

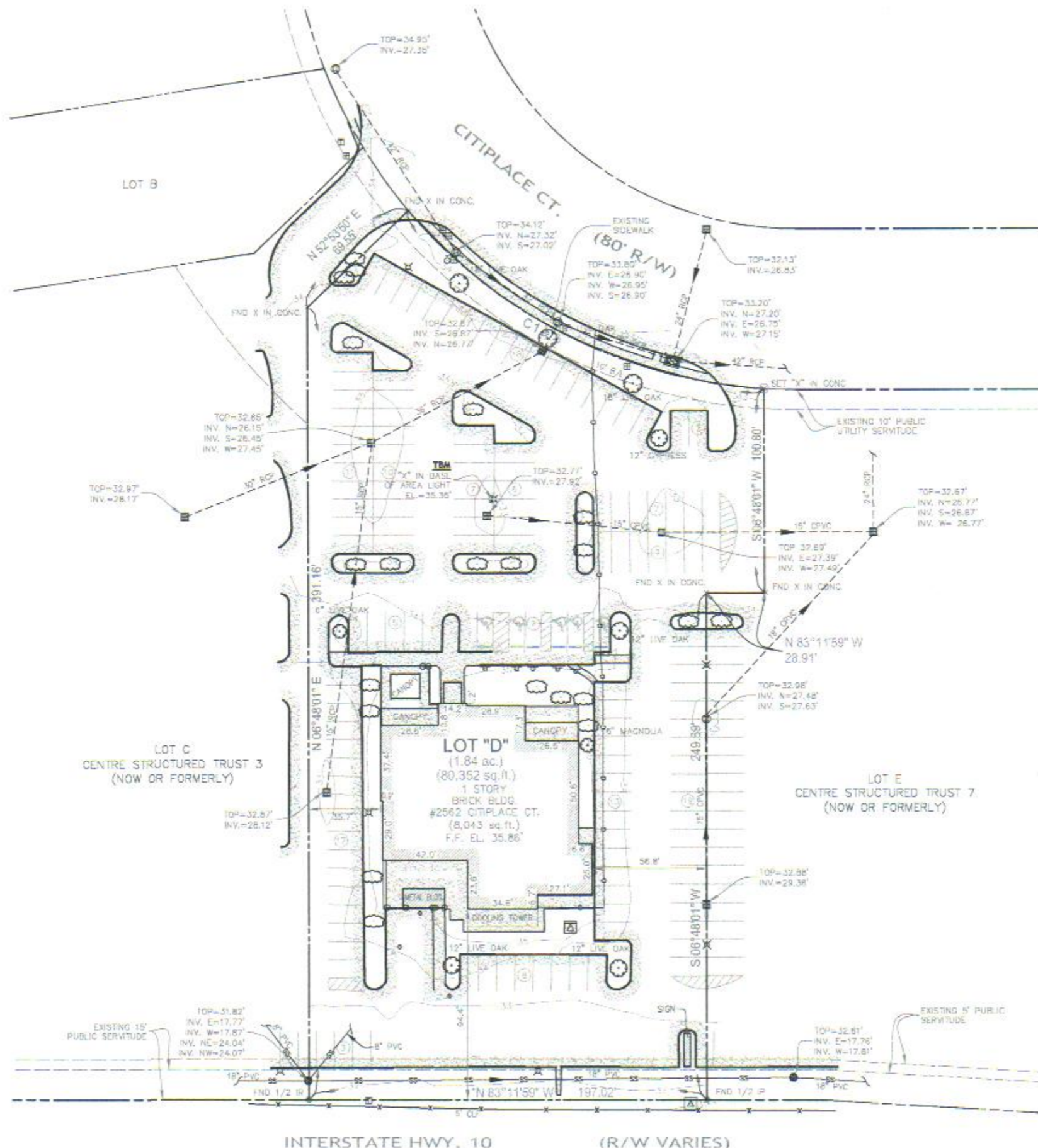


DATE	DESCRIPTION
02.20.2017	ISSUE FOR APPROVAL

DATE PROJECT NO.	17.14
DATE BY	PPH
CHECKED BY	PPH
DATE TITLE	



VICINITY MAP
NOT TO SCALE



LEGEND

- SS - Underground Sewer Line
- - Underground Drain Line
- - - - R/W Line
- - - - Underground Gas Line
- - - - Fence Line
- - Found Iron Pipe/Rod
- ⊗ - Set "X" in Concrete
- ⊗ - Found "X" Scribed in Concrete
- ⊠ - Pad Mounted Transformer
- ⊠ - Water Meter
- ⊠ - Water Valve
- ⊠ - Telephone Pedestal
- ⊠ - Sewer Manhole
- ⊠ - Drain Inlet
- ⊠ - Catch Basin
- ⊠ - Drain Manhole
- ⊠ - Sign
- ⊠ - Area Light
- R/W - Right of Way
- B/L - Building Setback Line
- RCP - Reinforced Concrete Pipe
- CLF - Chain Link Fence
- CONC. - Concrete
- FND - Found
- TOC - Top of Curb
- ⊠ - Temporary Bench Mark
- ♿ - Handicap Parking
- ⊠ - Concrete Pavement

PARKING SUMMARY:

Regular Spaces	= 134
Handicap Spaces	= 5
TOTAL	140

1 EXISTING CONDITIONS PLAN

SCALE: 1"=30'-0"



Call before you dig.
1-800-275-0000
(TICKET No. 160345016)

MAP SHOWING BOUNDARY & TOPOGRAPHIC SURVEY

OF
LOT "D"
BEING A PORTION OF CITIPLACE,
PHASE 1, COMMERCIAL PARK,
LOCATED IN SECTION 93, T-7-S, R-1-E,
GREENSBURG LAND DISTRICT,
EAST BATON ROUGE PARISH, LOUISIANA
FOR
PATEL CONSTRUCTION, LLC

GENERAL NOTES:

- Flood Note:** In accordance with FEMA Flood Insurance Rate Map Panel No. 22033C00245E for East Baton Rouge Parish Louisiana, last revised May 2, 2008, the property shown hereon is located in Flood Zone "AE". Base Flood Elevation = 36.0 feet (NAVD 1988). Base flood elevations are subject to change and should be verified with the Engineering Division of the Department of Public Works.
- FLOOD AREAS DEFINED:**
Zone "AE": Special flood hazard areas subject to inundation by the 1% annual chance flood (base flood elevations determined).
Zone "X": Areas determined to be outside the 0.2% annual chance flood plain.
- Property Zoning:** PUD (Planned Unit Development)
Zoning information should be verified with City/Parish Planning Commission.
- Reference Maps:**
A. Final Plat Citiplacé, a Planned Unit Development, Phase 1 / Commercial Park, Being a Subdivision of Tract "J15", Formerly A Portion of the Cedar Lodge Plantation, Located in Section 93, Township 7 South, Range 1 East, Greensburg Land District, East Baton Rouge Parish, Louisiana for JTS Associates of Louisiana, Inc. by Ronald K. Ferris, PLS dated January 25, 1995.
- (* represents the Basis of Bearings. Bearings are based on reference map "A" (above). Distances are U.S. Survey Feet.
- Elevations and TBM's were derived from the Leica Network System using Trimble R8 dual frequency GPS units. NAVD 1988 datum, Geoid 12A.
- No attempt has been made by LandSource, Inc., to verify title, actual legal ownerships, deed restrictions, servitudes, easements, or other burdens on the property other than that furnished by the client or his representative.
- Utilities: The underground utilities shown hereon have been located from visible paint markings from utility companies listed on LA One Call (Ticket No. 160345016), visible utility features, and/or previous construction drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, except for above ground visible utility features.
- All spot elevations are not shown for clarity of the drawing.
- There was no observable evidence of earth moving work, building construction or building additions at the time of this survey.
- To the best of my knowledge, there were no changes in street right of way lines either competed or proposed and no observable evidence of recent street or sidewalk construction or repairs.

CONSULTANT:

BY PLAN:

DEVELOPER:
PATEL CONSTRUCTION, LLC
CONTACT: PETE PATEL
(337) 774-4700
pp@patecl.com

PROJECT NAME:
TRU by Hilton
2562 CITIPLACE CT.
BATON ROUGE, LA 70808



JOB DESCRIPTION:

LOT D (1.84 ACRES) - BEING A PORTION OF CITIPLACE - PHASE I, COMMERCIAL PARK, LOCATED IN SECTION 09, TOWNSHIP 7S, RANGE 1E, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH

THIS DOCUMENT IS THE PROPERTY OF MCKNIGHT LANDSCAPE ARCHITECTS AND MAY NOT BE COPIED BY WHOMEVER IN PART OR IN WHOLE FOR CONSTRUCTION. WITHOUT THE WRITTEN CONSENT OF MCKNIGHT LANDSCAPE ARCHITECTS IT IS TO BE USED FOR THE PROJECT AND USE EXPLICITLY HEREIN. SCALE AS SHOWN HEREIN ARE VALID ON THE ORIGINAL DRAWINGS ONLY. UNLESS NOTED FOR CONSTRUCTION, THE CORRESPONDING WRITTEN SPECIFICATIONS SHALL APPLY TO THIS DOCUMENT.

SCALE:

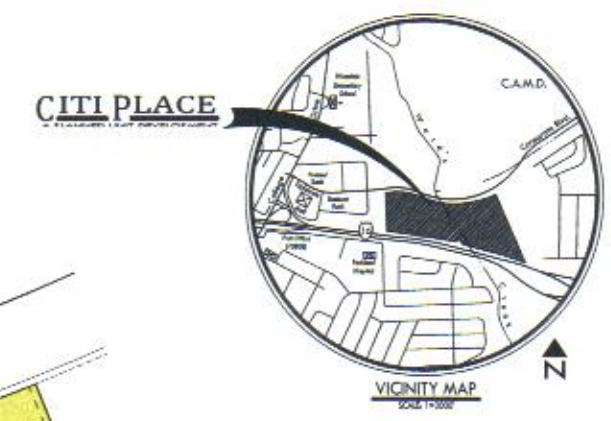


NOT FOR CONSTRUCTION

DATE	DESCRIPTION
05.26.2017	ISSUE FOR APPROVAL

PREVIOUSLY APPROVED CONCEPT PLAN

DATE FILED:



LEGEND:

- SPECIALTY RETAIL
- COMMERCIAL/RETAIL
- RESTAURANT
- MIXED RESTAURANT & RETAIL (50/50)
- HOTEL
- OFFICE
- RESIDENTIAL

NOTES:

HEIGHT OF BUILDINGS:
NOT MORE THAN ONE HUNDRED FIFTY (150) PERCENT OF ABUTTING ZONING DISTRICTS. IN ADDITION, BUILDINGS MAY ALSO BE INCREASED IN HEIGHT ONE (1) FOOT FOR EACH TEN (10) FEET SETBACK FROM ABUTTING ZONING DISTRICTS.

OPEN SPACE REQUIREMENT:
EIGHTEEN (18) PERCENT OF DEVELOPMENT.

NO.	REVISION	DATE	BY:
1	REVISED TO SHOW CURRENT CONFIGURATION	8/00	RJR
2	REVISED AS NOTED	8/00	RJR
3	REVISED AS PER PLANNING COMMISSION STAFF REQUEST	6/17/00	RJR
4	REVISED AS PER PLANNING COMMISSION STIPULATIONS	11/9/00	RJR
5	REVISED AS NOTED	02/01	RJR
6	REVISED AS NOTED	04/01	RJR
7	REVISED TO INDICATE SIGNAGE DESIGNATIONS	4/10/01	RJR
8	(1) REVISED PEDESTRIAN WALKWAY (2) REVISED SIGNAGE PLAN (3) REVISED TO GRANT TEMPORARY OCCUPANCY PERMIT TO HANCOCK BANK BUILDING	3/23/01	RJR
9	REVISED AS NOTED	02/02	RHW
10	REVISED AS NOTED	07/10	GAP
11	REVISED TO ADD TABLE OF USE CHARTS-WITHDRAWN	09/10	GAP
12	REVISED TO ADD TABLE OF USE CHARTS	09/11	ST
13	REVISED SUB OF LOT FOR PHASE IV COMMERCIAL	09/11	ST
14	REVISED TABLE OF USE CHART	10/11	ST
15	REVISED TO ADD RIGHT TURN DIRECTIONAL ARROW	11/11	ST
16	REVISED TO CHANGE RESTAURANT TO HOTEL	11/16	JDH

REVISED NOTE -	DATE	PHASE	DESCRIPTION
REVISED NOTE -	OCTOBER, 2016	Phase I	COMMERCIAL PARK
(16) CHANGE 1.84± ACRES OF COMMERCIAL (RESTAURANT) TO COMMERCIAL (HOTEL)			
USE:	ACREAGE:	DENSITY:	TOTAL BLDG. S.F.
Hotel	1.84	6,932 s.f./AC	12,754 s.f.
REVISED NOTE -	OCTOBER, 2011	Phase IV	COMMERCIAL/RETAIL
USE:	ACREAGE:	DENSITY:	TOTAL BLDG. S.F.
Commercial/Office	1.17	4,300 s.f./AC	5,000 s.f.
REVISED NOTE -	MARCH, 2011	Phase IV	COMMERCIAL/RETAIL
(13) EXCHANGE 1.18± ACRES OF RESIDENTIAL CONDOMINIUMS FOR COMMERCIAL OFFICE			
USE:	ACREAGE:	DENSITY:	TOTAL BLDG. S.F.
Commercial/Office	1.18	3,017 s.f./AC	3,500 s.f.
REVISED NOTE -	MARCH, 2011	Phase IV	COMMERCIAL/RETAIL
(12) EXCHANGE 1.25± ACRES OF RESIDENTIAL CONDOMINIUMS FOR COMMERCIAL OFFICE			
USE:	ACREAGE:	DENSITY:	TOTAL BLDG. S.F.
Commercial/Office	1.25	3,017 s.f./AC	3,500 s.f.
REVISED NOTE -	JULY 15, 2010	Phase IV	COMMERCIAL/RETAIL
(11) EXCHANGE 1.5± ACRES OF RESIDENTIAL CONDOMINIUMS FOR COMMERCIAL RETAIL			
USE:	ACREAGE:	DENSITY:	TOTAL S.F.
Commercial/Retail	1.524	5,000 s.f./AC	7,520 s.f.

***LAND USE COMPONENTS:**

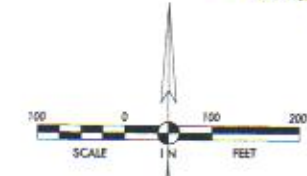
HOTEL	8.44 ACRES
RESTAURANT	0.04 ACRES
SPECIALTY RETAIL	18.14 ACRES
OFFICE	1.39 ACRES
RESIDENTIAL	28.44 ACRES
COMMERCIAL/RETAIL	1.16 ACRES
TOTAL	68.84 ACRES

* ASSUMED MAXIMUM ACREAGE FOR LAND USE COMPONENTS, SOURCED FROM PREVIOUS PUD REVISION SUBMITTAL - DATED OCT 2011

***ACTUAL LAND USE COMPONENTS:**

HOTEL	7.01 ± ACRES
RESTAURANT	7.32 ± ACRES
SPECIALTY RETAIL	8.39 ± ACRES
OFFICE	6.43 ± ACRES
RESIDENTIAL	24.86 ± ACRES
COMMERCIAL/RETAIL	2.94 ± ACRES

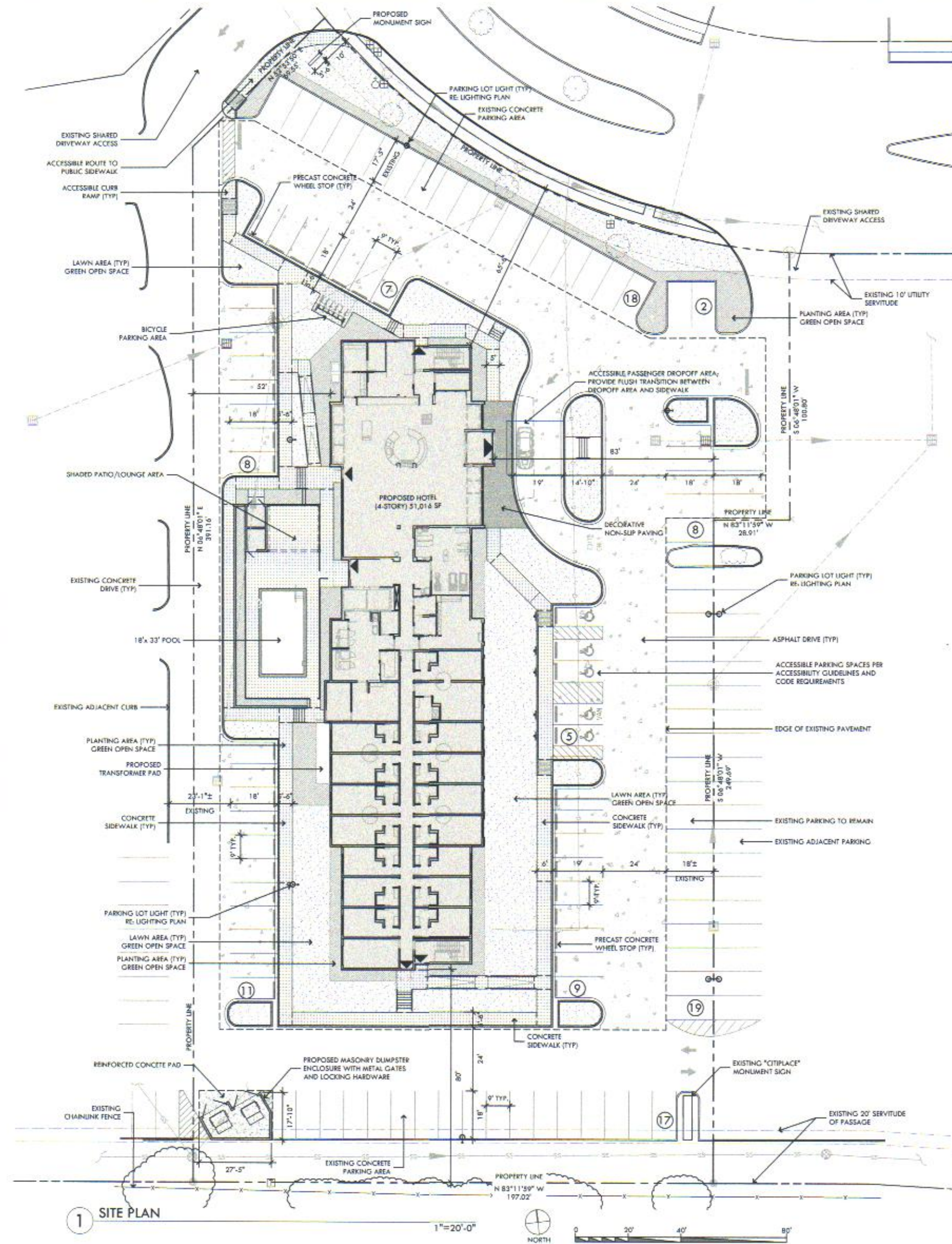
*INCLUDES PROPOSED CHANGE FROM RESTAURANT TO HOTEL SITE



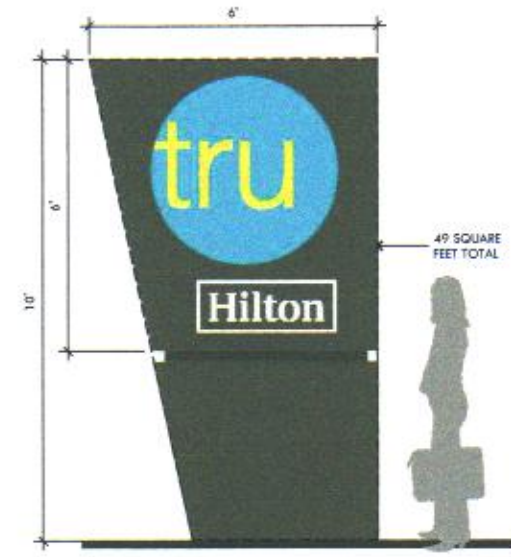
REVISION #5 (11-03-2016):
REVISION TO CONCEPT PLAN APPROVED BY PLANNING COMMISSION ON JANUARY 21, 2014 AND THE FEBRUARY 19, 2014, REVISED TO:
1. CHANGE USE OF LOT "D" FROM RESTAURANT WITH DENSITY OF 4,300SF/AC TO HOTEL WITH DENSITY OF 6,932SF/AC.

APPROVED:
FRANK M. DUKE, FAICP, PLANNING DIRECTOR
OR HIS DESIGNEE
CITY-PARISH PLANNING COMMISSION

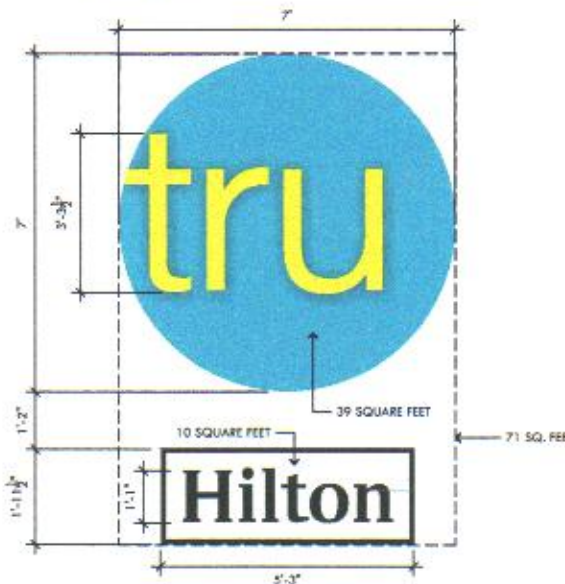
Date _____
File # _____



1 SITE PLAN



A MONUMENT SIGN ELEVATION 1/2" = 1'-0"



B BUILDING MOUNTED SIGN ELEVATION 1/2" = 1'-0"

*TABLE OF USES:

	Low Density Residential	Medium Density Residential	High Density Residential	Commercial/Office	Public and Semi-Public	Industrial	Open Space
Total # of Units				N/A	N/A	N/A	N/A
Total # of Lots				1			
Total Square Feet of Buildings	N/A	N/A	N/A	51,016			N/A
Total Acreage				1.84			
Percentage of Site				15.9%			

GENERAL DESCRIPTION:

THE PROPOSED FINAL DEVELOPMENT PLAN CONSISTS OF A CHANGE OF AN EXISTING 8,403 SF RESTAURANT WITH A DENSITY OF 4,300SF/ACRE TO A 51,016 SF HOTEL USE WITH A DENSITY OF 28,342 SF/ ACRE.

SITE AREA =	80,351 SF (1.84 ACRES)
TOTAL NUMBER OF PROPOSED BUILDINGS =	1
BUILDING SQUARE FOOTAGE =	51,016 SF
TOTAL NUMBER OF HOTEL GUESTROOMS =	104
PROPOSED BUILDING HEIGHT =	30'-4"
BUILDING COVERAGE =	15.9% (12,754SF)
LANDSCAPE OPEN SPACE =	14.9% (11,990SF)
IMPERVIOUS/PARKING SURFACE AREA =	69.2% (55,603SF)

SEQUENCING AND SCHEDULE OF CONSTRUCTION:
1. 14 MONTH CONSTRUCTION BEGINNING JULY 2017. CONSTRUCTION SEQUENCING SHALL FOLLOW BEST MANAGEMENT PRACTICES.

NOTE: MAIL SERVICE SHALL BE PROVIDED TO MAIN HOTEL LOBBY

BUILDING SETBACK	FRONT	REAR	SIDE
ALLOWABLE	10'	-	-
ACTUAL	65.5'	80'	52'

PARKING REQUIREMENTS

BATON ROUGE UNIFIED DEVELOPMENT CODE - CHAPTER 17

USE	FORMULA	REQUIRED	PROVIDED
HOTEL	1 SPACE/GUESTROOM + 1/300SF CONF./REST. SPACE*	104**	104
HANDICAP SPACES	101-150	5	5
BICYCLE PARKING	1/20 VEHICULAR SPACES	6	6

* HOTEL DOES NOT HAVE RESTAURANT OR CONFERENCE SPACE
** DEVELOPMENT QUALIFIES FOR A 5% PARKING REDUCTION DUE TO ACCESS TO MASS TRANSIT

LEGEND:

- ▲ PROPOSED BUILDING POINT OF ACCESS
- ⊕ PARKING LOT LIGHT RE LIGHTING PLAN

CONSTRUCTION NOTES:

- EXISTING UNDERGROUND UTILITIES ARE NOT SHOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT LOUISIANA ONE CALL A MIN. OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE UTILITIES FIELD LOCATED.
- ALL CONSTRUCTION TO COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR TO COORDINATE WORK WITH OTHER TRADES ON THE PROJECT.
- CONTRACTOR SHALL BE FAMILIAR WITH ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH WORK.
- ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IN A TIMELY MANNER TO NOT ADVERSELY AFFECT PROGRESS OF WORK.
- FINAL STAKING OF PAVED AREAS MUST BE APPROVED BY OWNER AND/OR LANDSCAPE ARCH. PRIOR TO POURING CONCRETE.
- ALL MIXING, TRANSPORTING, PLACING AND CURING OF CONCRETE SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE AMERICAN CONCRETE INSTITUTE.
- CONTRACTOR SHALL MAKE SMOOTH, FLUSH TRANSITION BETWEEN ALL EXISTING AND PROPOSED PAVEMENTS.
- CONTRACTOR TO PROVIDE SAMPLES OF ALL MATERIALS AND SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT BEFORE CONSTRUCTION.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. ALL SURFACES MUST DRAIN TOWARDS A CATCH BASIN, CHANNEL DRAIN, OR THE SURROUNDING YARD. NO STANDING WATER WILL BE ALLOWED.
- PEDESTRIAN ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM RUNNING SLOPE LESS THAN 5% (1:20) AND A MAXIMUM CROSS SLOPE OF LESS THAN 2% (1:50).



DATE	DESCRIPTION
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DEVELOPER:
PATEL CONSTRUCTION, LLC
CONTACT: PETE PATEL
(337) 274-4380
phupatel@gmail.com

PROJECT NAME:
TRU by Hilton
2562 CITIPLACE CT.
BATON ROUGE, LA 70808



LOT DESCRIPTION:
LOT D (1.84 ACRES) - BEING A PORTION OF CITIPLACE - PHASE 1, COMMERCIAL PARK, LOCATED IN SECTION 63, TOWNSHIP 7N, RANGE 12E, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH

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DATE:
11/15/17

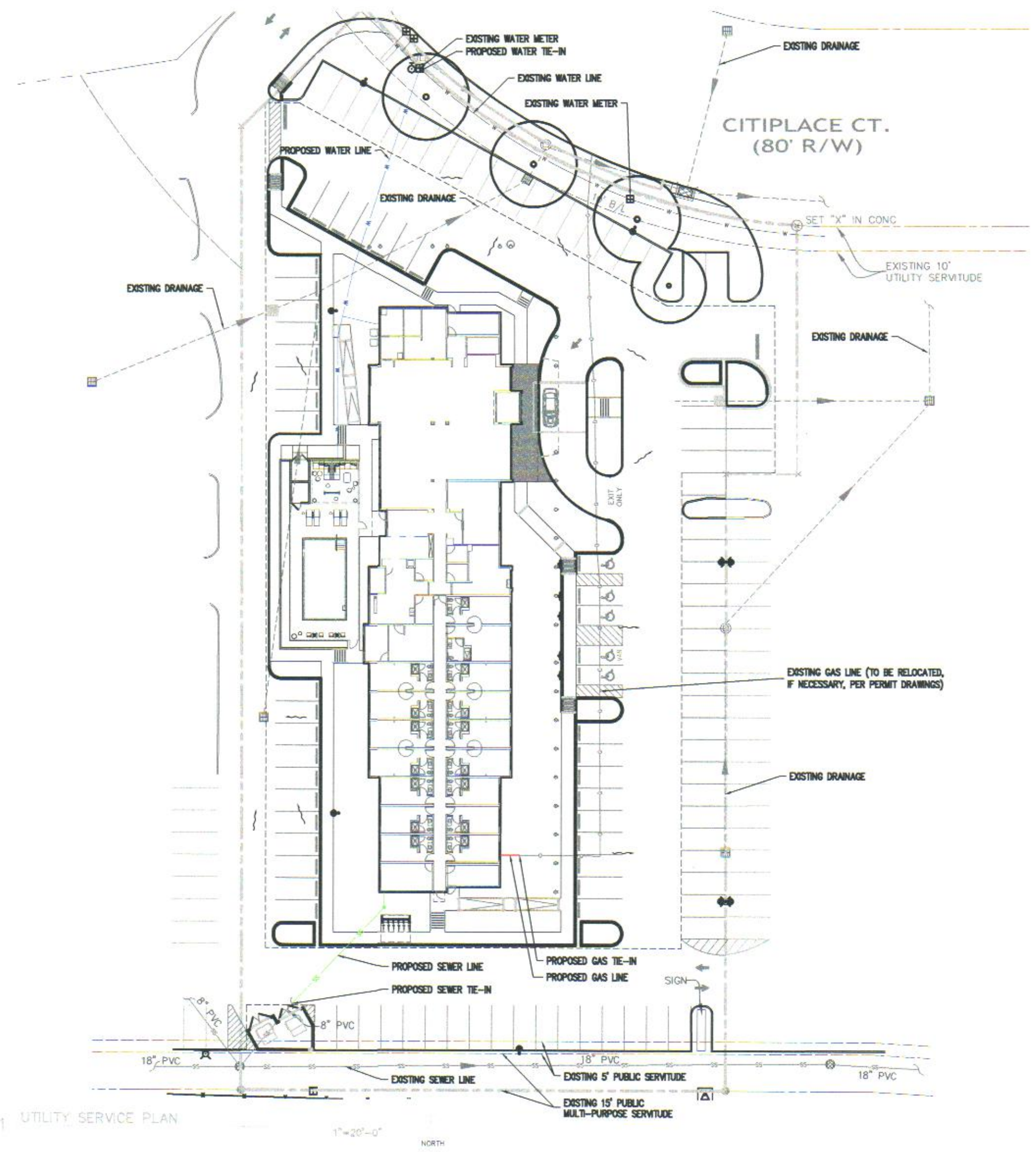
NOT FOR CONSTRUCTION

DATE	DESCRIPTION

UTILITY SERVICE PLAN

DATE: 11/15/17

6.0



LEGEND:

- G — EXIST. GAS
- W — EXIST. WATER
- SS — EXIST. SANITARY SEWER
- EXIST. SANITARY SEWER
- - - EXISTING DRAINAGE PIPE
- EXISTING GRATE INLET
- EXISTING SIDE INLET
- WATERSHED BOUNDARY
- DRAINAGE ARROWS
- P — PROPOSED WATER
- SP — PROPOSED SANITARY SEWER
- G — PROPOSED GAS LINE
- - - PROPOSED DRAINAGE PIPE
- PROPOSED GRATE INLET
- * PROPOSED SHOUT BMP

- NOTES:**
- DRAINAGE LAYOUT SHOWN AS EXISTING. ANY ADDITIONAL PROPOSED DRAINAGE TBD BY CONSTRUCTION DRAWINGS.
 - CONCEPTUAL WATER LAYOUT SHOWN. WATER LINES ESTIMATED BASED ON VALVE LOCATIONS. EXISTING VALVES AND METERS BASED ON SURVEY DATA. FINAL WATER LAYOUT TBD BY CONSTRUCTION DRAWINGS.
 - PROPOSED SEWER SERVICE LINE AND CLEANOUTS SHOWN ARE SCHEMATIC. ACTUAL SEWER SERVICE ROUTING, LOCATION, AND NUMBER OF REQUIRED SEWER CLEANOUTS TBD BY CONSTRUCTION DRAWINGS.
 - GAS LAYOUT TBD BY CONSTRUCTION DRAWINGS.

FERRIS
ENGINEERING & SURVEYING, LLC

LAND SURVEYING
MENTAL TRUSTEES

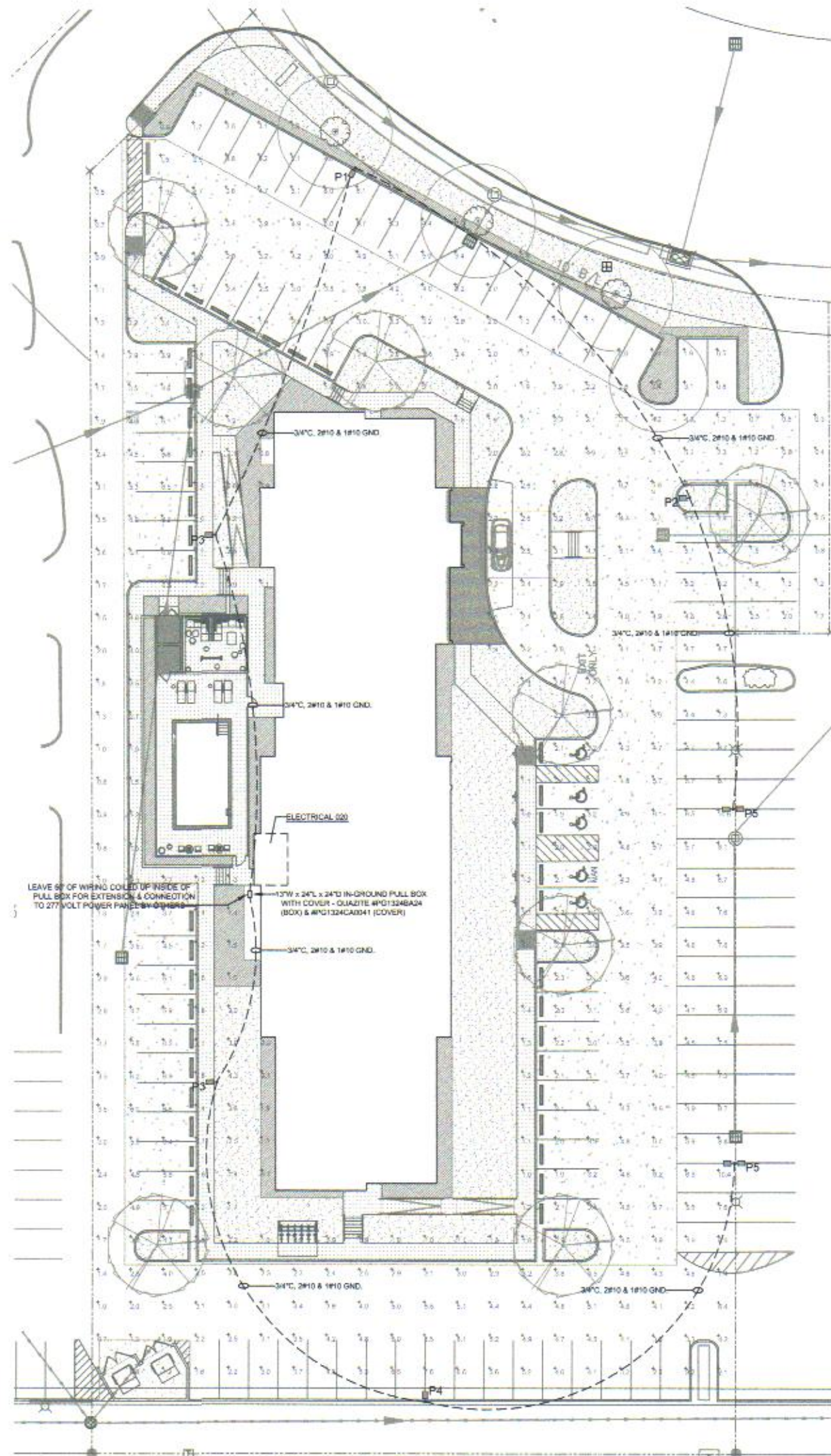
11854 BRICKSOME AVENUE
BATON ROUGE, LA 70816

PH - 225-292-6838
FAX - 225-292-0444
WWW.FERRISINC.COM

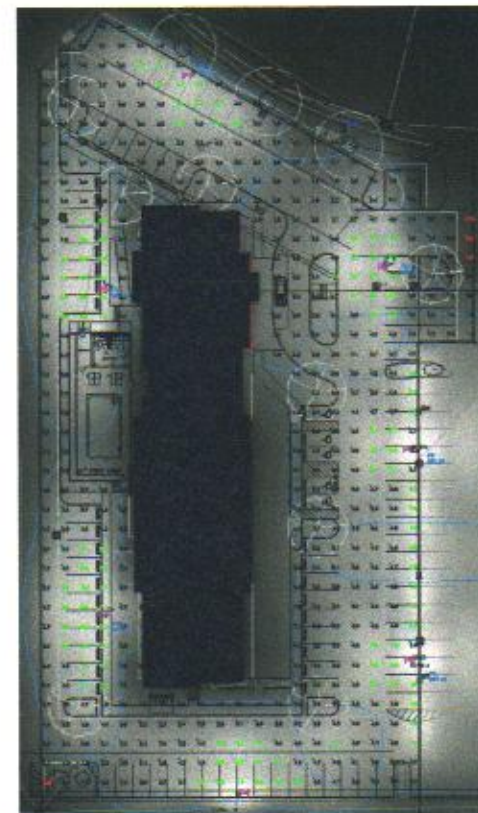
DATE: 11/15/17

UTILITY SERVICE PLAN

1"=20'-0" NORTH



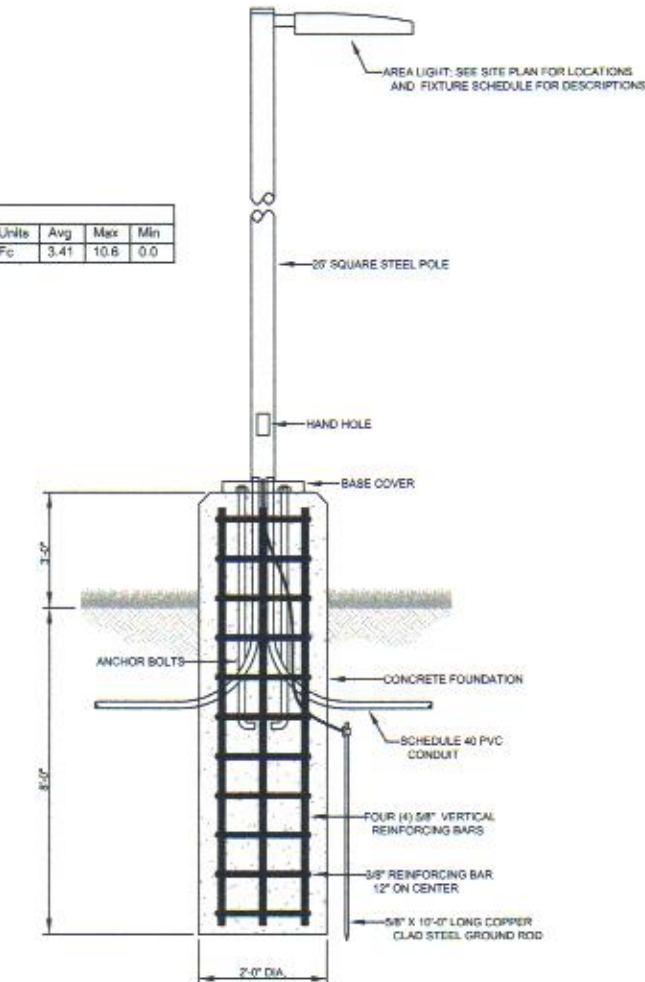
1 SITE LIGHTING PLAN
SCALE: 1"=20'



2 PROPOSED SITE NIGHT ILLUMINATION PLAN
NOT TO SCALE

TYPE	MANUF. CATALOG NO.	LAMPING			FINISH	DESCRIPTION
		TYPE	QNTY	VOLTAGE		
P1	COOPER #OLEON-AE-06-LED-E1-SL4-HSB-FINISH (head) & KW #SSP25-5.0-7-FINISH-DM10-BC (pole)	33,829 LUMEN LED/4000°K	N/A	120/277	333	6" SQUARE STEEL POLE, 30' LONG WITH ONE (1) TYPE 4 LED DISTRIBUTION AREA LIGHT FIXTURE, GLASS LENS, POLE SELECTED FURNISHED WITH BOLT COVER
P2	COOPER #OLEON-AE-06-LED-E1-T4FT-FINISH (head) & KW #SSP25-5.0-7-FINISH-DM10-BC (pole)	35,815 LUMEN LED/4000°K	N/A	120/277	333	6" SQUARE STEEL POLE, 30' LONG WITH ONE (1) TYPE 4 FORWARD THROW LED DISTRIBUTION AREA LIGHT FIXTURE, GLASS LENS, POLE SELECTED FURNISHED WITH BOLT COVER
P3	COOPER #OLEON-AE-06-LED-E1-T2-FINISH (head) & KW #SSP25-5.0-7-FINISH-DM10-BC (pole)	34,937 LUMEN LED/4000°K	N/A	120/277	333	6" SQUARE STEEL POLE, 30' LONG WITH ONE (1) TYPE 2 LED DISTRIBUTION AREA LIGHT FIXTURE, GLASS LENS, POLE SELECTED FURNISHED WITH BOLT COVER
P4	COOPER #OLEON-AE-06-LED-E1-SL3-FINISH (head) & KW #SSP25-5.0-7-FINISH-DM10-BC (pole)	35,804 LUMEN LED/4000°K	N/A	120/277	333	6" SQUARE STEEL POLE, 30' LONG WITH ONE (1) TYPE 3 LED DISTRIBUTION AREA LIGHT FIXTURE, GLASS LENS, POLE SELECTED FURNISHED WITH BOLT COVER
P5	COOPER #OLEON-AE-06-LED-E1-T4W-FINISH (head) & KW #SSP30-5.0-7-FINISH-DM10-BC (pole)	35,352 LUMEN LED/4000°K	N/A	120/277	888	6" SQUARE STEEL POLE, 30' LONG WITH TWO (2) TYPE 4 WIDE LED DISTRIBUTION AREA LIGHT FIXTURE, GLASS LENS, POLE SELECTED FURNISHED WITH BOLT COVER

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
SITE_Planar	Illuminance	Fc	3.41	10.6	0.0



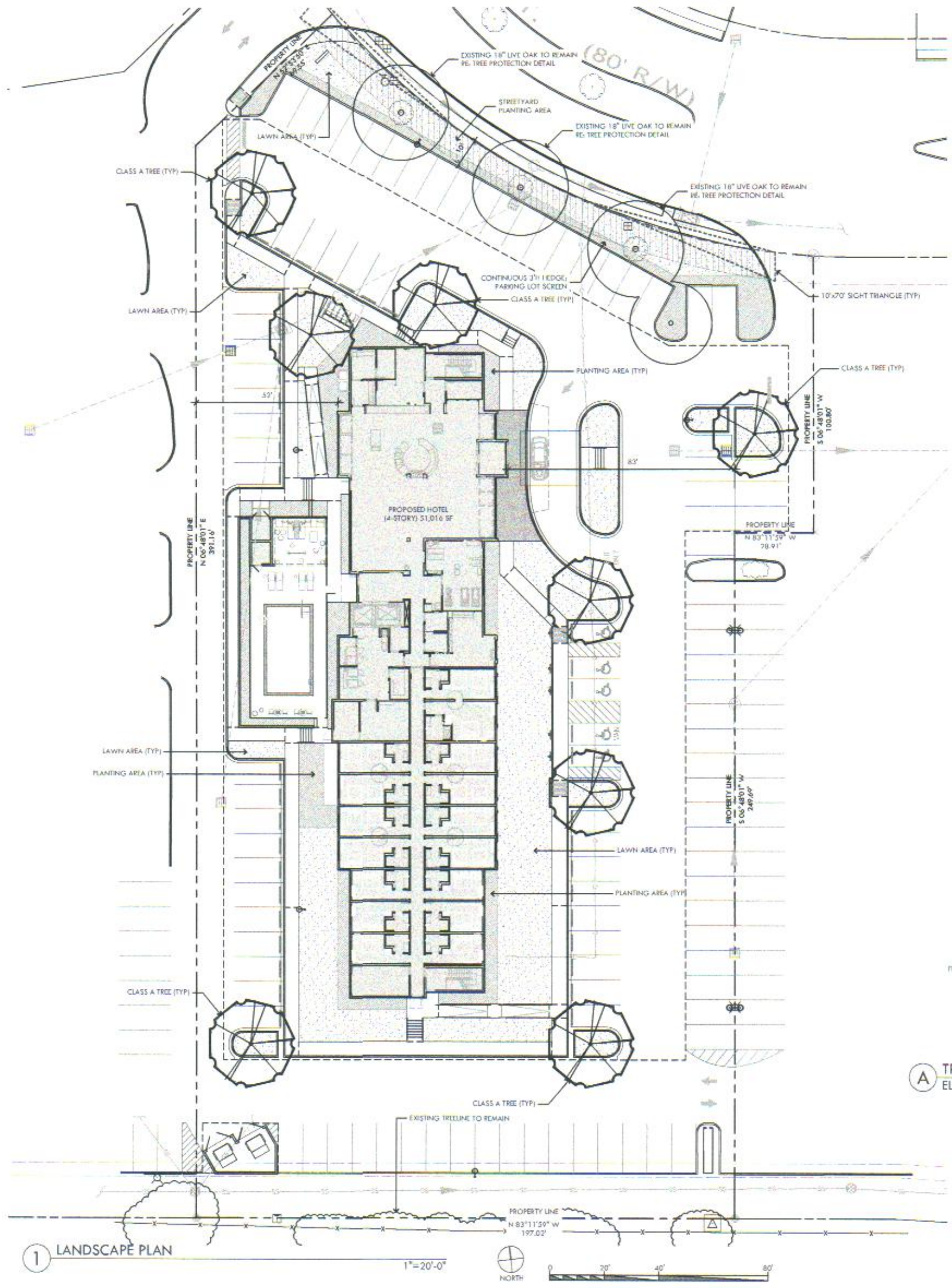
3 TYPICAL PEDESTAL TYPE PARKING LOT LIGHT FOUNDATION DETAIL
NOT TO SCALE



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DATE	DESCRIPTION
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SITE LIGHTING PLAN



1 LANDSCAPE PLAN

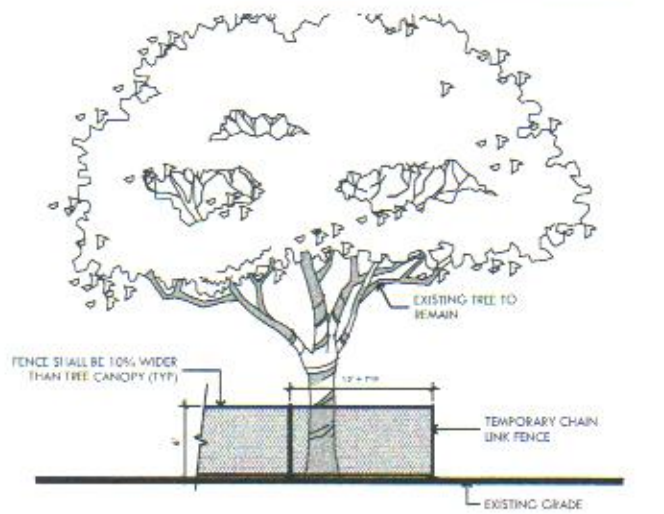
GENERAL PLANTING NOTES

1. LOCATE ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO OWNER.
2. PLANTS SHALL BE WELL FORMED, NO. 1 GRADE OR BETTER NURSERY STOCK AND SHALL MEET THE APPLICABLE STANDARDS NOTED HEREIN AND SHALL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT.
3. STAKE OUT ALL TREE LOCATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. LOCATE ALL TREES AS SHOWN ON PLAN.
4. COORDINATE WORK WITH THE WORK OF OTHER TRADES ON THE SITE.
5. ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
6. PLANTS SHALL BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE PULL TO GROUND.
7. PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE, OBTAINED FROM THE SAME SOURCE.
8. ANY CHANGES IN PLANT MATERIAL SIZE, QUANTITY, SPECIES OR VARIETY MUST BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. INSTALLATION MUST BE COMPLIANT WITH LANDSCAPE ORDINANCE STANDARDS.

LANDSCAPE MATERIALS AND PLANTS LIST

QUANTITY	PLANT / MATERIAL NAME AND DESCRIPTION
3,160	Bed Preparation (square feet) 6" planting soil over 8" loosened topsoil. Mix top 4" of topsoil with first 3" of imported planting soil.
11,200	Horizontal Mulch, shredded (square feet) 3" thick layer in all planting areas and 2" root ball diameter ring around all trees.
9	Lawn - Centipede Sod (square feet) certified weed and pest free.
9	Class A Tree 30 gallon container, 10'-12" height, 4'-5" spread, 2"-2 1/2" caliper, straight trunk, heavily branched, heavy canopy.
6	Class B Tree (multi-trunk) 30 gallon container, 8'-10" height, 5'-6" spread, 4 trunks with max. 1" caliper per trunk, heavy canopy.

NOTE
LANDSCAPE ARCHITECT SHALL INSPECT LANDSCAPING FOLLOWING INSTALLATION TO CERTIFY COMPLIANCE WITH APPROVED PLAN.



A TREE PROTECTION FENCING ELEVATION 1/8" = 1'-0"

LANDSCAPE ORDINANCE CALCULATIONS

- BATON ROUGE UNIFIED DEVELOPMENT CODE - CHAPTER 18
LOT D, LAND USE - HOTEL, CHARACTER AREA - URBAN/WALKABLE
- LANDSCAPE AREA**
10% OF THE DEVELOPED SITE AREA SHALL BE LANDSCAPE AREA.
DEVELOPED SITE AREA = 1.84 ACRES x 10%
REQUIRED: 0.000 SF LANDSCAPE AREA
PROVIDED: 11,990 SF LANDSCAPE AREA
- BUFFER YARD SCREEN (as required)**
NOT APPLICABLE
- STREET YARD**
A. CONTINUOUS 3" H SCREEN REQUIRED BETWEEN SIDEWALK AND PARKING.
B. (1) CLASS A TREE PER 40' LINEAR FEET OR EQUIVALENT
180' LINEAR FEET @ 1 CLASS A TREE PER 40' IS OR EQUIVALENT =
REQUIRED: 5 CLASS A TREES
PROVIDED: 3 EXISTING 18" CLASS A TREES (SEE PLAN)
- PARKING LOT LANDSCAPING**
NO PARKING SPACE LOCATED FURTHER THAN 100' FROM TRUNK OF CLASS A OR B TREE.
(SEE PLAN)
- TREE PRESERVATION CREDIT**
3" DB" LIVE STAKES PRESERVED = 24 TREE CREDIT
(SEE PLAN)

LANDSCAPE ORDINANCE STANDARDS

1. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE RULES OF GOOD ARBORICULTURAL PRACTICE AS SET FORTH BY THE ANSI A300 AND IN THE LOUISIANA NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY, LATEST EDITION, AS PUBLISHED BY THE LOUISIANA NURSERY AND LANDSCAPE ASSOCIATION, AND CURRENTLY IN EFFECT AT THE TIME OF SUCH WORK.
2. PLANT MATERIAL SHALL BE TRUE TO NAME, VARIETY AND SIZE AND SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ALL LANDSCAPING SHALL BE INSTALLED IN A SOUND MANNER AND IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE LOUISIANA NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY.
3. TREES AND SHRUBS SELECTED FOR PLANTING SHALL MEET THE MINIMUM REQUIREMENTS PROVIDED IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, LATEST EDITION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
4. PLANT MATERIALS SHALL BE COLD HARDY FOR THE SPECIFIC LOCATION WHERE THEY ARE TO BE PLANTED.
5. PLANT MATERIALS SHALL BE ABLE TO SURVIVE ON NATURAL RAINFALL ONCE ESTABLISHED WITH NO LOSS OF HEALTH.
6. ALL PLANT HEIGHTS SHALL BE MEASURED FROM THE TOP OF THE ROOT BALL TO THE TIP OF THE HIGHEST BRANCH.
7. CLASS "A" TREES AND STREET YARD TREES:
7.1. ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM TWO-INCH CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.
7.2. MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE AND ONE-HALF INCH CALIPER PER TRUNK, A MINIMUM OF TEN FEET MAIN STEMS, AND MEASURE A MINIMUM OF TEN FEET TALL AT TIME OF PLANTING.
8. CLASS "B" TREES:
8.1. ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM ONE AND ONE-HALF INCH CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.
8.2. MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE-INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.
9. CLASS "C" TREES:
9.1. ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM ONE AND ONE-HALF INCH CALIPER AND MEASURE A MINIMUM OF FIVE FEET TALL AT TIME OF PLANTING.
9.2. MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE-INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF FIVE FEET TALL AT TIME OF PLANTING.
10. SHRUBS:
10.1. SHRUBS SHALL BE A MINIMUM OF 20 INCHES IN HEIGHT IN A MINIMUM THREE GALLON CONTAINER, UNLESS THEY ARE PLANTED AS A SCREEN FOR AN L3 BUFFER. WHEN PLANTED AS A SCREEN FOR AN L2 BUFFER OR A PARKING LOT, THE MAXIMUM SPACING FOR 20 INCH HIGH SHRUBS SHALL BE 36 INCHES ON CENTER.
10.2. SHRUBS PLANTED AS AN L3 BUFFER SHALL BE A MINIMUM OF FOUR-FOOT IN HEIGHT.
10.3. WHEN PLANTED AS AN L3 BUFFER, THE MAXIMUM SPACING FOR FOUR-FOOT HIGH SHRUBS SHALL BE 36 INCHES ON CENTER.
10.4. SPACING FOR OTHER REQUIRED PLANT MATERIAL SHALL BE DETERMINED BY THE DEVELOPMENT DIRECTOR.
11. IRRIGATION AND WATERING STANDARD:
11.1. A WATER SOURCE SHALL BE SUPPLIED WITHIN TWO HUNDRED (200) FEET OF ALL PLANTING BEDS OR A PERMANENT IN-GROUND IRRIGATION SYSTEM SHALL BE PROVIDED.
12. MAINTENANCE:
12.1. PROPERTY OWNERS AND THEIR AGENTS SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING, AND MAINTAINING ALL REQUIRED LANDSCAPING IN A HEALTHY AND GROWING CONDITION, REPLACING DEAD OR DAMAGED VEGETATION, AND KEEPING ALL LANDSCAPED AREAS FREE OF REFUSE AND DEBRIS.
12.2. PROPERTY OWNERS AND THEIR AGENTS SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING, AND MAINTAINING ALL LANDSCAPING WITHIN THE ADJUTING RIGHT-OF-WAY.



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LOT D (1.84 ACRES) - BEING A PORTION OF CITIPLACE - PHASE 1, COMMERCIAL PARK, LOCATED IN SECTION 93, TOWNSHIP 75, RANGE 1E, CADDISBURG LAND DISTRICT, EAST BATON ROUGE PARISH

THE OCCUPANT OF THE PORTION OF LOT D OF LOT D (1.84 ACRES) - BEING A PORTION OF CITIPLACE - PHASE 1, COMMERCIAL PARK, LOCATED IN SECTION 93, TOWNSHIP 75, RANGE 1E, CADDISBURG LAND DISTRICT, EAST BATON ROUGE PARISH, SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.



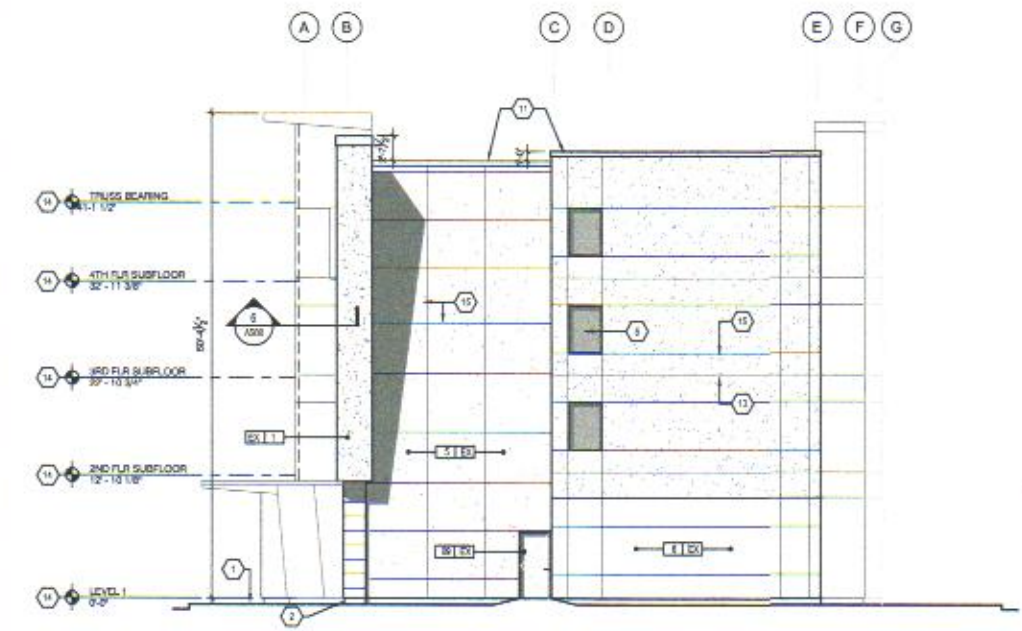
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03.20.2017	ISSUE FOR APPROVAL

LANDSCAPE PLAN

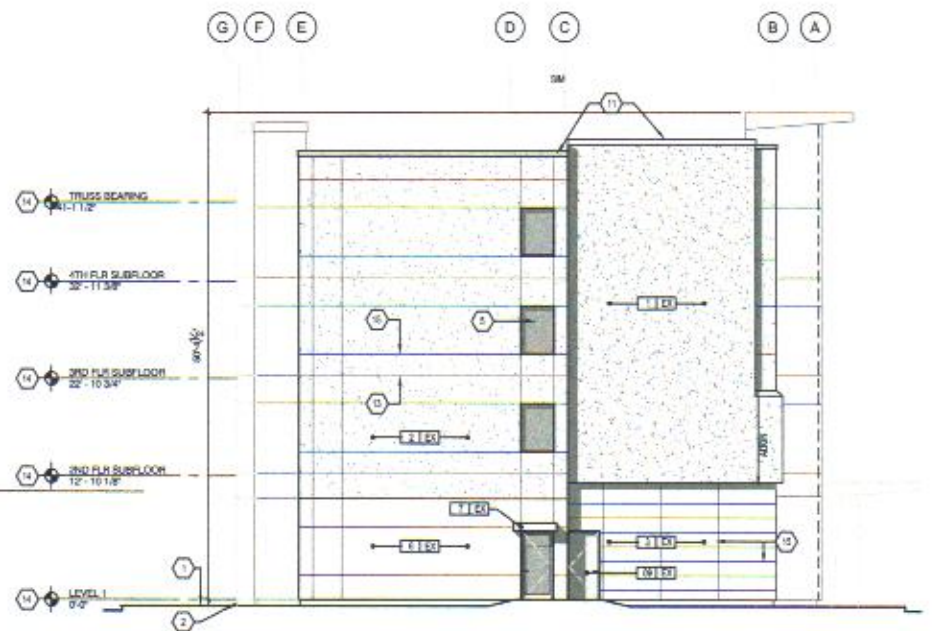
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21



A EAST ELEVATION
1" = 10'-0"



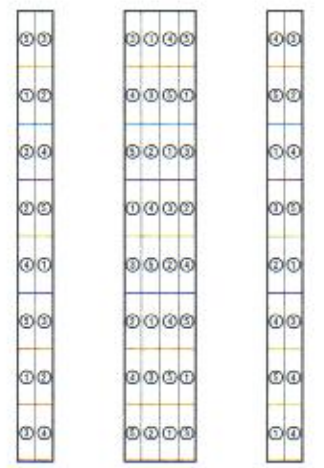
B NORTH ELEVATION
1" = 10'-0"



C SOUTH ELEVATION
1" = 10'-0"

ALERT:
REFER TO ARCHITECTURAL FINISHES AND FINISH SPECIFICATIONS FOR COLOR

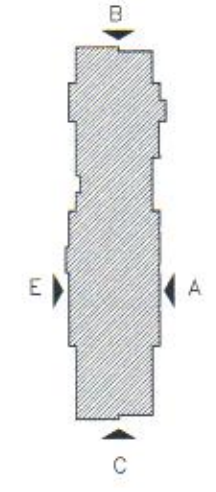
- 1 - COLOR 1
- 2 - COLOR 2
- 3 - COLOR 3
- 4 - COLOR 4
- 5 - COLOR 5



D COLOR DIAGRAM
1" = 1'-0"



E WEST ELEVATION
1" = 10'-0"



KEY NOTES:

- 1 APPROXIMATE LINE OF GRADE
- 2 ABOVE GRADE EXPOSED FOUNDATION WALL
- 3 NOT USED
- 4 ALUMINUM FINISH WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM LOUVER AT PNL UNITS
- 5 ALUMINUM FINISH WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING
- 6 ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING
- 7 ALUMINUM PNL LOUVER - COLOR TO MATCH ADJACENT MATERIAL
- 8 ALUMINUM SLIDING ENTRY DOOR W/ INSULATED GLAZING
- 9 OVERFLOW SCUPPER
- 10 BASE OF DESIGN NESCO MFG INC. - MODEL # 5CT5VH
- 11 SIGNAGE - REFER TO TRU BY HILTON EXTERIOR BRONZE SPECIFICATIONS
- 12 STRAIN FINISH ALUMINUM CORNER GRATEL STOP SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
- 13 NOT USED
- 14 EXPANSION JOINT @ FLOOR LINE W/ BACKER ROD AND SEALANT
- 15 BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION
- 16 ACCENT "V" JOINT
- 17 DOWNLIGHT & BI-GROUND UPLIGHT TO ACCENT MULTI-COLORED BUILDING RECESSES

FINISH LEGEND:

- ERS CLADDING SYSTEM (EX) - BASIS OF DESIGN - "OUTRIGGER PLUS PM EPS" BY DRYKIT SYSTEMS, INC.
- PROVIDE EPS HIGH IMPACT MESH ASSEMBLY FOR LOWER 8'-4" UP WALL AREAS AT GRADE. BASIS OF DESIGN - DRYKIT "STANDARD" MESH OVER "FRAMES 20102" 1/8" IMPACT MESH
- COMPENSATE FOR MINIMUM EXTERIOR CONTRACTORS INSULATION THICKNESS (R-VALUE REQUIREMENTS IN ACCORDANCE WITH ADOPTED ENERGY CODE REQUIREMENTS FOR ALL CLADDING AREAS)
- EX 1 DRYKIT SYSTEMS - DARK FINISH
 - EX 2 DRYKIT SYSTEMS - MEDIUM FINISH
 - EX 3 DRYKIT SYSTEMS - LIGHT FINISH
 - EX 4 DRYKIT SYSTEMS - FINISH LINERS
 - EX 5 DRYKIT SYSTEMS
 - EX 6 HIGH PRESSURE LAMINATE PANEL - DARK FINISH
 - EX 7 HIGH PRESSURE LAMINATE PANEL - LIGHT FINISH
 - EX 8 DRYKIT SYSTEMS
 - EX 9 BELLINI MOORE EXTERIOR PAINT - USE MIGHTHALL / HIGH GLOSS FINISH

ALERT:
REFER TO ARCHITECTURAL FINISHES AND FINISH SPECIFICATIONS FOR EX - NUMBER COLOR COORDING INFORMATION.

SOURCE:

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LOT 0 (1.84 ACRES) - BEING A PORTION OF CITIPLACE - PHASE 1, COMMERCIAL PARK, LOCATED IN SECTION 93, TOWNSHIP 75, RANGE 1E, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH

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ARCHITECTURAL ELEVATIONS

SHEET NO.

8.0



IMAGE SOURCE: TRUBYHILTON.COM

1 PROPOSED ARCHITECTURAL CHARACTER PERSPECTIVE

NTS

CONTRACT

KEY PLAN

DEVELOPER

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PROJECT NAME

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by HILTON™

SITE DESCRIPTION

LOT D (1.84 ACRES) - BEING A PORTION OF CITIPLACE - PHASE 1, COMMERCIAL PARK, LOCATED IN SECTION 93, TOWNSHIP 75, RANGE 1E, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH

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05-10-2017	ISSUE FOR APPROVAL

ALA PROJECT NO.: 17.14
DRAWN BY: JSM
CHECKED BY: BSM
DATE PLOTTED:

ARCHITECTURAL CHARACTER

DATE: