

Chicken Salad Chick

801 FROGMORE DRIVE

PUD - 2 - 00 Burbank University

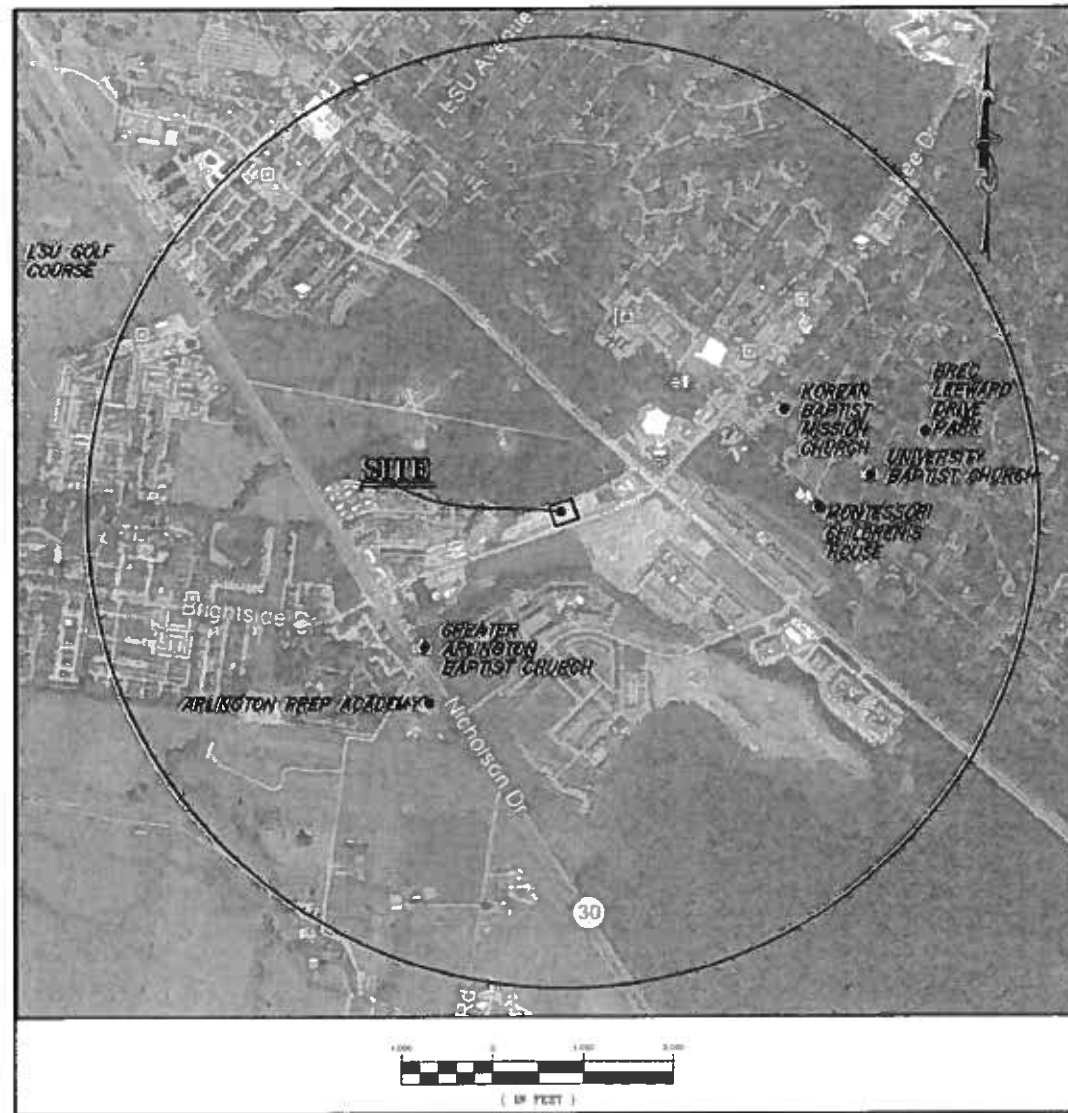
Tract A-3-4 of Nelson Property Located in Section 36, T-7-S, R-1-W
CITY OF BATON ROUGE, EAST BATON ROUGE PARISH, LA
CPPC LOT ID#1320570109

PLANNING SUMMARY

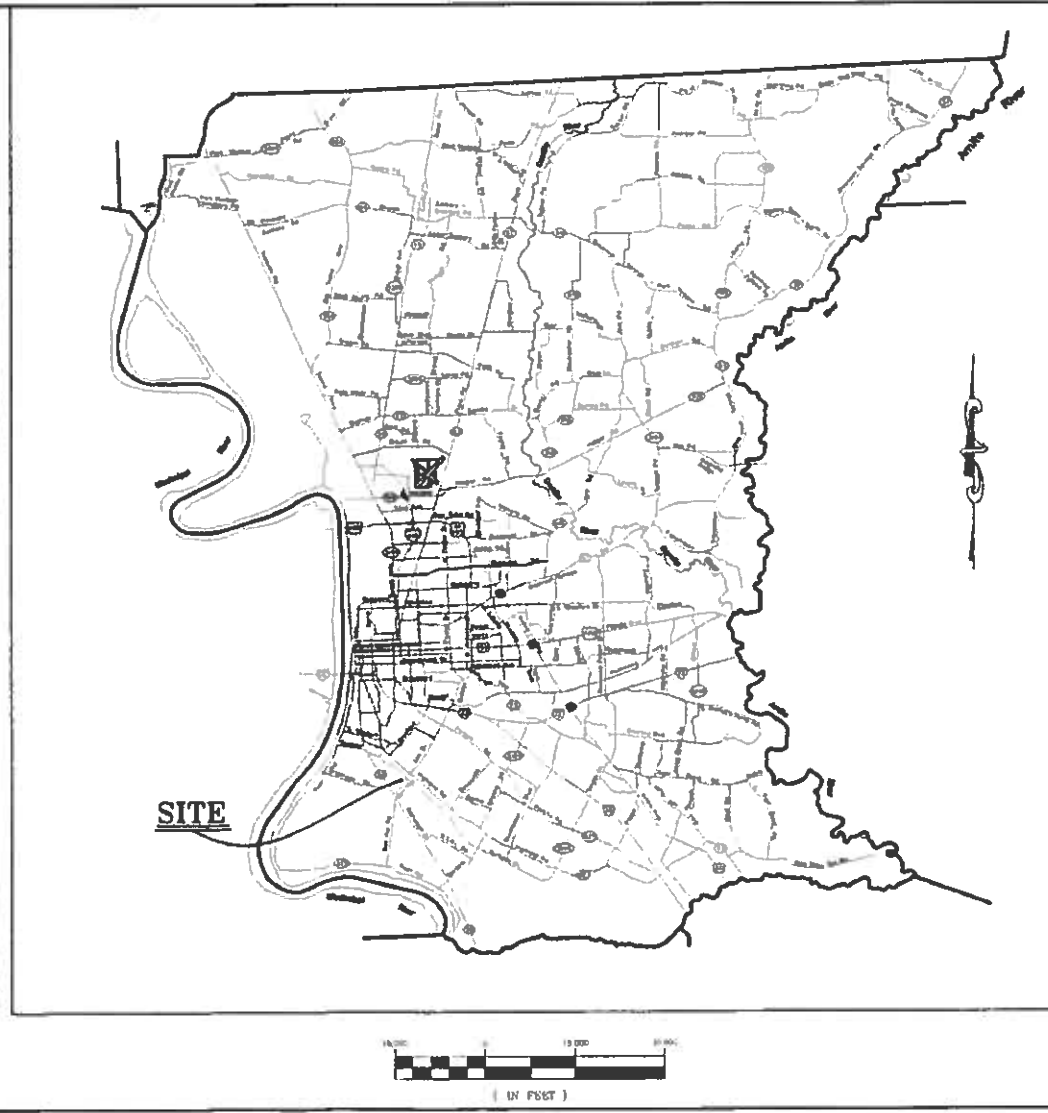
EXISTING ZONING: PUD (PLANNED UNIT DEVELOPMENT)
FUTURE BR LAND USE: TC
CHARACTER AREA: URBAN/WALKING
ZONING ADJACENT PARCELS: PUD
ACREAGE: 1.002+/- ACRES
NUMBER OF BUILDINGS: 1
BUILDING SQUARE FOOTAGE: 3,025 SQ. FT.
DENSITY/INTENSITY: 3.019 SF/ACRE
BUILDING HEIGHT: MAX. 25'-0"
NUMBER OF STORIES: 1
PROPOSED USE: FAST FOOD RESTAURANT

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AERIAL / VICINITY MAP



EAST BATON ROUGE PARISH MAP

GENERAL DESCRIPTION

THIS PROJECT IS PART OF THE BURBANK UNIVERSITY PUD-2-00 AND IS LOCATED IN THE 13.0 ACRE TRACT OF COMMERCIAL AREA ON THE NORTH SIDE OF W. LEE DRIVE. THE TRACT A-3-4 IS 1.002 ACRES AND CONTAINS AN EXISTING PRIVATE SERVITUDE OF ACCESS AND ROADWAY. SINCE THIS TRACT IS INCLUDED IN AN AREA DESIGNATED ON THE CONCEPT PLAN AS A 13.0 ACRE COMMERCIAL TRACT, NO ADDITIONAL USES OR GREEN SPACE ARE REQUIRED FOR THIS TRACT.

THE PROPOSED SITE WILL INCLUDE 0.55 ACRES OF COMMERCIAL (BUILDING + PAVING), 0.25 ACRES OF PRIVATE SERVITUDE OF ACCESS WITH EXISTING ASPHALT ROADWAYS AND 0.19 ACRES OF LANDSCAPED GREEN SPACE. THERE WILL BE ONE BUILDING ON THIS SITE - A 3,025 SF FAST FOOD RESTAURANT WITH A MAXIMUM HEIGHT OF 25' AND 574 SF OF OUTDOOR PATIO AREA. THIS ENTIRE TRACT IS TO SERVE THE PROPOSED CHICKEN SALAD CHICK, WITH DRIVE THROUGH WINDOW. THE PROPOSED VEHICULAR AND PEDESTRIAN CIRCULATION MATCHES THE VEHICULAR AND PEDESTRIAN CIRCULATION INCLUDED IN THE CONCEPT PLAN.

CONSTRUCTION SCHEDULE

CONSTRUCTION IS EXPECTED TO COMMENCE WITHIN 30 DAYS OF FINAL DEVELOPMENT PLAN AND BUILDING PLAN APPROVAL AND IS EXPECTED TO BE COMPLETED WITHIN 240 DAYS.

UTILITIES

DRAINAGE AND SEWER TIE-INS HAVE BEEN PROVIDED TO THE SITE AS INCLUDED IN THE "PUBLIC GRAVITY SEWER, PRIVATE DRAINAGE, AND PRIVATE ROADWAY IMPROVEMENTS AT W. LEE DRIVE - PHASE 2 TRACT A-3 (PUD-2-00 BURBANK UNIVERSITY) PREVIOUSLY APPROVED BY CPPC, BATON ROUGE WATER, ENTERGY ELECTRIC, AND ENTERGY GAS HAVE UTILITIES IN PLACE TO SERVE THIS SITE.

MAIL IS TO BE ADDRESSED TO THE OWNER'S HOME OFFICE AND WILL NOT BE RECEIVED ON THIS SITE.

OWNER
PN & A PROPERTIES BURBANK & ACADIAN PLACE PROPERTIES, LTD.
1521 KALISTE SALOMON RD - SUITE 204
LAFAYETTE, LA 70508
PHONE (337) 233-0801
E-MAIL: BEAUNICOLOSI@GMAIL.COM

LANDSCAPE ARCHITECT:
GRASS ROOTS INC.
124 BEAU PRE ROAD
LAFAYETTE, LOUISIANA 70508
PHONE (337) 232-5967
FAX (337) 232-1499
CONTACT PERSON: RUSSELL RUCKSTUHL
E-MAIL: RUSTYGRASSROOTS@BELL5OUTH.NET

ARCHITECT
D & B ARCHITECTURE, LLC
404 COMMERCIAL PARKWAY
BROUSSARD, LOUISIANA 70518
PHONE (337) 838-1155
FAX (337) 838-2505
CONTACT PERSON: KNOBBIE LANGLINAUS, AIA
E-MAIL: KNOBBIE@DBARCH.BIZ

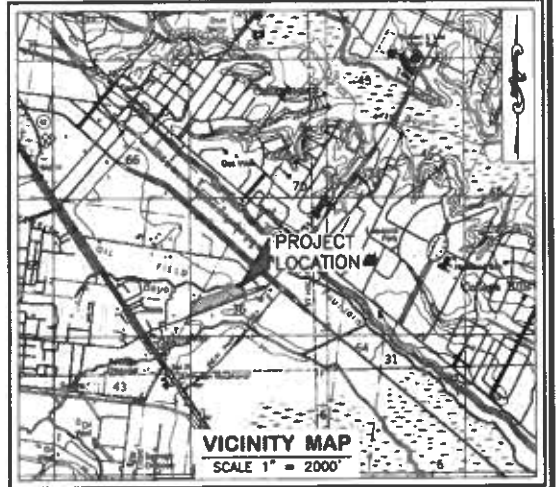
GENERAL CONTRACTOR
THOMSON BROTHERS CONSTRUCTION, INC.
404 COMMERCIAL PARKWAY
BROUSSARD, LOUISIANA 70518
PHONE (337) 837-7100
FAX (337) 837-7186
CONTACT PERSON: JOHN THOMSON
E-MAIL: JOHN@TBCONSTRUCT.COM

UTILITY PROVIDERS
ELECTRIC: ENTERGY OF LA, LLC
GAS: ENTERGY OF LA, LLC
TELEPHONE: COX COMMUNICATIONS
WATER: BATON ROUGE WATER COMPANY
SANITARY SEWER: CITY OF BATON ROUGE DPW

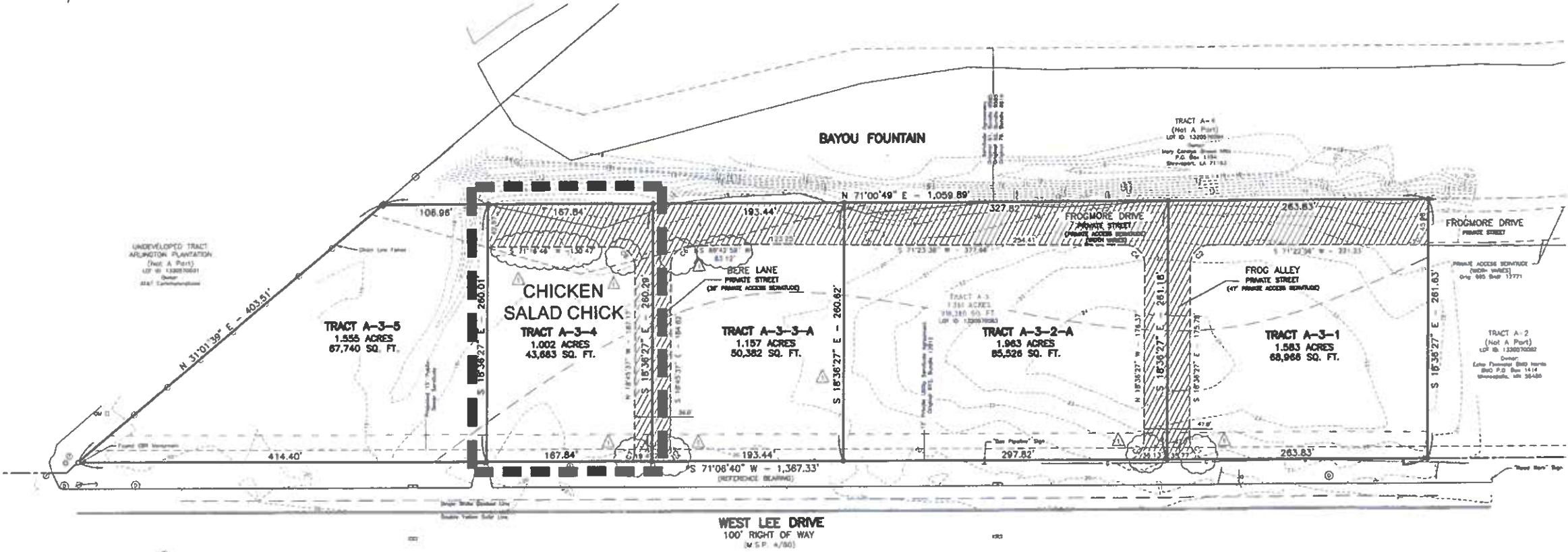
*NOTE: MAPS WERE PREPARED BY OTHERS

AUG. 27, 2018
COVER SHEET
SHEET 1 OF 11

RECEIVED AUG 28 2018



PLAT SHOWING RESUBDIVISION
OF
TRACT A-3, NELSON PROPERTY
INTO
TRACTS A-3-1, A-3-2,
A-3-3, A-3-4 & A-3-5
NELSON PROPERTY
LOCATED IN SECTION 36,
TOWNSHIP 7 SOUTH - RANGE 1 WEST
CITY OF BATON ROUGE,
EAST BATON ROUGE PARISH, LOUISIANA
FOR
VICTORY REAL ESTATE INVESTMENTS, LLC
AND COURVEST, LLC



- NOTES:
- Zoning: PUD (Planned Unit Development). Setback lines shall be verified by the owner, developer and/or contractor prior to any construction, as an abstract has not been performed by the surveyor. Zoning and setbacks are subject to change and should be verified with the local authority's Zoning Department before any design or construction.
 - Reference Maps:
 - Plat showing exchange of property of Tracts A-3-2 & A-3-3 Nelson Property, Located in Sections 11, 33 & 37, Township 8 South - Range 1 West, and Section 36, Township 7 South - Range 1 West, City of Baton Rouge, East Baton Rouge Parish, Louisiana. Prepared by: Acadia Land Surveying. Dated: June 5, 2018. Entry No.: ORG: 080; BNDL: 12895
 - ALTA/ACSM Land Title Survey of Tracts A-1, A-2, A-3, A-4 and c. 7.81 Acre Tract of the Nelson Property, Located in Sections 11, 33 & 37, Township 8 South - Range 1 West and Section 36, Township 7 South - Range 1 West, City of Baton Rouge, East Baton Rouge Parish, Louisiana. Prepared by: Acadia Land Surveying. Dated: August 10, 2007
 - Scale of Bearings: Bearings are based on Reference Map "A". (*) Represents the Basis of Bearings. Distances shown are U.S. Survey feet.
 - Scale of Elevations: The elevations shown herein are based on the "North American Vertical Datum of 1988 - NAVD 88" (Geoid 12a) using GPS DGNet-RTN System accessed on May 8, 2017.
 - Flood Note: The property herein is located in Flood Zone "X" (Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; areas protected by levees from 1% annual chance flood) and Flood Zone "AF" (Base Flood Elevation determined) in accordance with FEMA Flood Insurance Rate Map Panel Number 22033C 0245 E, dated May 2, 2008, for East Baton Rouge Parish, Louisiana. Base Flood Elevation = 20.0'. Record Inundation Elevation = 19.5'. Flood Elevation is subject to change and should be verified with the local authority's Flood Plain Administrator before any design or construction.
 - UTILITIES: The underground utilities shown have been located from "A" ONE CALL Ticket Number 120257284. Utility companies are listed on the plat. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, except for above ground visible utility features. No excavations were made during the progress of this survey to locate buried utilities/structures.
 - UTILITY COMPANIES NOTIFIED VIA LOUISIANA ONE CALL TICKET NUMBER 120257284:
Five J&B, INC. AT&T Distribution
Baton Rouge Water Level 3 Communications
Energy Gulf States Suburban Light
 - No attempt has been made by Acadia Land Surveying, L.L.C. to verify title, actual legal ownership, deed restrictions, easements, liens, right-of-ways or other burdens on the property, other than that furnished by the client or his representative. There is no representation that all applicable servitudes and restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey.
 - Acadia Land Surveying, L.L.C. has not and does not provide Definition of Jurisdictional Wetlands. Acadia Land Surveying, L.L.C. did not receive nor research the location of wetland areas as delineated by the appropriate authorities.
 - The words "Certify," "Certified" or "Certification" as used herein is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information, and belief, as such, it does not constitute a guarantee nor a warranty, expressed or implied.
 - Private streets shown on plat approved with PUD-2-00: Gravity Sewer and Roadway Improvements Burbank University First Development Plan.

EXISTING SITE CONDITIONS MAP
FOR CHICKEN SALAD CHICK
TRACT A-3-4

REVISION No. 1 - JUNE 15, 2018
ISSUED TO SHOW ADDITIONAL AREA OF PRIVATE STREET ACCESS ENHANCED PER PERMITS BY DESIGN & TRACTS A-3-3 & A-3-4.

APPROVED BY THE CITY PARISH PLANNING COMMISSION
APPROVED BY THE CITY PARISH PLANNING COMMISSION
BY FRANK M. DUKE, FAICP, PLANNING DIRECTOR OR DESIGNEE

DATED: _____

CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C1	61°08'04"	24.50'	26.14'	S 49°10'29" E - 24.92'
C2	89°59'23"	19.50'	30.63'	S 26°23'14" W - 27.57'
C3	59°56'18"	24.50'	25.63'	N 11°21'42" E - 24.48'
C4	89°59'54"	19.50'	30.63'	N 63°36'24" W - 27.58'
C5	38°19'35"	24.50'	16.39'	S 37°55'25" E - 16.08'
C6	87°22'25"	19.50'	28.30'	S 26°18'47" W - 25.92'
C7	23°53'41"	24.50'	10.23'	N 06°47'46" W - 10.16'
C8	89°57'15"	19.50'	30.61'	N 63°44'15" W - 27.57'

AUG. 27, 2018
EXISTING SITE CONDITIONS MAP
SHEET 2 OF 11



LEGEND

TOTAL PROPERTY BOUNDARY (AS NOTED)	1	ELEVATION OF TOP OF STRUCTURE	10P - 18.81
SET 3/4" IRON NAIL (AS NOTED)	2	ELEVATION OF BOTTOM OF STRUCTURE	10B - 18.82
FOUNDER/SET BY NAIL (AS NOTED)	3	EXISTING SPILL ELEVATION	10S - 10.43
FOUNDER RIGHT OF WAY MARKER (AS NOTED)	4	ELEVATION OF TOP OF CURB	10TC - 18.36 FE.
EXISTING POWER POLE	5	ELEVATION OF FACE OF CURB	10FC - 18.30 FE.
EXISTING POWER POLE WITH LIGHT	6	EXISTING ORIGINAL CONTOUR LINE	10C - 0
EXISTING PARKING LOT LIGHT	7	EXISTING SEWER MANHOLE	10M - 0
EXISTING SIGN MASTHEAD	8	EXISTING SEWER CLEANOUT	10N - 0
EXISTING ELECTRIC PEDESTAL	9	EXISTING UTILITY SENDER LINE	10U - 0
EXISTING OVERHEAD POWER LINE	10	EXISTING SEWER FORCE MAIN	10F - 0
EXISTING UNDERGROUND POWER LINE	11	EXISTING SURFACE MARKER	10S - 0
EXISTING TELEPHONE PEDESTAL	12	EXISTING SURFACE CHANGING	10SC - 0
EXISTING TELEPHONE MANHOLE	13	EXISTING ORANGE CHAIN BAILEY	10OC - 0
EXISTING TELEPHONE LINE	14	EXISTING ORANGE CATCH BASIN	10OB - 0
EXISTING CABLE TV PEDESTAL	15	EXISTING FIRE WATERVAULT	10FW - 0
EXISTING GAS METER	16	EXISTING WATER METER	10W - 0
EXISTING GAS VALVE	17	EXISTING WATER VALVE	10V - 0
EXISTING GAS LINE	18	EXISTING TERRAZZO-COTTA PIPE	10T - 0
EXISTING APPLIANE	19	EXISTING REINFORCED CONCRETE PIPE	10R - 0
EXISTING BAR WIRE FENCE LINE	20	EXISTING CORRUGATED METAL PIPE	10C - 0
EXISTING CHAIN LINK FENCE	21	EXISTING POLYVINYL CHLORIDE PIPE	10P - 0
EXISTING WOOD FENCE LINE	22	EXISTING HIGH DENSITY POLYETHYLENE PIPE	10H - 0
EXISTING BARRIER POST	23	EXISTING HULLBOX	10H - 0

TOTAL AREA: 7.281 ACRES (316,280 SQ. FT.)
COMPREHENSIVE PLANNING LAND USE: UNDEVELOPED (LAND)

ELECTRICAL COMPANY: ENTERY SOUTHERN OPERATIONS
FIRE DISTRICT: BATON ROUGE CITY FIRE
GAS COMPANY: ENTERY CORPORATION
SEWER DISTRICT: W.S.T.A.
WATER DISTRICT: BATON ROUGE WATER COMPANY
SCHOOL DISTRICT: MAHONEY HIGH SCHOOL, OLASOPO MIDDLE SCHOOL, UNIVERSITY TERRACE ELEMENTARY SCHOOL

DEDICATION:
THE SURVEYOR AND ENGINEER OF THIS SURVEY, BY HIS PROFESSIONAL OPINION AND BEST KNOWLEDGE, BELIEVE THAT THE PROPERTY HEREIN IS NOT SUBJECT TO ANY EASEMENTS, ENCUMBRANCES, OR OTHER INTERESTS THAT WOULD AFFECT THE ACCURACY OF THIS SURVEY. THE SURVEYOR AND ENGINEER HAVE CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAVE FOUND NO EVIDENCE OF SUCH INTERESTS. THE SURVEYOR AND ENGINEER MAKE NO WARRANTY, EXPRESSED OR IMPLIED, AS TO THE ACCURACY OF THIS SURVEY OR THE ABSENCE OF SUCH INTERESTS.

PRIVATE DEDICATION:
THE SURVEYOR AND ENGINEER OF THIS SURVEY, BY HIS PROFESSIONAL OPINION AND BEST KNOWLEDGE, BELIEVE THAT THE PROPERTY HEREIN IS NOT SUBJECT TO ANY EASEMENTS, ENCUMBRANCES, OR OTHER INTERESTS THAT WOULD AFFECT THE ACCURACY OF THIS SURVEY. THE SURVEYOR AND ENGINEER HAVE CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAVE FOUND NO EVIDENCE OF SUCH INTERESTS. THE SURVEYOR AND ENGINEER MAKE NO WARRANTY, EXPRESSED OR IMPLIED, AS TO THE ACCURACY OF THIS SURVEY OR THE ABSENCE OF SUCH INTERESTS.

SEWERAGE DISPOSAL:
NO PERSON SHALL REMOVE A METHOD OF SEWER DISPOSAL, EXCEPT CONSTRUCTION OF A PUBLICLY OWNED SEWERAGE SYSTEM, UNLESS THE METHOD OF SEWER DISPOSAL IS APPROVED BY THE BOARD OF HEALTH OF THE CITY OF BATON ROUGE.

APPROVED BY THE CITY PARISH PLANNING COMMISSION
APPROVED BY THE CITY PARISH PLANNING COMMISSION
BY FRANK M. DUKE, FAICP, PLANNING DIRECTOR OR DESIGNEE

/s/ V. PRICE LEBLANC, JR.
DRAWN TRACT A-3 (TOWNSHIP, L.S.)

APPROVED BY THE CITY PARISH PLANNING COMMISSION
APPROVED BY THE CITY PARISH PLANNING COMMISSION
BY FRANK M. DUKE, FAICP, PLANNING DIRECTOR OR DESIGNEE

/s/ FRANK M. DUKE DATED: 12/29/2017
C-1323450 50462-55

NOTICE: PRIVATE STREETS SHOWN ON PLAT APPROVED WITH PUD-2-00: GRAVITY SEWER AND ROADWAY IMPROVEMENTS BURBANK UNIVERSITY FIRST DEVELOPMENT PLAN.

FOR THE FINAL DEVELOPMENT PLAN FOR THIS PROPERTY, APPROVED 7/18/2018, THE DISTANCE ALONG WEST LEE DRIVE WILL BE LOCATED WITHIN THE WEST LEE DRIVE RIGHT-OF-WAY, AS SUCH A SIDEWALK SERVICE WILL NOT BE REQUIRED.

STIPULATED WARRANTIES:
AS PART OF CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO COMPLY WITH STORM WATER MANAGEMENT AND CHANNEL REQUIREMENTS SET FORTH IN SECTION 15.13 OF THE UNIFIED DEVELOPMENT CODE, LATEST REVISION.

"THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE APPLICABLE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND CITY-PARISH LAWS AND ORDINANCES CONCERNING THE SALE AND DEVELOPMENT OF THE PROPERTY. IN PARTICULAR, NO FILING OF THIS PLAT SHALL BE CONSIDERED UNTIL ALL APPLICABLE PROVISIONS OF CHAPTER 15 OF THE UNIFIED DEVELOPMENT CODE ARE ADDRESSED."

NOTE: "THE CITY OF BATON ROUGE AND PARISH OF EAST BATON ROUGE DOES NOT ENFORCE PRIVATE DEED AND/OR SUBDIVISION RESTRICTIONS. HOWEVER, THE APPROVAL OF THIS PLAT DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR/BUILDER FROM COMPLYING WITH ANY SUCH RESTRICTIONS THAT MAY BE ATTACHED TO THE PROPERTY ON THIS PLAT."

APPROVED BY THE CITY PARISH PLANNING COMMISSION
APPROVED BY THE CITY PARISH PLANNING COMMISSION
BY FRANK M. DUKE, FAICP, PLANNING DIRECTOR OR DESIGNEE

/s/ FRANK M. DUKE DATED: 12/29/2017
C-1323450 50462-55



CERTIFICATION:
This is to certify to VICTORY REAL ESTATE INVESTMENTS, LLC and COURVEST, LLC that this survey was done by me or under my direct supervision and control, that the survey was done on the ground and was done in accordance with the Standards of Practice for Boundary Surveys as set forth by the State of Louisiana, Board of Registration for Professional Engineers and Land Surveyors and that the accuracy specification and professional tolerances are in accordance with Class "C" surveys indicated in the above standards. I also certify there are no visible encroachments across any property lines except as shown.

Michael P. Blanchard, P.L.S.,
06/15/2018
Reg. No. 4861

ACADIA LAND SURVEYING, LLC
LOUISIANA • MISSISSIPPI • TEXAS

206 EAST 2ND STREET, THIBODAUX, LOUISIANA 70301
Phone • (985) 449-0044 Fax • (985) 449-0065
EMAIL: ACADIA@ACADIALANDSURVEYING.COM

DATE	DESCRIPTION	APPROVED BY	WT
DRAWN BY: E.S.	CHECKED BY: E.S.	APPROVED BY: E.S.	
DATE: 18-OCTOBER-2017		JOB FILE: 2017-11-3334/7-3334-496	

COMMON OPEN SPACE REQUIREMENTS

THIS PUD INCLUDES A TOTAL OF 800 ACRES OF DEVELOPABLE PROPERTY BASED ON THE REQUIREMENTS OF THE UCC, A TOTAL OF 200 ACRES OF THIS ACRES MUST BE DEDICATED TO COMMON OPEN SPACE. THIS DEDICATES TO A REQUIREMENT OF 110 ACRES OF COMMON OPEN SPACE FOR THE BURLINCK UNIVERSITY PUD. PER THE UCC, PARKS AND OTHER OPEN GREENBELT AREAS, MUST ACCOUNT FOR NOT LESS THAN 50% OF THE COMMON OPEN SPACE. BASED ON THIS REQUIREMENT, 55 ACRES OF THE COMMON OPEN SPACE MUST BE "GREEN SPACE" AS DEFINED BY THE UCC.

THE FOLLOWING IS A BREAKDOWN OF THE ACRES REQUIRED WITHIN THE BURLINCK UNIVERSITY PUD THAT MEETS THE COMMON OPEN SPACE AND COMMON OPEN GREEN SPACE REQUIREMENTS:

PER SECTION 8.216, C. 2, A. 3 SURFACE DRAINAGE, INCLUDING SURFACE RETENTION AND DETENTION, OTHER NATURAL OR MANMADE WHICH DRAINAGE A PARTICULAR PROPERTY AND INCREASE ITS DRAINABILITY OR ITS VULNERABILITY TO THE PUBLIC, MAY ACCOUNT FOR COMMON OPEN SPACE. WITHIN THE BURLINCK UNIVERSITY PUD, THERE ARE EXISTING AND PROPOSED STORMWATER MANAGEMENT PONDS THAT MEET THIS REQUIREMENT.

THE WET POND SYSTEM LOCATED SOUTH OF ARLINGTON CREEK IS APPROXIMATELY 43.2 ACRES.
THE WET POND LOCATED WITHIN TRACT D-2, NORTH OF BURLINCK DR IS APPROXIMATELY 5.8 ACRES.

PER SECTION 8.216, C. 2, A. 3 NATURAL WETLANDS MAY ACCOUNT FOR UP TO FIFTY PERCENT OF THE COMMON OPEN SPACE. WITH THE DEVELOPMENT OF THE BURLINCK UNIVERSITY PUD, APPROXIMATELY 233 ACRES OF NATURAL WETLANDS WERE DEDICATED TO A WETLANDS CONSERVATION. 55 ACRES OF THIS WETLANDS CONSERVATION HAS BEEN ALLOCATED TO COMMON OPEN GREEN SPACE.

IN ADDITION TO THE NATURAL WETLANDS, A LARGE GREENBELT AREA HAS BEEN RETAINED WITHIN TRACT D-2, WHICH INCLUDES APPROXIMATELY 8.4 ACRES OF COMMON OPEN SPACE GREEN SPACE. THIS ACRES DOES NOT INCLUDE THE WET POND.

AN ADDITIONAL 10.3 ACRES OF COMMON OPEN GREEN SPACE HAS BEEN PROVIDED THROUGHOUT THE PUD DEVELOPMENT.

COMMON OPEN SPACE SUMMARY:

COMMON OPEN SPACE	110 ACRES	110 ACRES
COMMON OPEN GREEN SPACE	55 ACRES	55 ACRES

BASED ON THE ABOVE, THE BURLINCK UNIVERSITY PUD DEVELOPMENT MEETS THE COMMON OPEN SPACE REQUIREMENTS AS SET FORTH IN THE UCC.

DESCRIPTION OF USES:

1. COMMERCIAL, RETAIL & HOTEL - EQUIVALENT TO ALL USES ALLOWED IN H22 AND C-4-B-2.
2. MEDIUM DENSITY RESIDENTIAL - EQUIVALENT TO ALL USES ALLOWED IN A3.1 AND A3.3. MEDIUM DENSITY RESIDENTIAL UNITS MAY BE 40 FEET TALL AND 3 STORIES. ALCOHOL SERVICE SHALL BE ALLOWED WITHIN THE HOTEL FACILITY.
3. LIVE WORK / HIGH DENSITY RESIDENTIAL - SHALL PROVIDE FOR A COMBINATION OF NEIGHBORHOOD COMMERCIAL PERMITTED USES (AS SPECIFIED IN HC ZONING DISTRICT), GENERAL OFFICE PERMITTED USES (AS SPECIFIED IN THE GC ZONING DISTRICT), AND MEDIUM DENSITY RESIDENTIAL PERMITTED USES (AS SPECIFIED IN THE A3.3 ZONING DISTRICT) ON THE GROUND FLOOR OF THE BUILDINGS WITH MEDIUM DENSITY RESIDENTIAL UNITS ON THE UPPER FLOORS. THESE UNITS MAY BE UP TO 5 STORIES HIGH WITH A MAXIMUM BUILDING HEIGHT OF 70 FEET. THE DENSITY AS INDICATED ON THE CONCEPT PLAN SHALL BE A MAXIMUM OF 22 UNITS PER ACRE AND THE MAXIMUM GROSS BUILDING SQUARE FOOTAGE OF EACH BUILDING SHALL BE 40,000 SF. MULTIPLE BUILDINGS PER LOT SHALL BE ALLOWED.
4. MEDIUM DENSITY RESIDENTIAL (ASSISTED LIVING FACILITY) - EQUIVALENT TO ALL USES ALLOWED IN A3.1 AND A3.3. THE ASSISTED LIVING UNITS MAY BE 50 FEET TALL AND 4 STORIES. THE FOLLOWING FACILITIES WILL BE ALLOWABLE WITHIN THE 29 ACRE ASSISTED LIVING FACILITY:
 - PHYSICAL THERAPY
 - WELLNESS CENTER
 - PHYSICAL THERAPY
 - ASSISTED LIVING (FOR FACILITY RESIDENTS ONLY)
 - SKILLED NURSING (FOR FACILITY RESIDENTS ONLY)
 - DEMENTIA/ALZHEIMER FACILITY
 - RESTAURANT WITH ALCOHOL SERVICE
 - POST OFFICE
 - PHARMACY
 - LAUNDRY/DIRTY CLEANING
 - SPRINKLER FACILITY
 - CHURCH, LIBRARY, OR OTHER TYPE OF CMC USE.
5. OFFICE - EQUIVALENT TO ALL USES ALLOWED IN CO.
6. CIVIC - THE CIVIC AREA IS ANTICIPATED, BUT NOT LIMITED, TO BEING DEVELOPED AS A CHURCH, LIBRARY, OR OTHER TYPE OF CMC USE.

PREVIOUSLY APPROVED PUD USAGE CHART

	LOW DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	HIGH DENSITY RESIDENTIAL	COMMERCIAL /OFFICE	PUBLIC AND SEMI-PUBLIC	INDUSTRIAL	OPEN SPACE
TOTAL # OF UNITS	0	1,598	0	NA	NA	NA	NA
TOTAL SQUARE FEET OF BUILDINGS	NA	NA	NA	1,117,280	57,800	NA	NA
TOTAL ACRES	0	110.37	0	133.58	17.44 AC.	0	288.12
PERCENT OF SITE	0	20%	0	24%	2%	0	52%

MODIFIED PUD USAGE CHART

	LOW DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	HIGH DENSITY RESIDENTIAL	COMMERCIAL /OFFICE	PUBLIC AND SEMI-PUBLIC	INDUSTRIAL	OPEN SPACE
TOTAL # OF UNITS	0	1,598	0	NA	NA	NA	NA
TOTAL SQUARE FEET OF BUILDINGS	NA	NA	NA	1,118,721	57,800	NA	NA
TOTAL ACRES	0	116.43 AC.	0	133.89 AC.	17.72 AC.	0	290.26 AC.
PERCENT OF SITE	0	20%	0	24%	2%	0	53%

USAGE LEGEND

AREA	USE	ACREAGE	DENSITY	TOTAL SF / UNITS
COMMERCIAL / RETAIL (CR)		6.58 AC	6,000 SF / AC.	39,480 SF
COMMERCIAL / RETAIL (CR)		12.97 AC	6,000 SF / AC.	77,820 SF
COMMERCIAL / RETAIL (CR)		7.00 AC	6,000 SF / AC.	42,000 SF
HOTEL (H)		4.00 AC	30,000 SF / AC.	120,000 SF / 185 UNITS
MEDIUM DENSITY RESIDENTIAL (MDR)		45.88 AC	9 UNITS / AC.	413 UNITS
LIVE WORK / MEDIUM DENSITY * RESIDENTIAL (LW/MDR)		16.10 AC	22 UNITS / AC.	354 UNITS
MEDIUM DENSITY RESIDENTIAL (ASSISTED LIVING FACILITY) (MDR/AL)		27.14 AC	18 UNITS / AC.	489 UNITS
CIVIC		5.72 AC	10,070 SF / AC.	57,600 SF
MEDIUM DENSITY RESIDENTIAL (MDR)		21.28 AC	15.5 UNITS / AC.	330 UNITS
OFFICE (OF)		5.04 AC	12,000 SF / AC.	60,480 SF
PONDS / STORMWATER MANAGEMENT AREA (SMA)		48.83 AC		
COMMERCIAL (COM)		32.54 AC	9,500 SF / AC.	309,130 SF
COMMERCIAL (COM)		13.00 AC	7,000 SF / AC.	91,000 SF
COMMERCIAL (COM)		11.00 AC	9,000 SF / AC.	99,000 SF
COMMERCIAL (COM)		8.00 AC	4,000 SF / AC.	32,000 SF
COMMERCIAL/MULTI FAMILY (C/M)		13.36 AC	4,000 SF / AC.	53,440 SF
COMMERCIAL/MULTI FAMILY (C/M)		20.46 AC	15.30 UNITS / AC.	204 UNITS
COMMERCIAL/MULTI FAMILY (C/M)		20.46 AC	9,500 SF / AC.	194,370 SF
COMMERCIAL/MULTI FAMILY (C/M)		20.46 AC	8.75 UNITS / AC.	179 UNITS
PUBLIC FACILITIES (PF)		3.00 AC		
NATURAL RESOURCE (NR)		3.00 AC		
GREEN SPACE (GS)		9.4 AC		
WETLAND CONSERVATION AREA (WCA)		232.15 AC		

* THE LIVE WORK/MEDIUM DENSITY RESIDENTIAL AREA WAS PREVIOUSLY APPROVED AS A MEDIUM DENSITY RESIDENTIAL USE AT A DENSITY OF 22 UNITS/ACRE.

GENERAL DESCRIPTION:

1. THE TOTAL ACRES OF THE PUD PROPERTY IS APPROXIMATELY 800 ACRES. 233 ACRES OF WHICH HAS BEEN DEDICATED TO A WETLANDS CONSERVATION SERVICE.
2. THE FOLLOWING ACRES HAVE BEEN DEDICATED TO THE VARIOUS LAND USE OUTCOMES:
 - COMMERCIAL OFFICE: 133.89 ACRES
 - MEDIUM DENSITY RESIDENTIAL: 84.30 ACRES
 - HIGH DENSITY RESIDENTIAL: 18.10 ACRES
 - PUBLIC/SEM-PUBLIC: 11.72 ACRES
 - OPEN SPACE: 288 ACRES
3. TOTAL NUMBER OF BUILDINGS WITHIN THE PUD IS ANTICIPATED TO BE 617.
4. THE TOTAL NUMBER OF RESIDENTIAL UNITS ANTICIPATED FOR THE PROJECT IS 1888 UNITS, INCLUDING THE RESIDENTIAL UNITS CONSTRUCTED WITHIN THE COMMON AREA.
5. THE DENSITY ALLOCATION OF THE RESIDENTIAL UNITS ARE AS FOLLOWS: 45.88 ACRES OF 9 UNITS/ACRE, 16.10 ACRES OF 22 UNITS/ACRE, 27.14 ACRES OF 18 UNITS/ACRE, AND 21.28 ACRES OF 15.5 UNITS PER ACRE.
6. THE TOTAL SQUARE FOOTAGE OF OFFICE/COMMERCIAL BUILDING SQUARE FOOTAGE WITHIN THE PUD IS 1,178,521 SF.
7. WITH THE EXCEPTION OF BEN HUR ROAD AND THE SIDEWAYS ALONG BEN HUR AND WITHIN EXISTING PUBLIC BOWLS, ALL OF THE PROPOSED STREETS AND PEDESTRIAN WAYS ARE INTENDED TO BE PRIVATELY OWNED AND MAINTAINED.
8. WATER SERVICE TO THE PUD PROPERTY WILL BE PROVIDED BY BATON ROUGE WATER COMPANY.
9. GAS SERVICE WILL BE PROVIDED BY ENTERTY ONE.
10. ELECTRICAL POWER WILL BE PROVIDED BY ENTERTY ONE.
11. TELEPHONE SERVICE WILL BE PROVIDED BY BELLSOUTH.
12. CABLE SERVICE WILL BE PROVIDED BY COM COMMUNICATIONS.
13. SEWER COLLECTION WILL BE PROVIDED BY THE CITY OF BATON ROUGE. A SEWER PUMP STATION AND CONSTRUCTION BY 2010 ALONG THE NORTH SIDE OF BEN HUR ROAD ALL SEWERAGE FROM THIS PUD DEVELOPMENT IS INTENDED TO BE COLLECTED AT THIS PUMP STATION AND THEN PUMPED TO THE DEAN LEE OR PUMP STATION.
14. THE PUD COMPLETES WITH THE FOLLOWING GOALS OF THE FUTURE MASTER PLAN AS FOLLOWS:
 - A. PRIOR TO DEVELOPMENT BEGINNING WITHIN THE PUD APPROXIMATELY 232 ACRES OF EXISTING WETLANDS WERE PURE AND A WETLANDS CONSERVATION SERVICE THAT THIS EXISTING WETLANDS AREA IS PROTECTED FROM FURTHER DISTURBANCE/DEVELOPMENT. IN ADDITION, THE STORMWATER RUNOFF OVERFLOW INTO THE WETLANDS CONSERVATION AREA, REVERSEING THE EXISTING WETLANDS, THAT OVER THE PREVIOUS YEARS HAS BEEN DRAINED BY MAN-MADE DAMAGE DEVICES. THESE EFFORTS ARE CONSIDERED WITH THE GOALS AND OBJECTIVES OF THE DEVELOPMENT AND CONSERVATION SECTION OF THE FUTURE PLAN.
 - B. AS PART OF THE PUD DEVELOPMENT, THE EXISTING BRIDGE OVER BROOK FOREMAN WILL BE REPAIRED AND IMPROVED TO MEET THE DESIGN OF BURLINCK DR AND LEE DR. THIS IS A PROJECT THAT IS BEING REVIEWED OUTSIDE OF THE IMPACTS OF THE PUD DEVELOPMENT. THE CONSTRUCTION OF THESE IMPROVEMENTS TO THE INTERSECTION OF BURLINCK AND WEST LEE ARE CONSIDERED WITH THE GOALS OF THE DEVELOPMENT SECTION OF THE FUTURE PLAN.
 - C. THE REMAINING SECTION OF THE FUTURE PLAN INDICATES THAT IT IS DESIRABLE TO PROVIDE DEVELOPMENT INCLUDING TYPES WITHIN THE SAME GENERAL NEIGHBORHOOD. THIS PUD DEVELOPMENT ACCOMPLISHES THIS NEED BASED ON THE MIX OF MULTI-FAMILY APARTMENTS, TOWNHOUSES, OFFICE STYLE TOWNHOUSES, AND SINGLE FAMILY RESIDENTIAL HOMES THAT ARE BEING REDESIGNED AND PROPOSED.
15. AS OF THE END OF 2015, THERE ARE APPROXIMATELY 172 ACRES WITHIN THE PUD REMAINING TO BE DEVELOPED. THIS ACRES IS LOCATED MAINLY ALONG NICHOLSON, BURLINCK DR, AND WEST LEE DR. FOLLOWING IS THE ANTICIPATED SCHEDULE FOR DEVELOPMENT OF THE REMAINDER OF THE PROPERTY:
 - 2016: CONSTRUCTION OF THE BUILDINGS AT LEE OFFICE TRAFFIC IMPROVEMENTS
 - 2016: DEVELOPMENT OF TRACTS A-1-1, A-2, AND A-3, AND A-4, AND A-5
 - 2017: DEVELOPMENT OF TRACTS B-2-A-1-A, C-1-1-1-1-2, AND C-1-1-1-1-3, B-3-1-1-A, AND C-2-2-1-1
 - 2018: DEVELOPMENT OF TRACTS C-2-2-1-1-1-A AND C-2-2-1-1-1-C
16. ALL SERVICE WITHIN THE PUD WILL BE COVERED BY CHAPTER 16 OF THE UCC UNLESS OTHERWISE SPECIFIED IN THE CONCEPT PLAN.
17. WETLANDS RESOURCES OF BURLINCK WITHIN THE PUD SHALL BE NO GREATER THAN 150% OF THE MAXIMUM HEIGHT ALLOWED IN THE ADJACENT ZONING DISTRICT, AS PER THE UCC REQUIREMENTS.

PLANNING SUMMARY:

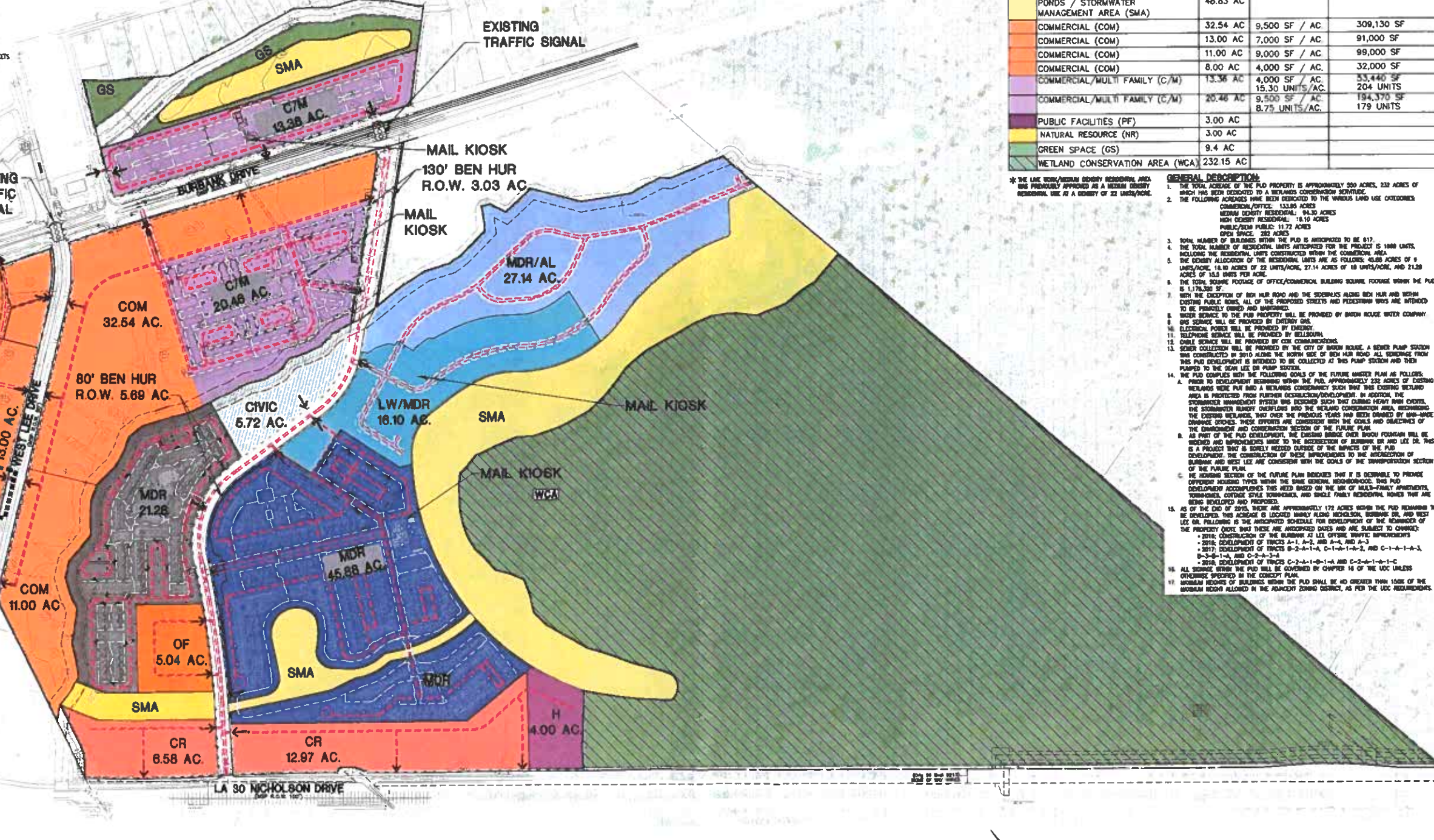
- CURRENT ZONING: PUD
FUTURE LAND USE: TOWN CENTER
PROPOSED USE: PUD
SEWER TREATMENT: GRAVITY TO PUMP STATION, FORCEMAIN TO CITY OF BATON ROUGE FACILITIES
STREETS: 1. ALL STREETS TO REMAIN PRIVATE EXCEPT FOR BEN HUR WHICH HAS BEEN CONSTRUCTED TO EBSP STANDARDS.
SCHOOL DISTRICT: EBR-7
FIRE DISTRICT: BATON ROUGE CITY FIRE & ST. GEORGE FIRE DIST #2
GAS SERVICE: ENTERTY
WATER SERVICE: BATON ROUGE WATER COMPANY
ELECTRIC: ENTERTY
TELEPHONE: AT&T
SITE LIGHTING: WILL COMPLY TO UCC REQUIREMENTS

SEQUENCE OF CONSTRUCTION:

THE CURRENT STATUS OF THE PUD IS THE WOODLANDS OF BATON ROUGE AND THE COTTAGES OF BATON ROUGE ARE COMPLETE. ARLINGTON TOWN HOMES AND MANORS AND WILDFLOODED OF BATON ROUGE, ARE CURRENTLY UNDER CONSTRUCTION. ARLINGTON TOWN HOMES AND MANORS IS SCHEDULED TO BE COMPLETED IN THE THIRD QUARTER OF 2016 AND WILDFLOODED OF BATON ROUGE WILL ALSO BE COMPLETED IN THE THIRD QUARTER OF 2016. ANDERSON HIGHLAND LAKE VILLAS IS CURRENTLY IN DESIGN WITH THE FINAL DEVELOPMENT PLAN BEING APPROVED IN APRIL 2015. AS OF THE END OF 2015, THERE ARE APPROXIMATELY 172 ACRES WITHIN THE PUD REMAINING TO BE DEVELOPED. THIS ACRES IS LOCATED MAINLY ALONG NICHOLSON, BURLINCK DR, AND WEST LEE DR. FOLLOWING IS THE ANTICIPATED SCHEDULE FOR DEVELOPMENT OF THE REMAINDER OF THE PROPERTY.

LEGEND

- TREE LINE
- RIGHT-OF-WAY
- PROPERTY LINE
- PROPOSED VEHICULAR ACCESS
- CONSERVATION AREA
- VEHICULAR PATH
- PEDESTRIAN PATH (WHITE)



APPROVED CONCEPT AND CIRCULATION PLAN FOR REFERENCE ONLY (NOT TO SCALE)

REVISED CONCEPT PLAN

AUG. 27, 2018
APPROVED CONCEPT PLAN
SHEET 3 OF 11



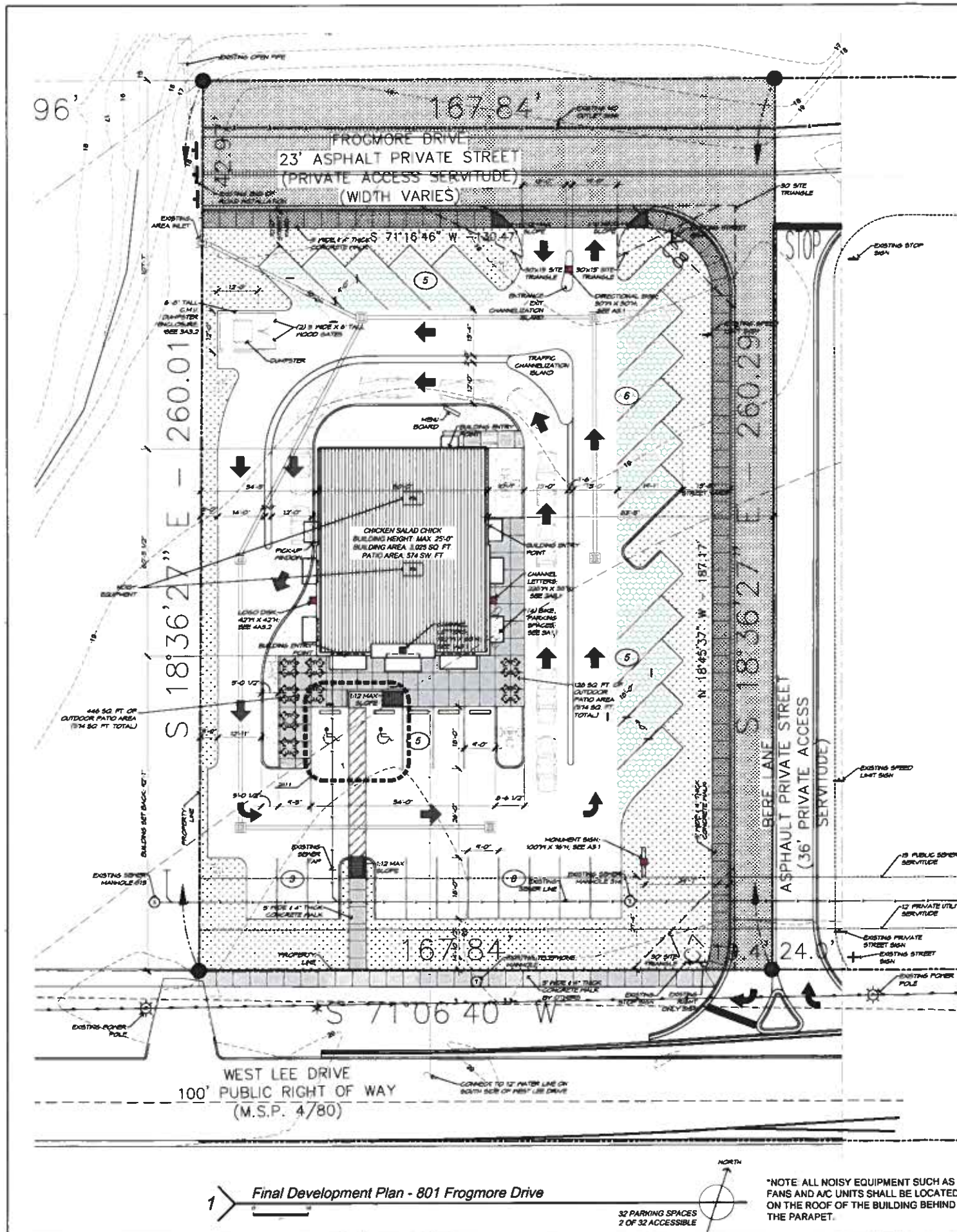
REVISION	BY
1/19/2012	SMP
6/24/2015	SMP
2/3/2016	CEB
5/31/2016	SMS

DDG
DUPLANTIS DESIGN GROUP, PC
Civil, Mechanical, Electrical, Plumbing, Fire Protection, Energy, Survey, GIS
1818 East Poydras Street, Suite 300
Baton Rouge, LA 70802
WWW.DDGPC.COM Phone: 225-375-4490 Fax: 225-375-4495
THROTHAUX | CONTRACTOR | HOUSTON | BATON ROUGE | LOUISIANA

Ala. Sheri R. Kraybill
REGISTERED PROFESSIONAL ENGINEER
STATE OF LOUISIANA
No. 31578
UNIVERSITY PUD, LLC
PROFESSIONAL ENGINEER
IN
CIVIL ENGINEERING
DATE: 9-31-16

ARLINGTON CREEK SOUTH PUD CONCEPT
BATON ROUGE, LOUISIANA
UNIVERSITY PUD, LLC
NEW ORLEANS, LOUISIANA

DRAWN: MTT
CHECKED: HNK
ISSUED DATE: 11-4-2015
ISSUED FOR: CONCEPT PLAN APPROVAL
PROJECT NO.: 15-381
FILE: 15-381 REVISED CONCEPT PLAN 1
SHEET: C-2



Final Development Plan - 801 Frogmore Drive

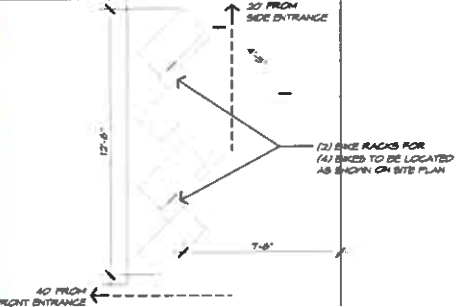
NOTE: ALL NOISY EQUIPMENT SUCH AS FANS AND A/C UNITS SHALL BE LOCATED ON THE ROOF OF THE BUILDING BEHIND THE PARAPET.

PLANNING SUMMARY / USAGE

EXISTING ZONING: PUD (PLANNED UNIT DEVELOPMENT)
 COMPREHENSIVE PLAN USE CATEGORY: TC
 CHARACTER AREA: URBAN/WALKING
 EXISTING ZONING OF ADJACENT PARCELS: PUD
 ACREAGE: 1.002+/- ACRES
 UTILITY SERVICE PROVIDERS (IN PLACE):
 ELECTRIC: ENTERGY OF LA, LLC
 GAS: ENTERGY OF LA, LLC
 TELEPHONE: COX COMMUNICATIONS
 WATER: BATON ROUGE WATER COMPANY
 SANITARY SEWER: CITY OF BATON ROUGE DPW
 NUMBER OF BUILDINGS: 1
 BUILDING SQUARE FOOTAGE: 3,025 SQ. FT.
 DENSITY/INTENSITY: 3,019 SF/ACRE
 BUILDING HEIGHT: MAX. 25'-0"
 NUMBER OF STORIES: 1
 PROPOSED USE: FAST FOOD RESTAURANT
 100 YEAR FLOOD: 20'
 INUNDATION ELEVATION: 19.5"
 NO MAIL SERVICE IS REQUIRED FOR THIS SITE, MAIL TO BE ADDRESSED AND DELIVERED TO MAIN OFFICE.



Bike Racks



LEGEND

GREEN SPACE		PERMEABLE PAVING LIMESTONE	
COMMERCIAL			
SERVITUDE OF ACCESS			

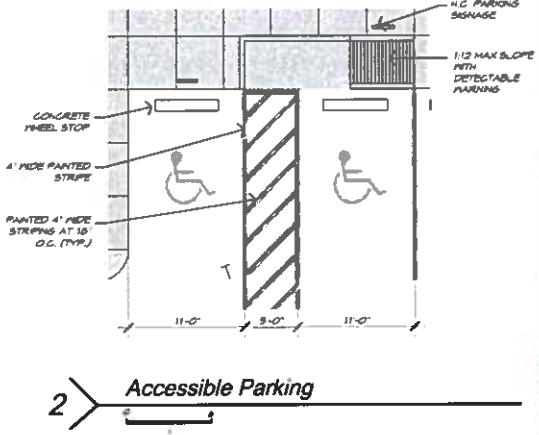
SETBACKS

	TYPICAL	PROPOSED
FRONT YARD (WEST LEE DRIVE)	20 FT	92.08 FT
SIDE YARD	NONE	34.42 FT (WEST) 83.42 FT (EAST)
REAR YARD (FROGMORE DRIVE)	NONE	107.58 FT

PARKING CHART	FORMULA	REQUIRED	PROPOSED
COMMERCIAL USES	3,599 SF @ 1:250	15	32
TOTALS		15	32
HANDICAP SPACES	26-50 PARKING SPOTS	2	2
BICYCLE PARKING	1 PER 20 MOTOR VEHICLES	2	4

TABLE OF USES

	LOW DENSITY RESIDENTIAL	MEDIUM DENSITY RESIDENTIAL	HIGH DENSITY RESIDENTIAL	COMMERCIAL OFFICE	PUBLIC AND SEMI-PUBLIC (PRIVATE SERVITUDE OF ACCESS)	OPEN SPACE (LANDSCAPING)
TOTAL # OF UNITS	0	0	0	N/A	N/A	N/A
TOTAL SQ. FT. OF BUILDING	0	0	0	3,025	N/A	N/A
TOTAL ACREAGE	0	0	0	0.05	0.25	0.18
PERCENT OF SITE	0%	0%	0%	55%	26%	19%



Accessible Parking

GENERAL DESCRIPTION:

THIS PROJECT IS PART OF THE BURBANK UNIVERSITY PUD-2-00 AND IS LOCATED IN THE 13.0 ACRE TRACT OF COMMERCIAL AREA ON THE NORTH SIDE OF W. LEE DRIVE. THE TRACT A-3-4 IS 1.002 ACRES AND CONTAINS AN EXISTING PRIVATE SERVITUDE OF ACCESS AND ROADWAY. SINCE THIS TRACT IS INCLUDED IN AN AREA DESIGNATED ON THE CONCEPT PLAN AS A 13.0 ACRE COMMERCIAL, NO ADDITIONAL USES OR GREEN SPACE ARE REQUIRED FOR THIS TRACT.

THE PROPOSED SITE WILL INCLUDE 0.55 ACRES OF COMMERCIAL (BUILDING + PAVING), 0.25 ACRES OF PRIVATE SERVITUDE OF ACCESS WITH EXISTING ASPHALT ROADWAYS, AND 0.18 ACRES OF LANDSCAPED GREEN SPACE. THERE WILL BE ONE BUILDING ON THIS SITE - A 3,025 SF OF FAST FOOD RESTAURANT, WITH A MAXIMUM HEIGHT OF 25'. THIS ENTIRE TRACT IS TO SERVE THE PROPOSED CHICKEN SALAD CHICK, WITH DRIVE THROUGH WINDOW. THE PROPOSED VEHICULAR AND PEDESTRIAN CIRCULATION MATCHES THE VEHICULAR AND PEDESTRIAN CIRCULATION INCLUDED IN THE CONCEPT PLAN.

CONSTRUCTION SCHEDULE:

CONSTRUCTION IS EXPECTED TO COMMENCE WITHIN 30 DAYS OF FINAL DEVELOPMENT PLAN AND BUILDING PLAN APPROVAL AND IS EXPECTED TO BE COMPLETED WITHIN 240 DAYS.

UTILITIES:

DRAINAGE AND SEWER TIE-INS HAVE BEEN PROVIDED TO THE SITE AS INCLUDED IN THE "PUBLIC GRAVITY SEWER, PRIVATE DRAINAGE, AND PRIVATE ROADWAY IMPROVEMENTS AT W. LEE DRIVE - PHASE # TRACT A-3 (PUD-2-00 BURBANK UNIVERSITY)" PREVIOUSLY APPROVED BY CPPC. BATON ROUGE WATER, ENTERGY ELECTRIC, AND ENTERGY GAS HAVE UTILITIES IN PLACE TO SERVE THIS SITE.

MAIL IS TO BE ADDRESSED TO THE OWNER'S HOME OFFICE AND WILL NOT BE RECEIVED ON THIS SITE.

FINAL DEVELOPMENT PLAN

FOR CHICKEN SALAD CHICK TRACT A-3-4

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AUG. 27, 2018
 FINAL DEVELOPMENT PLAN
 SHEET 5 OF 11

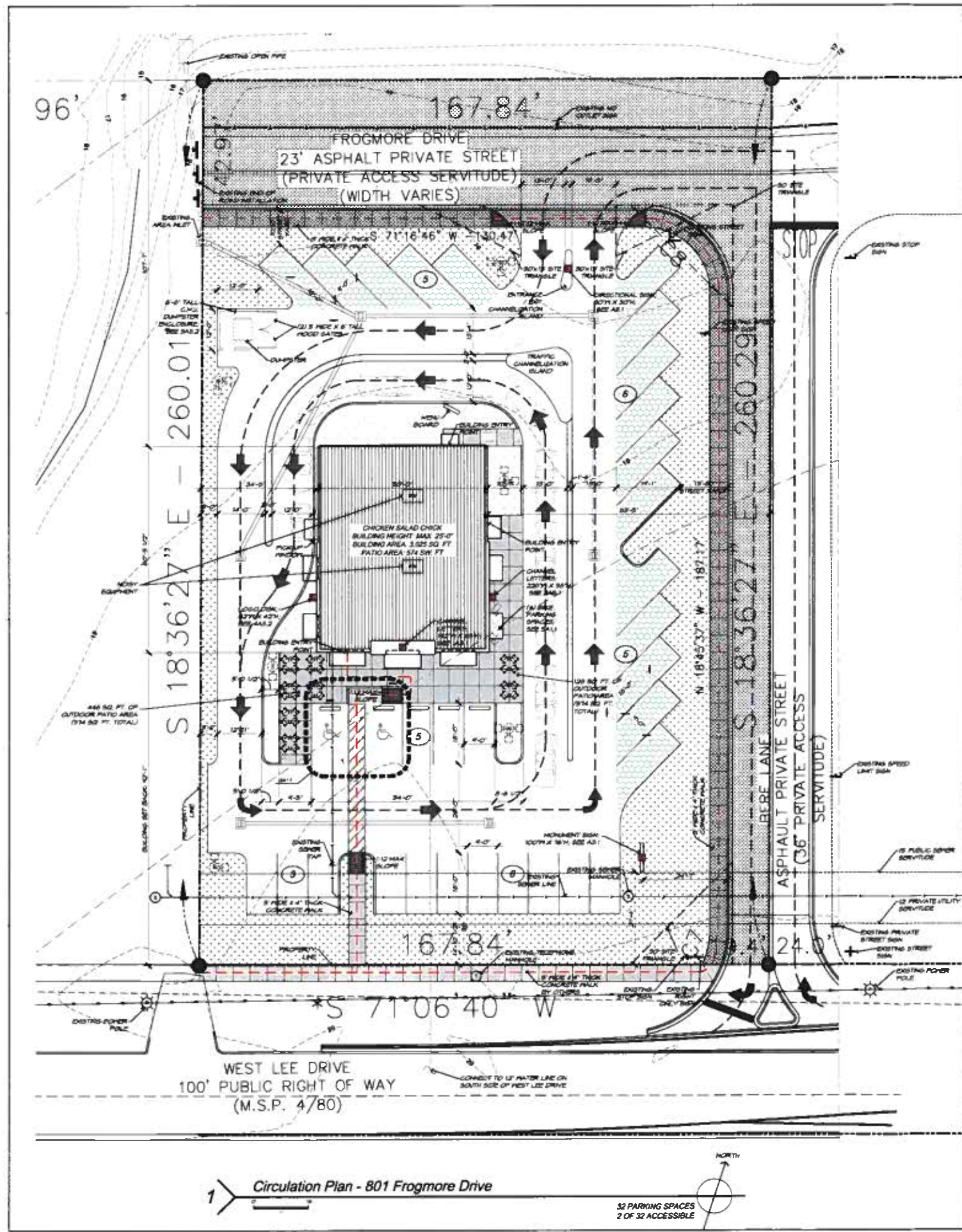
CHICKEN SALAD CHICK



THOMSON BROTHERS CONSTRUCTION

d+b ARCHITECTS

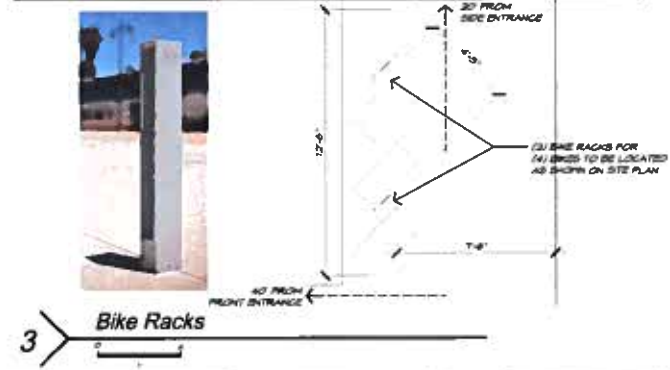
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 AUG 27 2018
 A1.1



PLANNING SUMMARY / USAGE

EXISTING ZONING: PUD (PLANNED UNIT DEVELOPMENT)
COMPREHENSIVE PLAN USE CATEGORY: TC
CHARACTER AREA: URBAN/WALKING
EXISTING ZONING OF ADJACENT PARCELS: PUD
ACREAGE: 1.002 +/- ACRES
UTILITY SERVICE PROVIDERS (IN PLACE):
 ELECTRIC: ENTERGY OF LA, LLC
 GAS: ENTERGY OF LA, LLC
 TELEPHONE: COX COMMUNICATIONS
 WATER: BATON ROUGE WATER COMPANY
 SANITARY SEWER: CITY OF BATON ROUGE DPW

NUMBER OF BUILDINGS: 1
BUILDING SQUARE FOOTAGE: 3,025 SQ. FT.
DENSITY/INTENSITY: 3,019 SF/ACRE
BUILDING HEIGHT: MAX. 25'-0"
NUMBER OF STORIES: 1
PROPOSED USE: FAST FOOD RESTAURANT
100 YEAR FLOOD: 20'
INUNDATION ELEVATION: 19.5"
NO MAIL SERVICE IS REQUIRED FOR THIS SITE, MAIL TO BE ADDRESSED AND DELIVERED TO MAIN OFFICE.



LEGEND

GREEN SPACE	PERMEABLE PAVING: LIMESTONE
COMMERCIAL	ALL PAVING AND WALKS WITHIN TRACT TO REMAIN PRIVATE.
SERVITUDE OF ACCESS	ALL PROPOSED PAVING TO BE CONCRETE.
VEHICULAR CIRCULATION	EXISTING ROADWAY WITHIN SERVITUDE OF ACCESS IS CONCRETE CURB AND GUTTER WITH ASPHALT PAVING.
PEDESTRIAN CIRCULATION	
DIRECTIONAL ARROW	

PARKING CHART

	FORMULA	REQUIRED	PROPOSED
COMMERCIAL USES	3,508 SF @ 1,250	15	32
TOTALS		15	32
HANDICAP SPACES	26-50 PARKING SPOTS	2	2
BICYCLE PARKING	1 PER 20 MOTOR VEHICLES	2	4

CIRCULATION PLAN FOR CHICKEN SALAD CHICK TRACT A-3-4

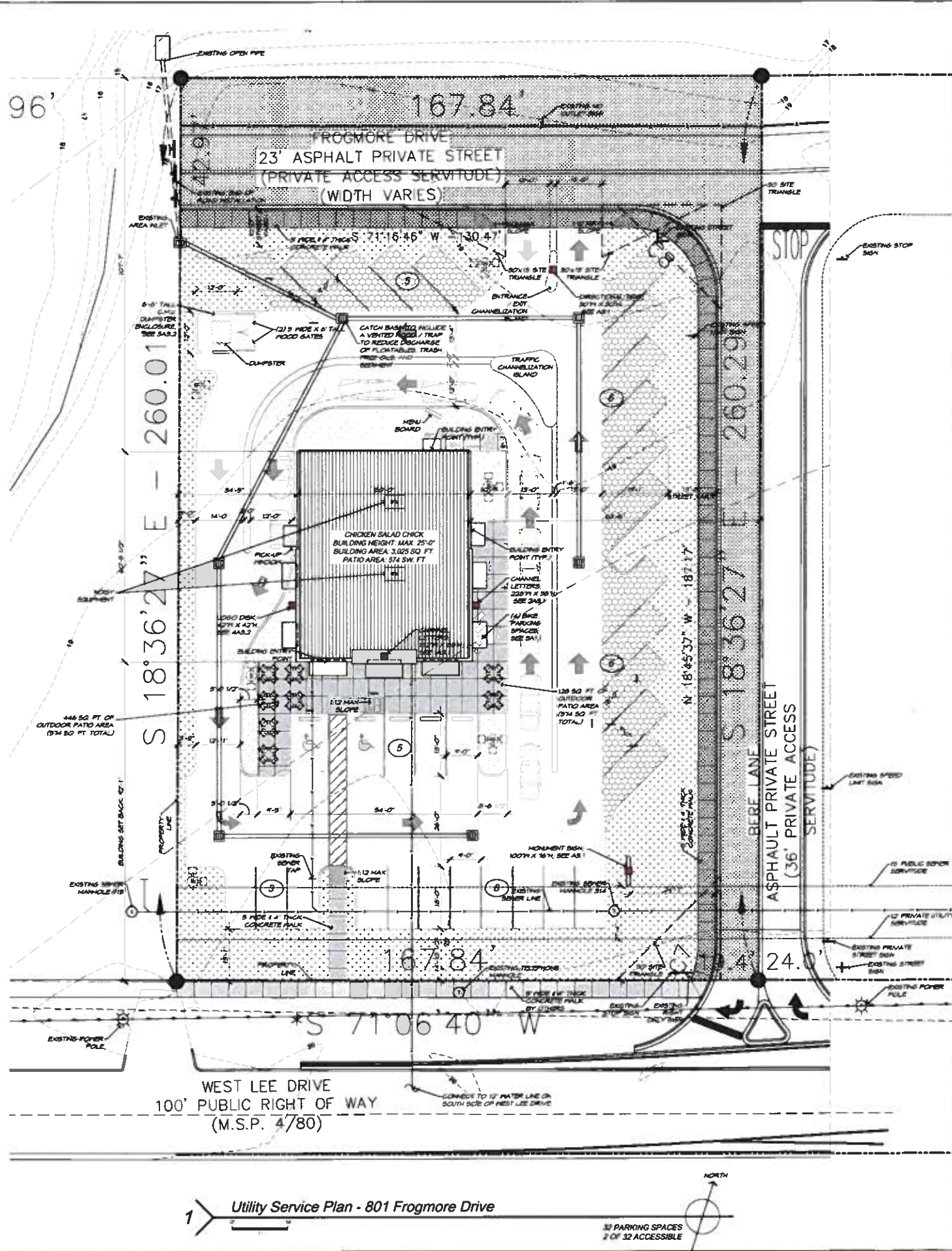
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AUG. 27, 2018
CIRCULATION PLAN
SHEET 6 OF 11

THOMSON BROTHERS CONSTRUCTION
Quality & Safety First
337.837.7100

d+b
D+B Architects, LLC
400 Commerce Parkway, Suite 100, Baton Rouge, LA 70802
P: 225.389.9000
F: 225.389.9005

CHICKEN SALAD CHICK
A NEW RESTAURANT FOR
801 FROGMORE DRIVE
TRACT A-3-4 OF THE NEW PROPERTY
BATON ROUGE, LOUISIANA 70802



PLANNING SUMMARY / USAGE

EXISTING ZONING: PUD (PLANNED UNIT DEVELOPMENT)
 COMPREHENSIVE PLAN USE CATEGORY: TC
 CHARACTER AREA: URBAN/WALKING
 EXISTING ZONING OF ADJACENT PARCELS: PUD
 ACREAGE: 1.002 +/- ACRES
 UTILITY SERVICE PROVIDERS (IN PLACE):
 ELECTRIC: ENTERGY OF LA, LLC
 GAS: ENTERGY OF LA, LLC
 TELEPHONE: COX COMMUNICATIONS
 WATER: BATON ROUGE WATER COMPANY
 SANITARY SEWER: CITY OF BATON ROUGE DPW
 NUMBER OF BUILDINGS: 1
 BUILDING SQUARE FOOTAGE: 3,025 SQ. FT.
 DENSITY/INTENSITY: 3.019 SF/ACRE
 BUILDING HEIGHT: MAX. 25'-0"
 NUMBER OF STORIES: 1
 PROPOSED USE: FAST FOOD RESTAURANT
 100 YEAR FLOOD: 20'
 INUNDATION ELEVATION: 19.5"
 NO MAIL SERVICE IS REQUIRED FOR THIS SITE, MAIL TO BE ADDRESSED AND DELIVERED TO MAIN OFFICE.
 FIRE HYDRANT, IF REQUIRED, TO BE LOCATED AT LOCATION DESIGNATED BY FIRE DEPARTMENT.

LED AREA LIGHTS - LSI SLICE LARGE (XLCL)



- NOTES:
1. YARD LIGHTS TO BE LSI SLICE LARGE (XLCL) WITH 20 FT. POLES; SEE PLAN FOR YARD LIGHT CONFIGURATIONS (I.E. DUAL OR TRIPLE FIXTURE.)
 2. ALL WORK SHALL COMPLY WITH ARTICLE 250.52(A)(3) AND ARTICLE 110.24(A) OF THE 2011 NEC.
 3. PROVIDE 110V OUTLET TO YARD LIGHT/SIGN POLE LOCATIONS SHOWN HEREON.

LIGHT DISTRICT - ZONE				
Zone	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)
1	41,000	41,000	41,000	41,000
2	51,000	51,000	51,000	51,000
3	41,000	41,000	41,000	41,000
4	51,000	51,000	51,000	51,000

LEGEND

PROPOSED DRAIN PIPE	=====
EXISTING DRAIN PIPE	=====
PROPOSED GRATE INLET	■
EXISTING GRATE INLET	■
PROPOSED WATER SERVICE	-----
PROPOSED GAS SERVICE	-----
EXISTING OVERHEAD ELECTRIC	-----
EXISTING POWER POLE	⊙
EXISTING TELEPHONE MANHOLE	⊙
EXISTING SEWER MANHOLE	⊙
EXISTING SEWER MAIN	-----
EXISTING SEWER TAP	└

ALL PAVING AND WALKS WITHIN TRACT TO REMAIN PRIVATE.
 ALL PROPOSED PAVING TO BE CONCRETE.
 EXISTING ROADWAY WITHIN SERVITUDE OF ACCESS IS CONCRETE CURB AND GUTTER WITH ASPHALT PAVING.

LIGHTING SYMBOL LEGEND

DUAL LIGHT FIXTURE	⊙
TRIPLE LIGHT FIXTURE	⊙

UTILITY SERVICE PLAN FOR CHICKEN SALAD CHICK TRACT A-3-4



AUG. 27, 2018
 UTILITY SERVICE PLAN
 SHEET 7 OF 11

CHICKEN SALAD CHICK
 A NEW RESTAURANT FOR
 801 FROGMORE DRIVE
 TRACT A-3-4 OF BELDON PROPERTY
 BATON ROUGE, LOUISIANA 70801



THOMSON BROTHERS
 Quality & Safety First
 CONSTRUCTION 337.837.7100

d+b
 ARCHITECTS & ENGINEERS
 400 Commercial Parkway, Suite 100, Baton Rouge, LA 70802
 P: 225.389.2000
 F: 225.389.2008
 www.dandb.com

Project No.
 CSC04-2018

Date
 AUG 27, 2018

Utility Service Plan

A1.3

SECTION 329000 - LANDSCAPING
PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes the following:

- 1. Trees
- 2. Shrubs
- 3. Ground covers
- 4. Mulch
- 5. Topsoil and soil amendments
- 6. Fertilizers and mulches
- 7. Stakes and guys
- 8. Landscape edgings
- 9. Hydro-seeding
- 10. Sod

1.3 SUBMITTALS

- A. General: Submit each item in this Article according to the requirements of Section 133000.

- 1. Product Certificates signed by manufacturer's certifying that their products comply with specified requirements.

- a.a. Manufacturer's certified analysis for standard products such as weed free soil and variety, fertilizer label or receipt of purchase and pre-emergent herbicide label or receipt of purchase.

- a.b. Label data or receipt of purchase substantiating that plants, trees, shrubs, and planting materials comply with specified requirements.

- 2. Certification of grass seed from seed vendor for each grass-seed mixture stating the botanical and common name and percentage by weight of each species and variety, and percentage of purity, germination, and weed seed.

- a.a. Certification of each seed mixture for soil, identifying soil source, including name and telephone number of supplier.

- a.b. Seed grades for Hydro-mulching.

- 4. Maintenance instructions recommending procedures to be established by Owner for maintenance of landscaping during an entire year. Submit before expiration of required maintenance periods.

- 5. Topsoil Analysis: Furnish a soil analysis made by a qualified independent soil-testing agency stating percentages of organic matter, inorganic matter (all, clay, and sand), deleterious material, pH, and mineral and plant-nutrient content of topsoil.

1.4 QUALITY ASSURANCE

- A. Installer Qualifications: Engage an experienced Landscape Contractor who is currently licensed by the Louisiana Horticulture Commission to do landscape contracting work in the State of Louisiana and has completed landscaping work of similar material, design, and extent to that indicated for this Project and with a record of successful landscape establishment.

- 1. Installer's Field Supervisor: Require installer to maintain an experienced full-time supervisor on the Project site during times that landscaping is in progress.

- 2. Provide quality, size, variety, species, and variety of trees and shrubs indicated, complying with applicable requirements of ANSI Z60.1 "American Standard for Nursery Stock".

- 2. Report suitability of topsoil for growth of applicable planting material. State recommended quantities of nitrogen, phosphorus, and potassium nutrients and any limestone, aluminum sulfate, or other soil amendments to be added to produce a satisfactory topsoil.

- C. Measurements: Measure trees and shrubs according to ANSI Z60.1 with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements 6 inches (150 mm) above ground for trees up to 4 inch (100 mm) caliper size, and 12 inches (300 mm) above ground for larger sizes. Measure main body of tree or shrub for height and spread; do not measure branches or roots top-to-top.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Packaged Materials: Deliver packaged materials in containers showing weight, analysis, and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.

- B. Seed: Deliver seed in original sealed, labeled, and undamaged containers.

- C. Sod: Harvest, deliver, store, and handle sod according to the requirements of the American Sod Producers Association's (ASPA) "Specifications for Turfgrass Sod Materials and Transplanting/Grassliffing".

- D. Trees and Shrubs: Deliver freshly dug trees and shrubs. Do not prune before delivery, except as approved by Architect. Protect bark, branches, and root systems from sun scald, drying, sweating, whipping, and other handling and tying damage. Do not band or bind-tie trees or shrubs in such a manner as to destroy natural shape. Provide protective covering during delivery. Do not drop trees and shrubs during delivery.

- E. Handle balled and burlapped stock by the root ball.

- F. Deliver trees, shrubs, ground covers, and plants after preparations for planting have been completed and install immediately. If planting is delayed more than 6 hours after delivery, set planting materials in shade, protect from wind and mechanical damage, and keep roots moist.

- 1. Set balled stock on ground and cover ball with soil, peat moss, sawdust, or other acceptable material.

- 2. Do not remove container-grown stock from containers before time of planting.

- 3. Water root systems of trees and shrubs stored on site with a fine-mist spray. Water as often as necessary to maintain root systems in a moist condition.

1.6 PROJECT CONDITIONS

- A. Utilities: Determine location of above grade and underground utilities and perform work in a manner which will avoid damage. Hand excavations, as required, maintain grade stakes until removal is mutually agreed upon by parties concerned.

- B. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Architect before planting.

1.7 COORDINATION AND SCHEDULING

- A. Coordinate installation of planting materials during normal planting seasons for each type of plant material required.

1.8 WARRANTY

- A. General Warranty: The special warranty specified in this Article shall not deprive the Owner of other rights the Owner may have under other provisions of the Contract Documents and shall be in addition to, and run concurrent with, other warranties made by the Contractor under requirements of the Contract Documents.

- B. Special Warranty: Warranty the following living planting materials for a period of one year after date of Substantial Completion, against defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by Owner, abnormal weather conditions unusual for warranty period, or incidents that are beyond Contractor's control.

- 1. Trees

- 2. Shrubs

- 3. Ground covers

- C. Remove and replace dead planting materials immediately unless required to plant in the succeeding planting season.

- D. Replace planting materials that are more than 25 percent dead or in an unhealthy condition at end of warranty period.

- E. A limit of one (1) replacement of each plant material will be required, except for losses or replacements due to failure to comply with requirements.

1.9 TREE AND SHRUB MAINTENANCE

- A. Maintain trees and shrubs by pruning, cultivating, watering, weeding, fertilizing, restoring planting sources, lightning and repairing stakes and guy supports, and resetting to proper grades or vertical position, as required to establish healthy, viable plantings. Spray as required to keep trees and shrubs free of insects and disease. Restore or replace damaged tree wrappings. Maintain trees and shrubs until final acceptance of the Project.

1.10 GROUND COVER AND PLANT MAINTENANCE

- A. Maintain ground cover and plants by watering, weeding, fertilizing, and other operations as required to establish healthy, viable plantings of the Project.

PART 2 - PRODUCTS

2.1 TREES AND SHRUB MATERIAL

- A. General: Furnish nursery-grown trees and shrubs conforming to ANSI Z60.1 with healthy root systems developed by transplanting or root pruning. Provide well-shaped, fully-branched, healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as knots, sun scald, injuries, abrasions, and disfigurement.

- B. Grades: Provide trees and shrubs of sizes and grades conforming to ANSI Z60.1 for type of trees and shrubs required. Trees and shrubs of a larger size may be used if acceptable to Architect, with a proportionate increase in size of roots or balls.

- C. Label at least one (1) tree and one (1) shrub of each variety and caliper with a security attached, waterproof tag bearing legible designation of botanical and common name.

- 2.2 SHADE AND FLOWERING TREES

- A. Shade Trees: Single-stem trees with straight trunk, well-balanced crown, and intact leader, of height and caliper indicated, conforming to ANSI Z60.1 for type of trees required.

- 1. Branching Height: 1/3 to 1/2 of tree height.

- 8. Small Trees: Small upright or spreading type, branched or pruned naturally according to species and type, and with relationship of caliper, height, and branching recommended by ANSI Z60.1, and stem form as follows:

- 1. Form: Multi-stem, clamp, with three (3) or more main stems.

- C. Provide balled and burlapped trees.

- 1. Container-grown trees will be acceptable in lieu of balled and burlapped trees subject to meeting ANSI Z60.1 limitations for container stock.

- 2.3 GROUND COVERS AND PLANTS

- A. Provide ground covers and plants established and well rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size indicated.

- 2.4 GRASS MATERIALS

- A. Grass Seed: Fresh, clean, dry, non-weep seed complying with the Association of Official Seed Analysts' "Rules for Testing Seeds" for purity and germination tolerances.

- 1. Seed Mixture: Provide seed of grass species and varieties, proportions by weight, and minimum percentages of purity, germination, and maximum percentage of weed seed as indicated on Schedules at the end of this Section.

- 2. Sod: Certified turgrass sod complying with ASPA specifications for machine-cut thickness, size, strength, moisture content, and mowed height, and free of weeds and undesirable native grasses. Provide viable sod of uniform density, color, and texture of specified turgrass species, strongly rooted, with 3/4 inch natural soil covering roots and capable of vigorous growth and development when planted.

- 2. Spacing: Provide sod of grass species and varieties, proportions by weight, and minimum percentages of purity, germination, and maximum percentage of weed seed as indicated on Schedules at the end of this Section.

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- 2.5 TOPSOIL

- A. Topsoil: ASTM D 5208, pH range of 5 to 6, 4 percent organic material minimum, free of stones 1 inch (25 mm) or larger in any dimension, and deleterious materials harmful to plant growth.

- 1. Topsoil Source: Amend existing surface soil to produce topsoil. Supplement with imported topsoil when required.

- B. Lime: ASTM C 802, Class T, agricultural limestone containing a minimum 80 percent calcium carbonate equivalent, with a minimum 50 percent passing a No. 8 (2.36 mm) sieve and a minimum 75 percent passing a No. 20 (750 micrometer) sieve.

- 1. Provide lime in the form of dolomitic limestone.

- C. Aluminum Sulfate: Commercial grade, unadulterated.

- D. Sand: Clean, washed, natural or manufactured sand, free of toxic materials.

- E. Perlite: Horticultural perlite, soil amendment grade.

- F. Peat Humus: Finely divided or granular texture, with a pH range of 6 to 7.5, composed of partially decomposed moss peat (other than sphagnum) peat humus, or reed-edge peat.

- G. Sawdust or Ground-Bark Humus: Decomposed, nitrogen-treated, of uniform texture, free of chips, stones, sticks, or toxic materials.

- 1. When site treated, mix with at least 15 lb (2.4 kg) of ammonium nitrate or 0.25 lb (4 kg) of ammonium sulfate per cu. ft. (cu. m) of loose sawdust or ground bark.

- H. Manure: Well-rotted, unleached stable or cattle manure containing not more than 25 percent by volume of straw, sawdust, or other bedding materials, free of toxic substances, stones, sticks, soil, weed seed, and material harmful to plant growth.

- I. Herbicides: Pre-emergent herbicide, EPA registered and approved, of type recommended by manufacturer.

- J. Water: Potable.

- 2.6 FERTILIZER

- A. Bone-meal: Commercial, raw, finely ground, minimum of 4 percent nitrogen and 20 percent phosphoric acid.

- B. Superphosphate: Commercial, phosphata mixture, soluble; minimum of 20 percent available phosphoric acid.

- C. Commercial Fertilizer: Osmocote 14-14-14 at a rate of 50 lb per 1000 sq. ft.

- 1. Composition: 1 lb per 1000 sq. ft. (0.5 kg per 100 sq. m) of actual nitrogen, 4 percent phosphorous, and 2 percent potassium, by weight.

- D. Slow-Release Fertilizer: Granular fertilizer consisting of 50 percent water-insoluble nitrogen, phosphorus, and potassium in the following composition:

- 1. Composition: 14 percent nitrogen, 14 percent phosphorous, and 14 percent potassium, by weight.

- E. Agrifilm Planting Tablets: 20-15-10 - Two (2) tablets per 1 inch caliper of tree for trees planted outside of bed areas.

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- 2.7 MULCHES

- A. Organic Mulch: Organic mulch, free from deleterious materials and suitable as a top dressing of trees and shrubs, consisting of one (1) of the following:

- 1. Type: 2" Shredded hardwood.

- B. Peat Mulch: Provide peat moss in natural, shredded, or granulated form, of fine texture, with a pH range of 4 to 5 and a water-absorbing capacity of 1100 to 2000 percent.

- 2.8 STAKES AND GUYS: (See Tree Details on the Landscape Plans)

- A. Upright Staking and Tying: Use Metal T-Post with arborite attached to posts. Use a minimum of two (2) stakes of length required to penetrate at least 18 inches below bottom of backfilled excavation and to extend at least 30 inches above grade.

- B. Support trees with two (2) strands of tie wire encased in hose sections at contact points with tree trunk. Allow enough slack to avoid rigid restraint of tree.

- C. Guying and Staking: Use green Arbor tie with 3 Ties. Use the Light Duty Anchoring Kit for trees .5 inch through 3 inch caliper and the Heavy Duty Anchoring Kit for trees 3.5 inch through 6 inch caliper.

- 2.9 LANDSCAPE EDGINGS

- A. Steel Edging: ASTM A 595 (ASTM A 589M), rolled edge, standard raw, unpainted steel edging, fabricated in sections with loops stamped on or welded to face of sections approximately 30 inches (760 mm) apart to receive stakes.

- B. Edging Size: 1/8 inch wide by 4 inches deep.

- C. Stakes: Tapered steel, 15 inches long.

- D. Accessories: Standard tapered ends, corners, and spacers as required.

- E. Finish: Standard unpainted finish.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine areas to receive landscaping for compliance with requirements and for conditions affecting performance of work of this Section. Do not proceed with installation until unsatisfactory conditions have been corrected. If topsoil does not exist in bed areas according to proper bed preparation as per specifications do not proceed until this has been corrected.

3.2 PREPARATION

- A. Layout individual tree and shrub locations and areas for multiple plantings. Stake locations, outline areas, and secure Architect's acceptance before the start of planting work. Make minor adjustments as may be required.

3.3 PLANTING SOIL PREPARATION

- A. Backfill and Preparation of the top 8 inches of planting soil shall be prepared as follows:
General Notes: Before the start of any bed preparation, all areas to be prepared shall be stripped of any grass, weeds, etc. to a minimum depth of one (1) inch. Otherwise to eight inch depth.

- 2. Fine grade to remove all trash, rocks, debris, etc.

- 3. Soil conditioner shall be incorporated as finely chopped pine bark mulch (well decomposed tree trimmings) and shall contain a generous amount of sand.

- 4. Rotar mix or by other method approved by the Landscape Architect to a depth of 8 inches. A second time until soil conditioner and other amendments are thoroughly mixed and mixture has fine texture and loose expanded appearance.

- 5. Re-grade to the finished grade before planting.

- 6. Ground covers that have a spacing of plants that is 12 inches or less may be top dressed with mulch before planting.

- 7. Thoroughly water and firm the plants into the ground cover mixture.

- 8. Once planting is completed, treat beds with Snapshot or Freehand at 1/2 lb per 100 sq. ft. before applying 3 inches of shredded hardwood mulch.

- 9. Spread Osmocote 14-14-14 fertilizer at the rate of 50 lb per 1000 square feet uniformly over the ground cover areas, and a pound of fertilizer per 3 gallon plant.

3.4 LAWN PLANTING PREPARATION

- A. Lmtil subgrade preparation to areas that will be planted in the immediate future.

- B. Loosen subgrade to a minimum depth of 2 inches. Remove stones larger than 1-1/2 inches in any dimension and sticks, roots, rubbish, and other extraneous materials.

- C. Preparation of Unchanged Grades: Where lawns are to be planted in areas unaltered or undisturbed by excavating, grading, or surface soil stripping operations, prepare soil as follows:

- 1. Remove and dispose of existing grass, vegetation, and turf. Do not turn over into soil being prepared for lawns.

- 2. Till surface soil to a depth of at least 2 inches.

- 3. Clean surface soil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful to plant growth.

- 4. Remove waste material, including grass, vegetation, and turf, and legally dispose of it off the Owner's property.

- D. Grade lawn and grass areas to a smooth, even surface with loose, uniformly fine texture. Roll and rake, remove ridges, and fill depressions to meet finish grades. Limit fine grading to areas that can be planted in the immediate future. Remove trash, debris, stones larger than 1-1/2 inches (38 mm) in any dimension, and other objects that may interfere with planting or maintenance operations.

- E. Moisture prepared lawn areas before planting when soil is dry. Water thoroughly and allow surface to dry before planting. Do not create muddy soil.

- F. Restore prepared areas if eroded or otherwise disturbed after fine grading and before planting.

3.5 EXCAVATION FOR TREES AND SHRUBS

- A. Pits and Trenches: Excavate with vertical sides and with bottom of excavation slightly raised at center to assist drainage. Loosen hard subsoil in bottom of excavation.

- 1. Balled and Burlapped Trees and Shrubs: Excavate approximately 1-1/2 times as wide as ball diameter and equal to ball depth, plus the following setting layer depth.

- a. Setting Layer: Allow 6 inches of planting soil.

- 2. Container-Grown Trees and Shrubs: Excavate to container width and depth, plus the following setting-layer depth.

- a. Setting Layer: Allow 6 inches of planting soil.

- B. Dispose of subsoil removed from landscape excavations. Do not mix with planting soil for shrubs. Use as backfill only with trees that are pit planted outside of a landscape bed.

- C. Obstructions: Notify Architect if unexpected rock or obstructions detrimental to trees or shrubs are encountered in excavations.

- 1. Hardpan Layer: Drill 1/2 inch diameter holes into free-draining strata or to a depth of 4 feet, whichever is less, and backfill with free-draining material.

- D. Drainage: Notify Architect if subsoil conditions evidence unexpected water seepage or retention in tree or shrub pits.

- E. Fill excavations with water and allow to percolate out for twelve (12) hour period, before placing setting layer and positioning trees and shrubs.

3.6 PLANTING TREES AND SHRUBS

- A. Set balled and burlapped stock plumb and in center of pit or trench with top of ball raised above adjacent finish grades as indicated.

- 1. Place stock on setting layer of compacted planting soil.

- 2. Remove burlap and wire baskets from tops of balls and partially from sides, but do not remove from under balls. Remove packets, if any, before setting. Do not use planting stock if ball is cracked or broken before or during planting operation.

- 3. Place backfill around ball in layers, tamping to settle backfill and eliminate voids and air pockets. When pit is approximately 1/2 backfilled, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing and tamping final layer of backfill.

- B. Set container-grown stock plumb and in center of pit or trench with top of ball raised above adjacent finish grades as indicated.

- 1. Carefully remove containers so as not to damage root balls.

- 2. Place stock on setting layer of compacted planting soil.

- 3. Place backfill around ball in layers, tamping to settle backfill and eliminate voids and air pockets. When pit is approximately 1/2 backfilled, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing and tamping final layer of backfill.

- C. Dish and tamp top of backfill to form a 3 inch high mound around the rim of the pit Do not cover top of root ball with backfill.

3.7 TREE AND SHRUB PRUNING

- A. Prune thin, and shape trees and shrubs as directed by Architect.

- B. Prune, thin, and shape trees and shrubs according to standard horticultural practice. Prune trees to retain required height and spread. Unless otherwise directed by Architect, do not cut tree leaders, remove only injured or dead branches from flowering trees. Prune shrubs to retain natural character. Shrub seeds indicated are set after pruning.

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3.8 TREE AND SHRUB GUYING AND STAKING

- A. Upright Staking and Tying: Use Metal T-Post (see detail on plan) Stake trees of 2 inch through 5 inch caliper. Stake trees of less than 2 inch caliper only as required to prevent wind tip-out. Use a minimum of two (2) stakes of length required to penetrate at least 18 inches below bottom of backfilled excavation and to extend at least 72 inches above grade. Set vertical stakes and spacers to avoid penetrating balls or root masses. Support trees with two (2) strands of tie wire encased in hose sections at contact points with tree trunk. Allow enough slack to avoid rigid restraint of tree.

- B. Guying and Staking: Use green Arbor tie with 3 Ties. Use the Light Duty Anchoring Kit for trees .5 inch through 3 inch caliper and the Heavy Duty Anchoring Kit for trees 3.5 inch through 6 inch caliper.

3.9 PLANTING GROUND COVER

- A. Spread ground cover per Landscaping Plans.

3.10 MULCHING

- A. Thickness: 2 inches. (See plan for mulch type)

3.11 HYDRO SEEDING NEW LAWNS

- A. Sequencing: Coordinate work of this Section with other construction operations to minimize damage to seeded areas. Place seed as soon as practical in order to avoid unnecessary erosion at the site.

- B. Materials and Packaging:

- 1. Seed: Conform to all requirements, rates, and regulations of Louisiana Revised Statute 2:1431, et seq.

- 2. Lmtil noxious weed seeds as prescribed in the regulations, but in no case shall they exceed 500 per pound.

- 3. Fertilizer: Provide commercial type conforming to the commercial fertilizer laws in effect as regulated by the Louisiana Department of Agriculture and Forestry. Allowable chemical composition: 8-8-8, 12-12-12, 13-13-13, or 15-15-15 depending on soil requirements.

- 4. Supply in granulated or palletized form. Package in suitable containers or bags to prevent contamination by moisture.

- 5. Agricultural Lime: Agricultural lime shall be delivered either in sacks or bulk.

- 6. Water: Clean, fresh and free of substances or matter, which could inhibit vigorous growth of grass. Water may be obtained from any source. Brackish, chemically contaminated, or oily water shall not be used.

- C. Equipment: After the seedbed is established only equipment with turf tires and low ground pressure shall be allowed on the site.

D. Preparation of Ground Surface

- 1. Ground Surface: Contractor shall remove foreign materials, stones, waste materials, weeds, and undesirable plants and their roots. Contractor shall also remove any contaminated soils.

- 2. Contractor shall grade to eliminate uneven areas, soft or low spots, and to ensure positive drainage; maintain lanes, levels, profiles and contours; make changes in grade gradual; blend slopes into level areas.

- 3. Seedbed: Seedbeds shall be prepared by disking, harrowing, or other approved methods. Soil shall be thoroughly pulverized to a minimum depth of 3 inches and leveled as directed. Hardpan areas shall be rototilled to ensure that soil is in a condition to receive and sprout seed. Any required fertilizer or agricultural lime is to be incorporated at this time. Slope shall be smoothed to grade and rolled prior to seeding.

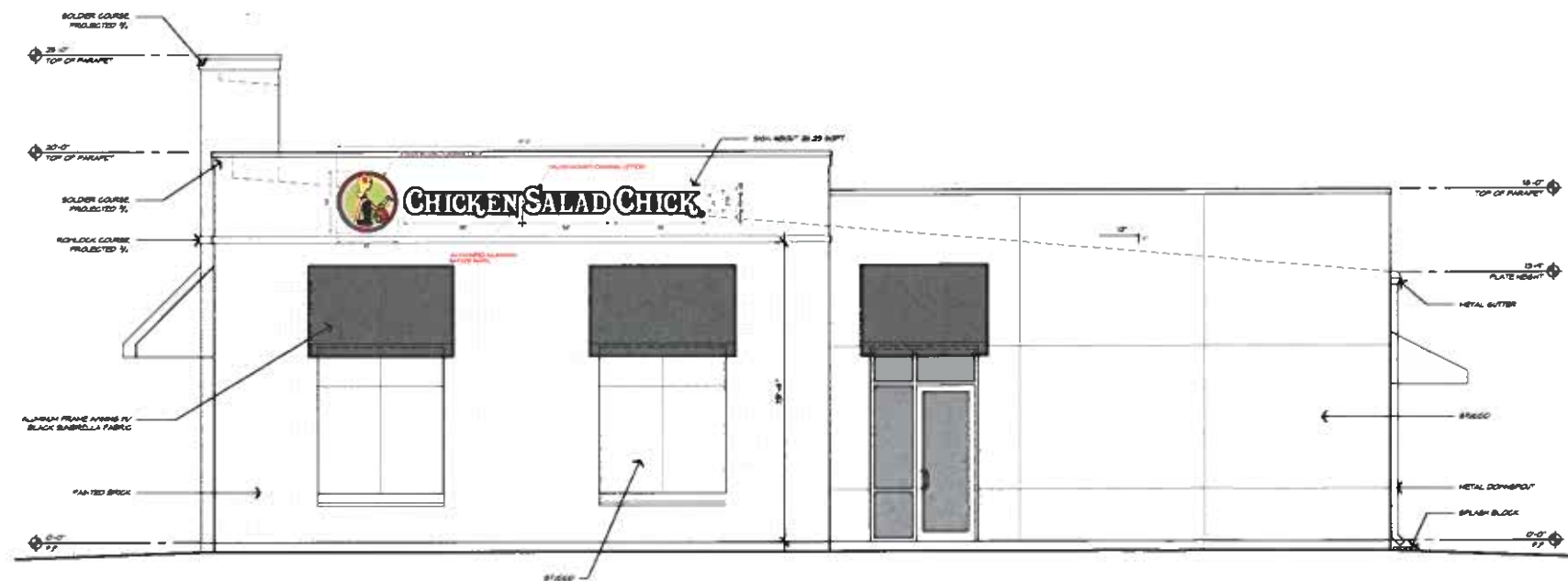
E. Fertilizing

- 1. Do not apply granular-type fertilizers more than forty-eight (48) hours prior to sowing of the Apply uniformly and mix thoroughly into upper 2 inches of soil by light disking or harrowing. Fertilizer may be incorporated during disking or harrowing operation in preparation of the ground surface. Apply fertilizer in accordance with the manufacturer's instructions at the following rates:

Type	Pounds
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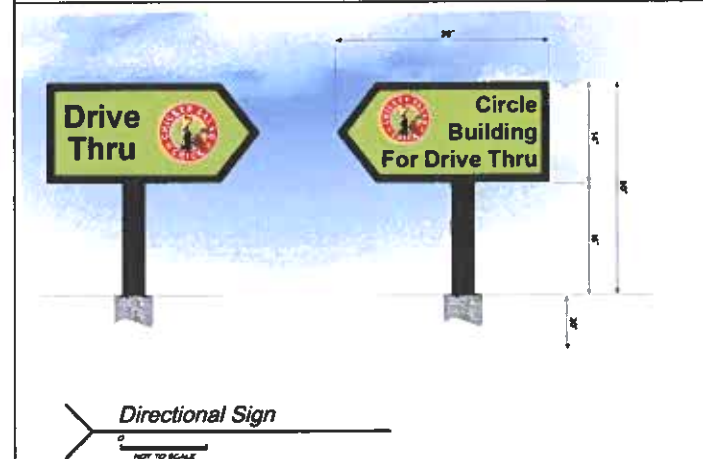
1 North Elevation



2 East Elevation



Monument Sign



Directional Sign

A NEW RESTAURANT FOR
Chicken Salad Chick
TRACT A-3-4 OF REDEMPTION PROPERTY
BAYONNE, NJ 07002 (CROSSMAN ROAD)

THOMSON BROTHERS
CONSTRUCTION
Quality & Safety First
337.837.7100

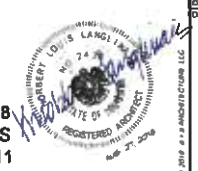
d+b
ARCHITECTURE
400 Commercial Parkway, Suite L, Longwood, VA
D+B ARCHITECTURE, LLC 207 208 1100 N. 337 837 7000

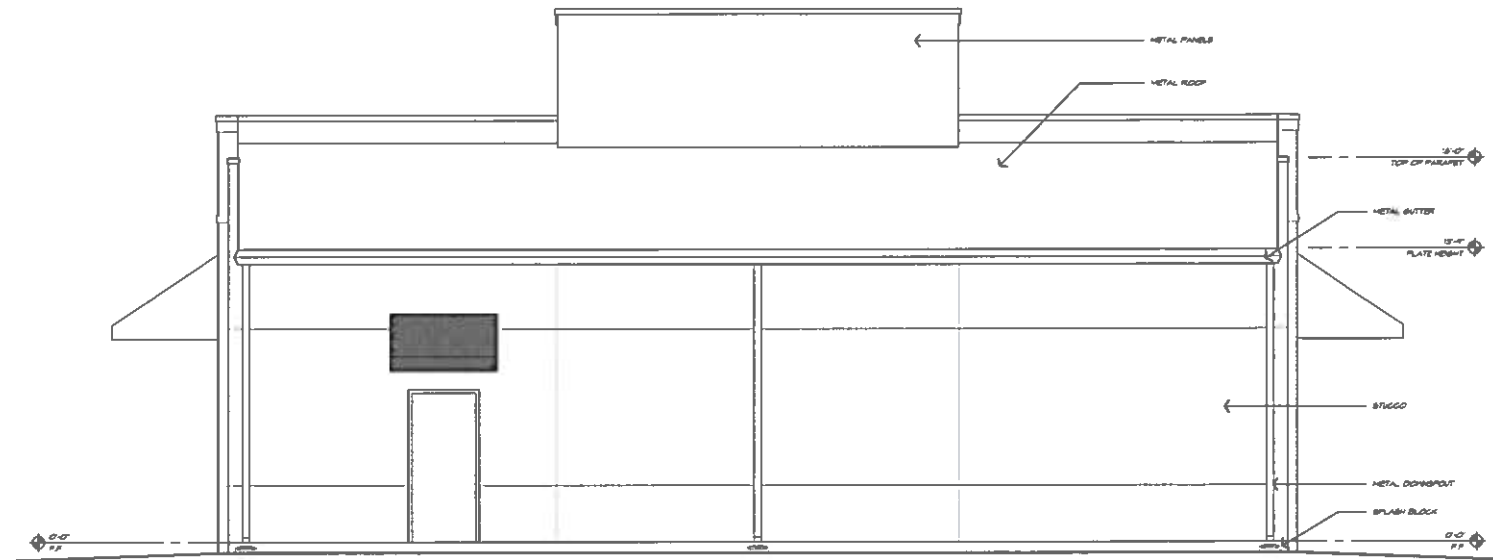
ARCHITECTURAL ELEVATIONS
FOR CHICKEN SALAD CHICK
TRACT A-3-4

Project No: CSDM.2018
Date: AUG 27, 2018
Drawing No: ARCHITECTURAL ELEVATIONS

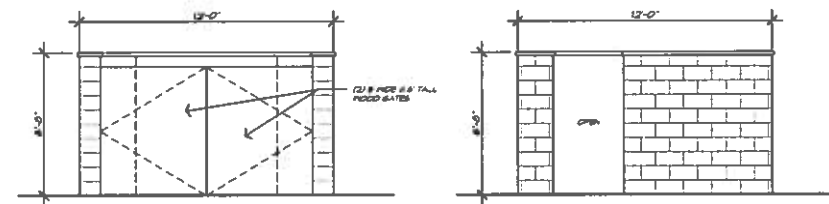
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AUG 27, 2018
ARCHITECTURAL ELEVATIONS
SHEET 10 OF 11





3 South Elevation



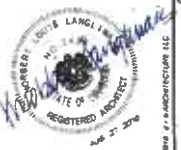
5 CMU Dumpster Enclosure



4 West Elevation

**ARCHITECTURAL ELEVATIONS
FOR CHICKEN SALAD CHICK
TRACT A-3-4**

AUG. 27, 2018
ARCHITECTURAL ELEVATIONS
SHEET 11 OF 11



A NEW RESTAURANT FOR
Chicken Salad Chick
881 PROCKERS DRIVE
TRACT A-3-4 OF NELSON PROPERTY
BAYLOR ROUGE, LOUISIANA 70009



Quality & Safety First
THOMSON BROTHERS
CONSTRUCTION 337.837.7100

d+b
ARCHITECTURE, PLLC
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Madison, LA 70705

Project No.
CSCM 2018

Date
AUG 27, 2018

ARCHITECTURAL
ELEVATIONS

A3.2

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