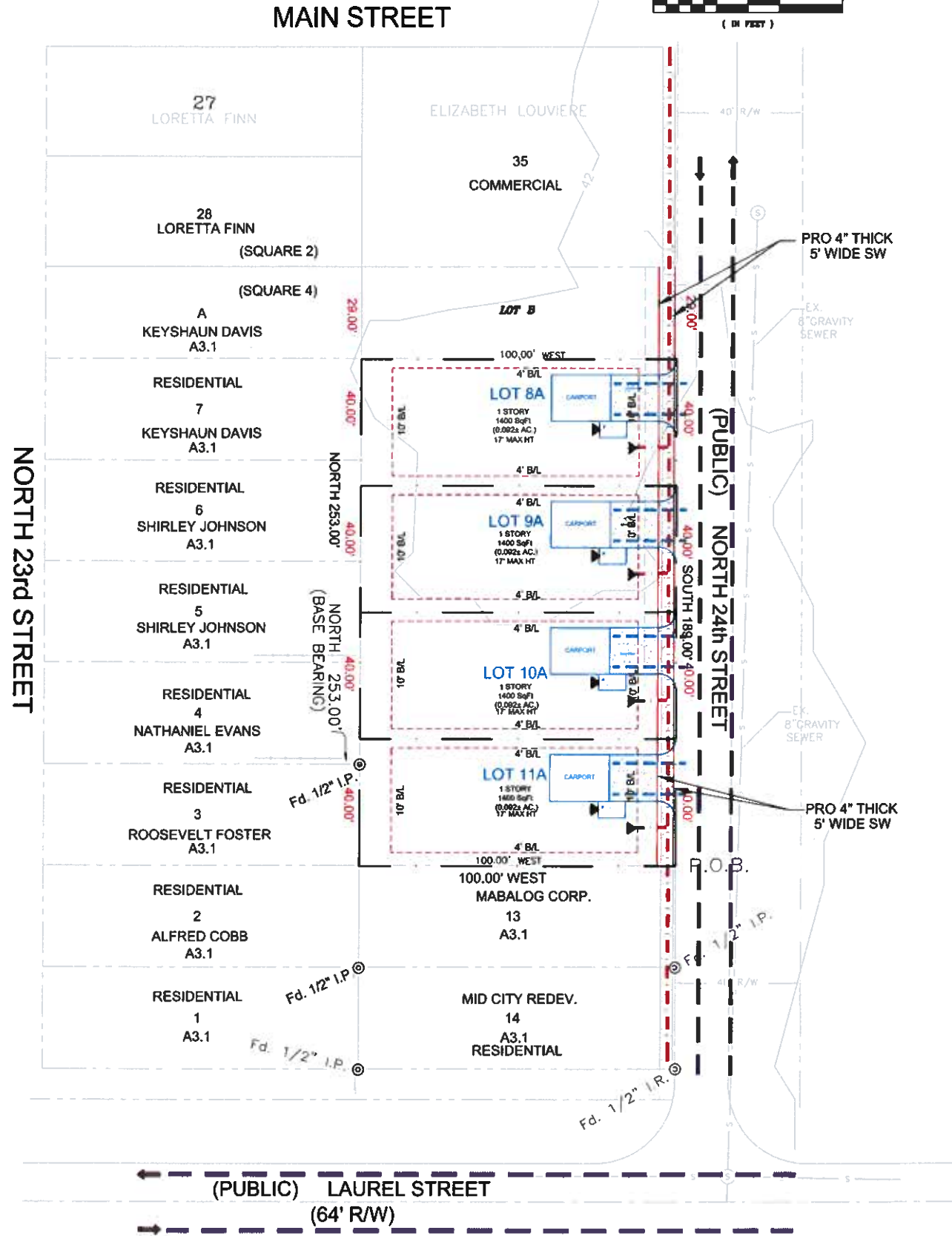
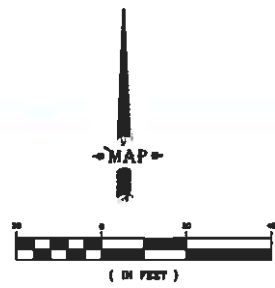


ISPAD 3-19  
 NORTH 24TH STREET  
 BLOCK NO. 4  
 LOTS 8,9,10,11, & 12  
 BATON ROUGE LOUISIANA 70802  
 EAST BATON ROUGE PARISH

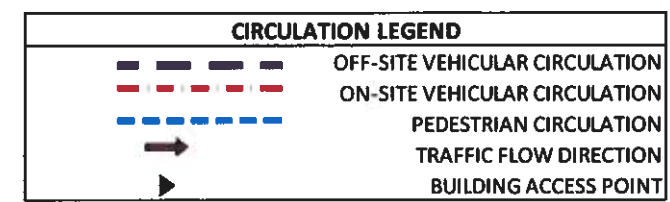


DEVELOPMENT PLAN





**PUBLIC DEDICATION:**  
 RIGHTS OF WAY SHOWN HEREON AND LABELED AS PUBLIC RIGHTS OF WAY, IF NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. STREETS NOT INDICATED AS PRIVATE SERVICED OF PASSAGE ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. ALL AREAS SHOWN AS SERVICED ARE GRANTED FOR THE PURPOSE INDICATED ON THE PLAN, AND IF NO PURPOSE IS INDICATED, TO THE PUBLIC FOR USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL OR OTHER PROPER PURPOSE FOR THE GENERAL USE OF THE PUBLIC. NO TREES, SHRUBS OR OTHER PLANTS MAY BE PLANTED NEAR SHALL ANY BUILDING, FENCE, STRUCTURE OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY SERVITUDE OR RIGHT-OF-WAY SO AS TO PREVENT OR INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE OR RIGHT-OF-WAY IS GRANTED.



**MAINTENANCE NOTE**  
 PEDESTRIAN WAYS SHALL BE PRIVATELY OWNED AND MAINTAINED  
 NTH 24TH STREET SHALL BE PUBLICLY OWNED AND MAINTAINED

LOT NO.:	ACRE	PARKING REQD	PARKING PROVIDED
LOT 8A	0.092	2	2
LOT 9A	0.092	2	2
LOT 10A	0.092	2	2
LOT 11A	0.092	2	2

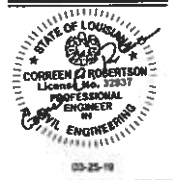
**MAP DESIGN GROUP, LLC**  
 ARCHITECTS ENGINEERS  
 10988 N. HARRELLS FERRY ROAD SUITE 10  
 BATON ROUGE, LOUISIANA 70816  
 P: 225-767-4590 E: MAP@MAPGRP.COM

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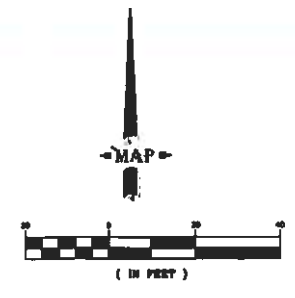
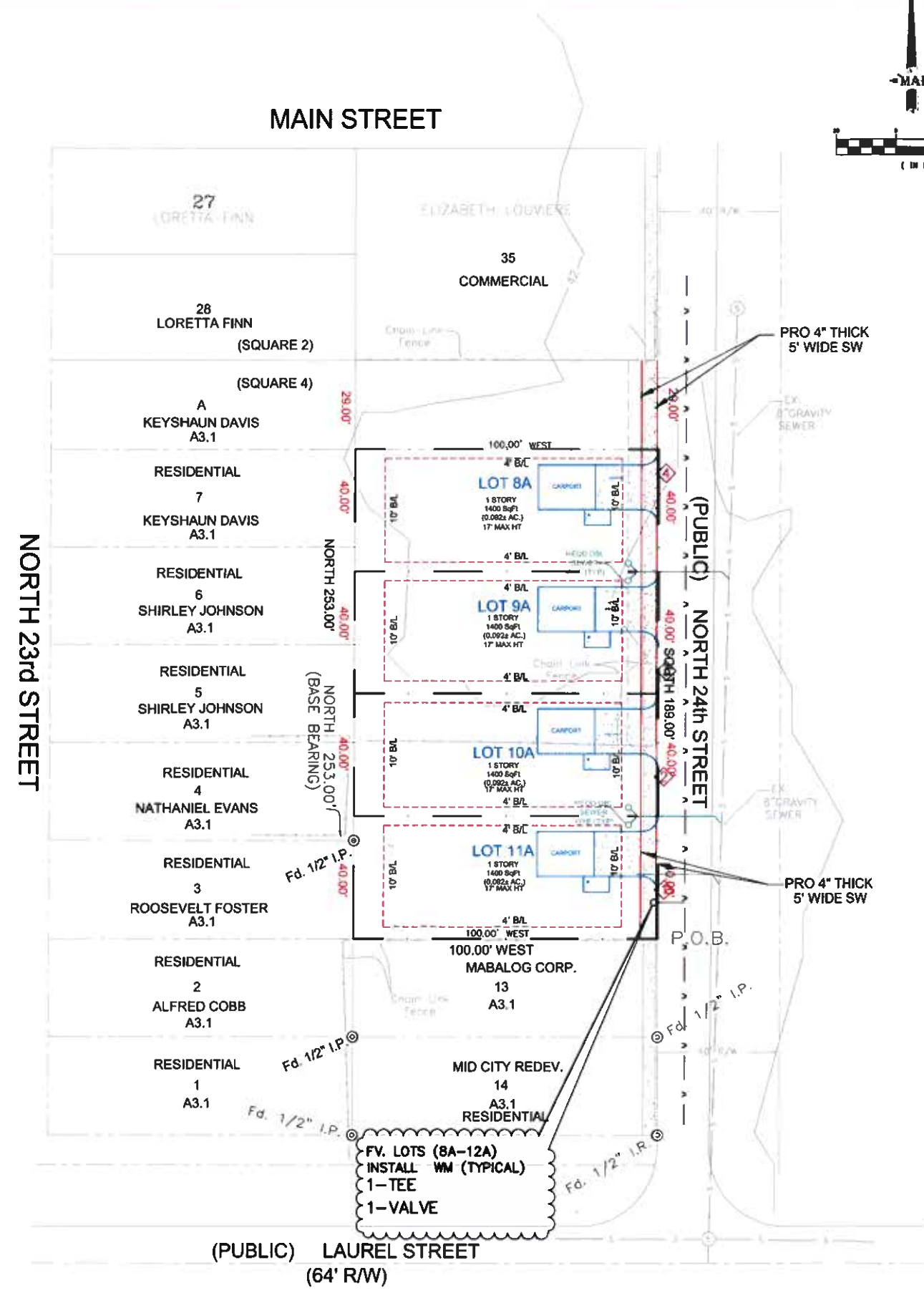
Issue Date:	RESUBMITTAL
Revision:	3-25-19



ISPUD 3-19  
 NORTH 24TH STREET  
 BLOCK NO. 4  
 LOTS 8, 9, 10, 11, & 12  
 BATON ROUGE, LOUISIANA 70802  
 EAST BATON ROUGE PARISH

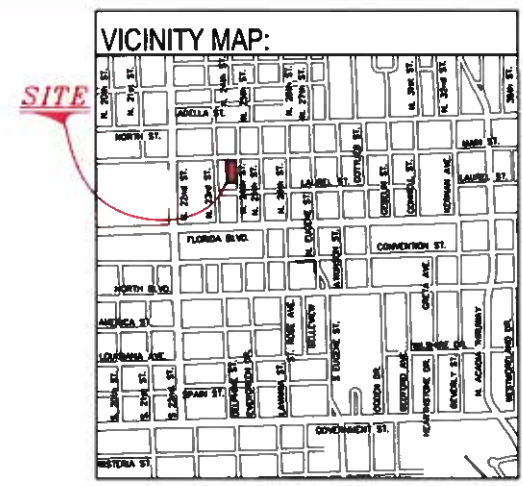


Project Name:	C3.00
Sheet Title:	CIRCULATION PLAN



**LEGEND**

- (NG) NATURAL GROUND
- (TC) TOP OF CURB
- (CL) CENTERLINE
- CONCRETE
- GRAVEL
- ASPHALT
- CATCH BASIN
- WATER METER
- POWER POLE
- OVERHEAD ELECTRIC LINE
- BOARD FENCE
- SEWER MANHOLE
- SETBACKS
- WATER LINE
- SANITARY SEWER LINE



**GENERAL NOTES:**

1. WATER LINES, FIRE HYDRANTS, AND SERVICE LINES UP TO AND INCLUDING WATER METERS, SHALL BE LOCATED IN EASILY ACCESSIBLE AND PROTECTED AREAS OUTSIDE OF TRAFFIC.
2. COORDINATE WITH THE CITY AND POWER COMPANY TO STABILIZE EXISTING POWER POLES DURING TRENCH CONSTRUCTION.
4. UTILITY CONTRACTOR SHALL VERIFY WITH LOCAL AND STATE AUTHORITIES THAT ALL EXISTING STREETLIGHT AND TRAFFIC SIGNAL WIRE HAVE BEEN LOCATED PRIOR TO CONSTRUCTION.
5. INSTALL CLEAN OUTS AND RISER EXTENSION FROM SEWER PIPE TO CLEANOUT AT GRADE. USE CAST IRON PIPE FITTINGS IN SEWER PIPES AT BRANCHES FROM CLEAN OUTS AND CAST IRON SOIL PIPE FOR RISER EXTENSIONS TO CLEANOUTS. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE.
6. THIS SHEET IS FOR SANITARY SEWER AND WATER LINE CONSTRUCTION ONLY. DO NOT USE FOR GRADING CONSTRUCTION.
7. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
8. USE MANHOLES FOR CHANGES IN DIRECTION AND CHANGES IN PIPE DIAMETERS, EXCEPT WHERE FITTINGS OR CURVES ARE INDICATED USE FITTINGS FOR BRANCH CONNECTIONS, EXCEPT WHERE DIRECT TAP INTO EXISTING SEWER IS INDICATED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
10. TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT DESIGN TO THE CITY OF BATON ROUGE ENGINEERING DEPARTMENT FOR REVIEW.
11. CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND APPURTENANCES NECESSARY FOR THE COMPLETE INSTALLATION OF THE UTILITIES.

**UTILITY NOTE:**

ALL PUBLIC UTILITIES AND SERVICES WILL PROVIDE WITHIN THE STREET RIGHT OF WAY, FRONT AND REAR SERVITUDES.

**WATER LINE/METER TABLE**

LOT	POWER	SEWER	WATER
8A			
9A			
10A			
11A			

FV. LOTS (8A-12A)  
INSTALL WM (TYPICAL)  
1-TEE  
1-VALVE

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Issue Date: RESUBMITTING  
3-25-19



ISPUD 3-19  
NORTH 24TH STREET  
BLOCK NO. 4  
LOTS 8, 9, 10, 11, & 12  
BATON ROUGE LOUISIANA 70802  
EAST BATON ROUGE PARISH



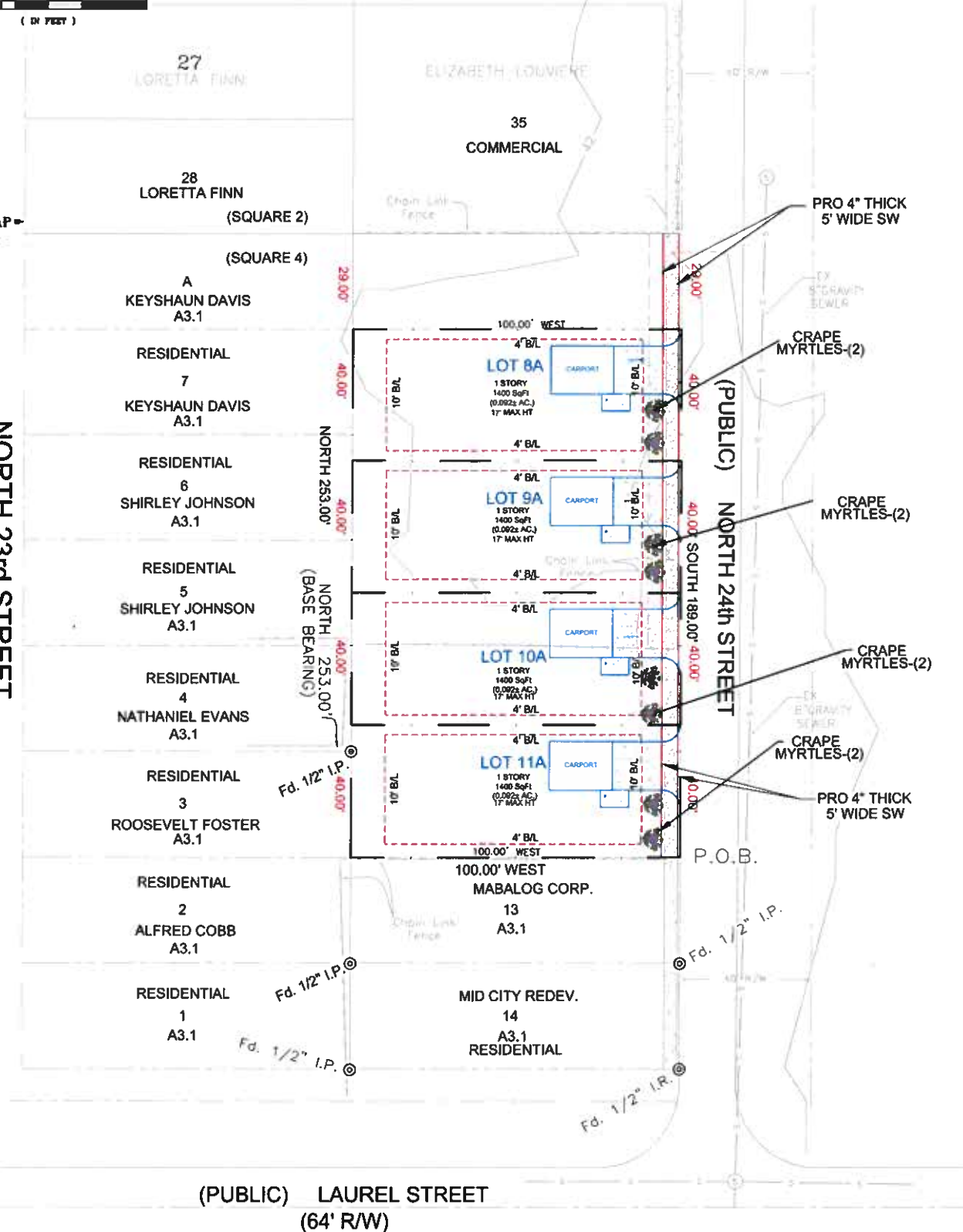
Sheet Title:  
UTILITY PLAN

**1**  
C5.00 **LANDSCAPE PLAN**  
SCALE: 1" = 20'-0"



NORTH 23rd STREET

MAIN STREET



- LEGEND**
- VITEX
  - SHI SHI CAMELLIA
  - SWEET VIBURNUM
  - SOUTHERN MAGNOLIA
  - GREEN LIRIOPE
  - FLOWERING TREES
  - AGAPANTHUS
  - CRAPE MYRTLE
  - KNOCK OUT ROSES
  - SHERMARD OAK

**General Notes**

EXISTING CHARACTER	URBAN/WALKABLE
EXISTING ZONING	A3.1 AND C2
TOTAL AREA	4000 SF PER LOT
PROPOSED USE	MDR 4 UNITS
PAVED AREA	1367 SF

**LANDSCAPE REQUIREMENT**

CRITERIA	REQUIRED	PROVIDED
10% OF LANDSCAPE AREA	DEVELOPED AREA IS 16000 SQ.FT.	DEVELOPED SITE AREA IS 9000 SF OR 56% OF AREA

**STREET YARD**

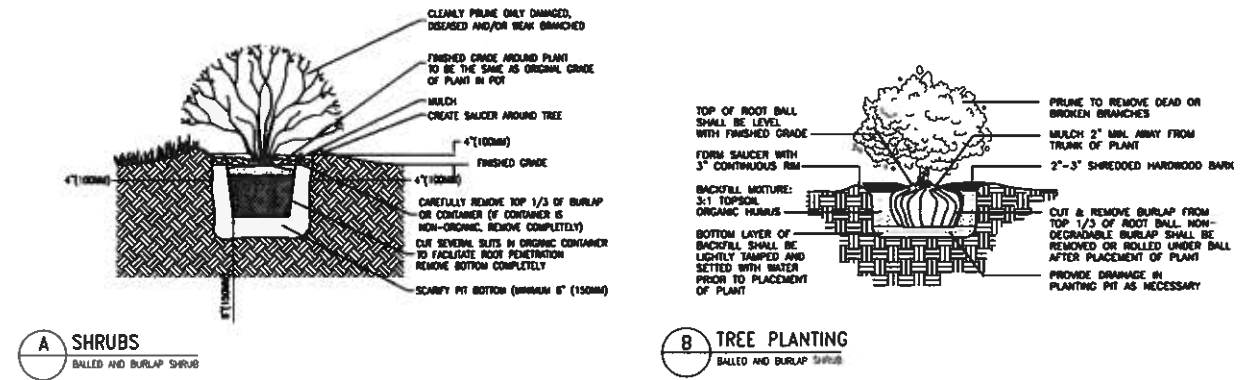
CRITERIA	REQUIRED	PROVIDED
EXISTING CHARACTER URBAN/WALKABLE	1 TYPE A TREE EVERY 40' CONTINUOUS 2 TYPE B TREE EVERY 20 FT.	8 TYPE B TREES
PARKING LOT LANDSCAPING	LANDSCAPING NO PARKING LOT	NO LANDSCAPE REQUIRED

**TREE AND PLANT MATERIAL LIST**

QUANTITY	ITEM	SIZE AND DESCRIPTION
8	CREPE MYRTLE	15 GALLON MULTI-TRUNK FULL FORM
	LAGERSTROEMIA INDICA	CLASS B

**REQUIRED BUFFER BETWEEN PROPERTIES**

CRITERIA	REQUIRED
SUBJECT PROPERTY IS SINGLE FAMILY	NO BUFFER REQUIRED
ALL ADJACENT PROPERTY (N, S, E) IS SINGLE FAMILY	



**NOTE:**  
LANDSCAPE ARCHITECT SHALL INSPECT THE LANDSCAPING FOLLOWING INSTALLATION TO CERTIFY "COMPLIANCE" WITH APPROVED PLAN

**LANDSCAPE ARCHITECT**  
YVONNE DURHAM  
9426 SOUTHMOOR DRIVE  
BATON ROUGE, LA  
225-324-4558

MAP DESIGN GROUP, LLC  
ARCHITECTS ENGINEERS  
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Scale: 1" = 20'-0"  
Date: 03-25-19

**MIDCITY**  
REDEVELOPMENT ALLIANCE INC.

ISPUD 3-19  
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BLOCK NO. 4  
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EAST BATON ROUGE PARISH



**LANDSCAPE PLAN**  
C5.00  
DATE: MAR 2019

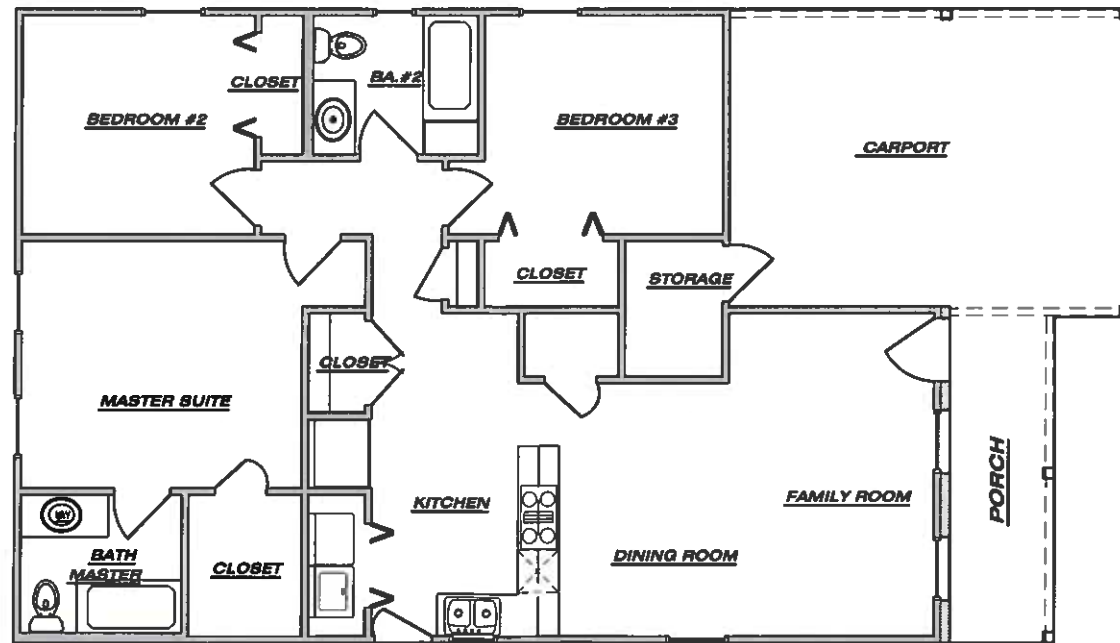


# 1 ARCHITECTURE ELEVATIONS



# 2 FLOOR PLAN

SCALE: 1/4"=1'-0"



## AREA TABULATION

1 STORY	=	1180 SQ. FT.
FRONT PORCH	=	80 SQ. FT.
CARPORT	=	166 SQ. FT.
<b>TOTAL AREA</b>	<b>=</b>	<b>1526 SQ. FT.</b>

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Issue Date:	RESUBMITTAL
Scale:	AS SHOWN
Sheet No.:	2-25-19

**MIDCITY**  
 REDEVELOPMENT ALLIANCE INC.  
Providing the Right Place, Right Project

ISPUD 3-19  
 NORTH 24TH STREET  
 BLOCK NO. 4  
 LOTS 8,9,10,11,&12  
 BATON ROUGE, LOUISIANA 70802  
 EAST BATON ROUGE PARISH



03-25-19  
 ARCHITECTURAL ELEVATIONS

Scale:	AS SHOWN
Sheet No.:	C6.00

# PRELIMINARY PLAT OF PARKVIEW

LOTS 8, 9, 10, 11 & 12,  
SQUARE 4,  
PARKVIEW

LOCATED IN SECTION 47, T75-R1W  
GREENSBURG LAND DISTRICT  
CITY OF BATON ROUGE  
EAST BATON ROUGE PARISH, LOUISIANA

### LEGEND:

- Property Line
- Right-of-Way Line
- Building Line
- Easement Line
- Fence Line
- Proposed Property Marker
- Cadastral Point
- Utility Pole Symbol

### GENERAL NOTES:

EXISTING ZONING	A3.1 AND C2
PROPOSED USED	SINGLE FAMILY
MAX BUILDING HEIGHT	1 STORY; APPROX 17'
ACREAGE	0.37 AC
PARKING	CONCRETE
SIDEWALK	NEW 5'SW
100-YEAR FLOOD ZONE	ZONE X BFE=36.0'
SEWER	CONNECT TO W.S.T.N.
FIRE DISTRICT	BATON ROUGE FIRE DEPARTMENT
ELECTRIC COMPANY	ENTERGY
GAS COMPANY	ENTERGY
TELEPHONE	AT&T/COX
CABLE TV	AT&T/COX
WATER DISTRICT	BATON ROUGE WATER DISTRICT
SIGNAGE	NO SIGNAGE

### SUBDIVISION NOTES:

**STORMWATER MANAGEMENT:**  
AS PART OF CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO COMPLY WITH STORMWATER MANAGEMENT AND DRAINAGE REQUIREMENTS SET FORTH IN SECTION 15.13 OF THE UNIFIED DEVELOPMENT CODE, LATEST REVISION.

### PUBLIC DEDICATION:

RIGHTS OF WAY SHOWN HEREON AND LABELED AS PUBLIC RIGHTS OF WAY, IF NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. STREETS NOT INDICATED AS PRIVATE SERVICED OF PASSAGE ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. ALL AREAS SHOWN AS SERVICED ARE GRANTED FOR THE PURPOSE INDICATED ON THE PLAT, AND IF NO PURPOSE IS INDICATED, TO THE PUBLIC FOR USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL, OR OTHER PROPER PURPOSE FOR THE GENERAL USE OF THE PUBLIC. NO TREES, SHRUBS OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY SERVITUDE OR RIGHT-OF-WAY SO AS TO PREVENT OR INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE OR RIGHT-OF-WAY IS GRANTED.

### PRIVATE DEDICATION:

THE SERVITUDES DESIGNATED HEREON AS "PRIVATE SERVITUDES" ARE HEREBY RESERVED FOR THE USE OF THE COVE AT CORE HOME OWNERS ASSOCIATION PROPERTY OWNERS, ITS SUCCESSORS AND ASSONS PURSUANT TO THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS OF SAID LOTS AND TRACT. THE SALE OF ANY PROPERTY SHOWN HEREON BY REFERENCE TO THIS PLAT SHALL NOT CONSTITUTE A DEDICATION TO THE PUBLIC OF ANY "PRIVATE SERVITUDE" SHOWN HEREON. FURTHERMORE, THE PUBLIC SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ANY IMPROVEMENTS LOCATED WITHIN THE "PRIVATE SERVITUDES." THE CITY OF BATON ROUGE/PARISH OF EAST BATON ROUGE IS NOT RESPONSIBLE FOR MAINTENANCE OF PRIVATE FACILITIES. THE CITY OF BATON ROUGE/PARISH OF EAST BATON ROUGE SHALL HAVE THE RIGHT OF ENTRY INTO THE "PRIVATE SERVITUDE" FOR ACCESS TO THE PUBLIC SEWER SERVITUDES.

### SEWAGE DISPOSAL:

NO PERSON SHALL PROVIDE A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE HEALTH UNIT OF EAST BATON ROUGE PARISH.

### DEED RESTRICTION NOTE:

ALL LOTS ARE SUBJECT TO THE DECLARATION OF COVENANTS AND RESTRICTIONS FILED AS AN ADJUNCT HERETO. THE CITY OF BATON ROUGE AND PARISH OF EAST BATON ROUGE DOES NOT ENFORCE PRIVATE DEED AND/OR SUBDIVISION RESTRICTIONS. HOWEVER, THE APPROVAL OF THIS PLAT DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR/BUILDER FROM COMPLYING WITH ANY SUCH RESTRICTIONS THAT MAY BE ATTACHED TO THE PROPERTY ON THIS PLAT.

### FILL NOTE:

THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE, AND CITY/PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY. IN PARTICULAR, NO FILLING OF THE PROPERTY SHALL BE COMMENCED UNTIL ALL APPLICABLE PROVISIONS OF CHAPTER 15 OF THE UNIFIED DEVELOPMENT CODE ARE ADDRESSED.

### NOTES:

- UTILITY LOCATIONS WERE WITHIN THE SCOPE OF THIS SURVEY.
- NO ATTEMPT HAS BEEN MADE BY THE MAP GROUP, LLC TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS-OF-WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES, OR ANY OTHER ENCUMBRANCES THAT MAY EXIST ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT OR HIS REPRESENTATIVE.
- WETLANDS DETERMINATION IS NOT WITHIN THE SCOPE OF THIS SURVEY. THEREFORE NO WETLANDS DETERMINATION WAS MADE FOR THE PROPERTY SHOWN ON THIS

### FLOOD ZONE:

BY SCALE ONLY, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 22033C-25C FOR EAST BATON ROUGE PARISH, LA, HAVING AN EFFECTIVE DATE OF MAY 2, 2008. NO FIELD VERIFICATION HAS BEEN MADE OF THIS FLOOD ZONE DETERMINATION.

### GRADING INSTRUCTIONS:

AS PART OF THE HOUSE CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER, HIS CONTRACTOR OR HIS REPRESENTATIVE TO GRADE EACH LOT SO THAT THE STORM DRAINAGE RUN-OFF CONFORMS TO THE APPROVED STORM DRAINAGE LAYOUT FOR THE COVE AT CORE UNLESS OTHERWISE APPROVED BY THE EAST BATON ROUGE CITY/PARISH DEPARTMENT OF DEVELOPMENT. (METROPOLITAN ORDINANCE NO. 11130)

### FILL NOTE:

VARIOUS LOTS WITHIN THE SUBDIVISION MAY RECEIVE FILL DURING THE CONSTRUCTION PHASE OF THE PROJECT. EACH BUILDER/OWNER SHALL INDEPENDENTLY INVESTIGATE EXISTING SOIL CONDITIONS PRIOR TO CONSTRUCTION TO ENSURE APPROPRIATE FOUNDATION / SLAB DESIGN.

### STORMWATER AMNAGEMENT NOTE:

AS A PART OF CONSTRUCTION IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO COMPLY WITH STORMWATER MANAGEMENT AND DRAINAGE REQUIREMENTS SET FORTH IN SECTION 15.13 OF THE UNIFIED DEVELOPMENT CODES LATEST REVISION.

### WCINTY MAP: NTS



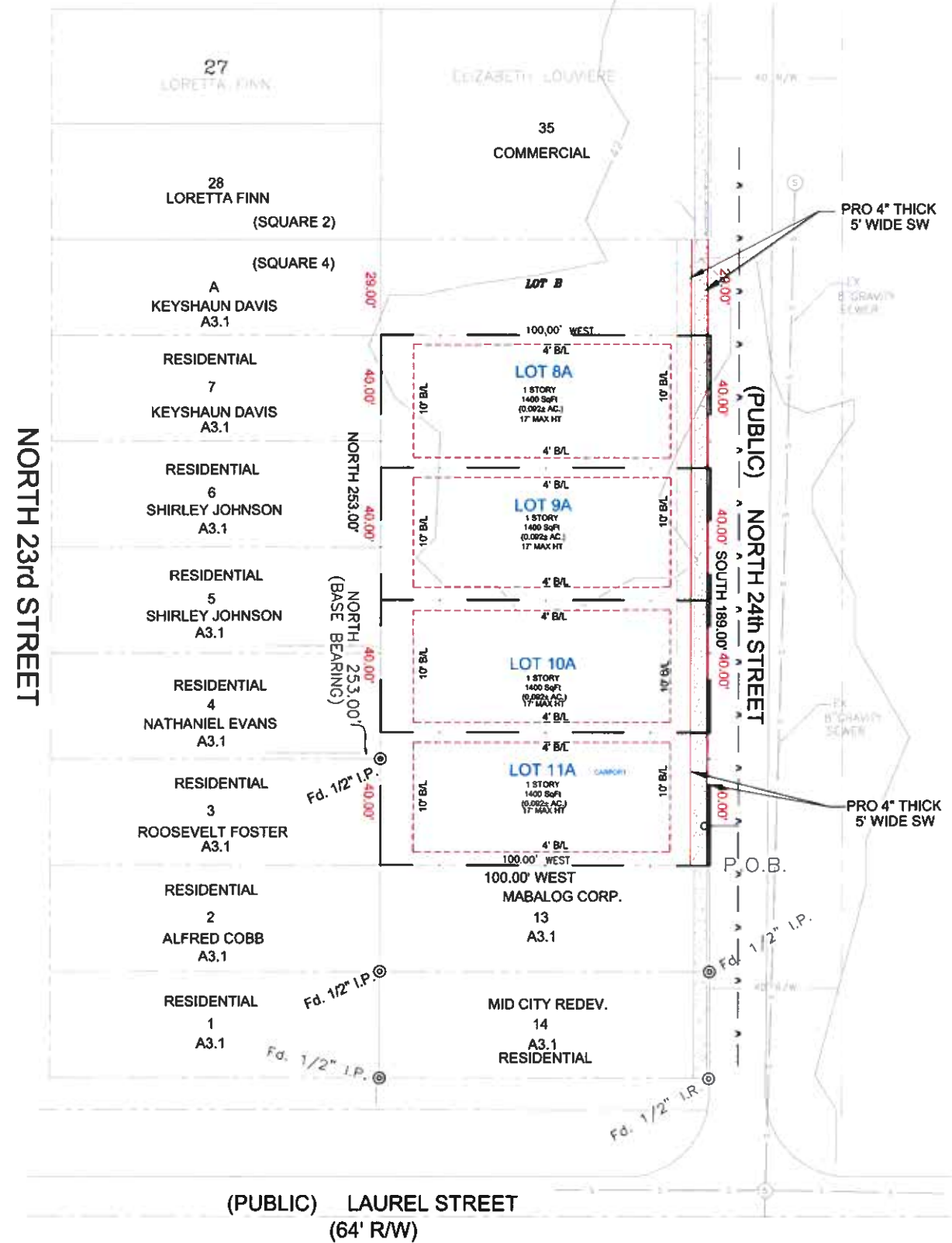
### DEVELOPER/OWNER:

MID CITY REDEVELOPMENT ALLIANCE  
419 N. 19TH STREET  
BATON ROUGE, LOUISIANA 70802  
VOICE: 225.346.1000  
CONTACT: SAMUAL SANDERS

### NOTES:

- THIS MAP IS INTENDED FOR THE SOLE AND EXCLUSIVNE USE AS A PRELIMINARY PLAT. BOUNDARY LINES, BEARINGS, MAND DISTANCES SHOWN HEREON PER REFERENCE MAP "A" (RE: SHEET 0.0) PURSUANT TO LOUISIANA ADMINISTRATIVE CODE, TILE 46, PART LXI, CHAPTER 29. THIS PRELIMINARY PLAT DOES NOT REPRESENT A PROPERTY BOUNDARY SURVEY. SUBSEQUENT TO THE APPROVAL OF PUB-19, A PROPERTY BOUNDARY SURVEY WILL BE PERFORMED TO VERIFY BOUNDARY LINES SHOWN HEREON.
- TOPOGRAPHIC FEATURES WERE LOCATED IN THE FIELD OR WERE COMPILED FROM REFERENCE DOCUMENTS AND ARE SHOWN HEREON FOR INFORMATIONAL PURPOSES ONLY.
- CONTOUR LINES DERIVED FROM ON THE GORUND SURVEY DATA. ELEVATIONS SHOWN ARE NAVO '88.
- RIGHT-OF-WAY WIDTHS PER REFERENCE MAP "A"
- SUBSURFACE UTILITIES SHOWN BASED UPON OBSERVED ABOVE GROUND VISIBLE FEATURES, LA ONE CALL MARKINS OR REFERENCE DOCUMENTS
- NO ATTEMPT HAS BEEN MADE BY MAP GROUP, LLC TO VERIFY TITLE. ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHT-OF-WAY OR OTHER BURDENS ON THE PROPOERY OTHER THAN THAT WHICH WAS PROVIDED BY THE CLIENT. ADJACENT OWNERSHIP NAMES AND ADDRESSES SHOWN PER INFORMATION OBTAINED FROM EAST BATON ROUGE PARISH ASSESSOR'S WEBSITE.

## MAIN STREET



**MAP DESIGN GROUP, LLC**  
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Issue Date: RESUBMITTAL  
2-28-18

**MIDCITY**  
REDEVELOPMENT ALLIANCE INC.  
Member: Robert Sanders, Registered Professional Engineer

ISPUD 3-19  
NORTH 24TH STREET  
BLOCK NO. 4  
LOTS 8, 9, 10, 11, & 12  
BATON ROUGE LOUISIANA 70802  
EAST BATON ROUGE PARISH



02-28-19

PRELIMINARY  
PLAT

Scale: AS SHOWN  
Date: MAR 2018  
C7.00